



Historic Architectural Review Commission

Staff Report for Item 2

To: Chairman Haven Burkee and Historic Architectural Review Commission Members

From: Casey Burtch
Historic Preservation Planner II

Meeting Date: May 23, 2023

Applicant: Gary Burchfield, Contractor

Application Number: H2023-0010

Address: 1106 Grinnell Street

Description of Work

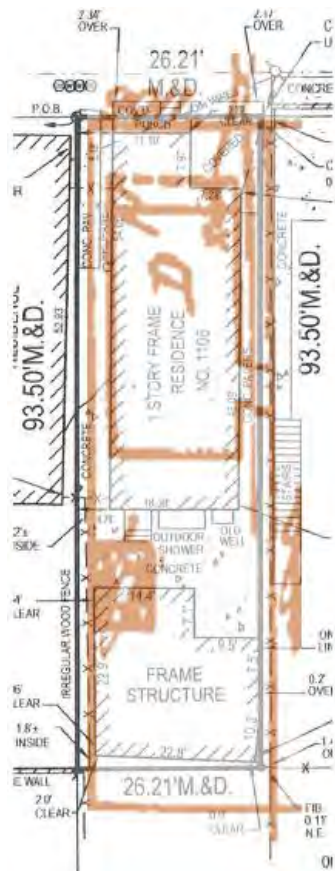
After the fact. Reconstruction of roof on rear non-historic addition. Changes to fenestration openings.

Site Facts

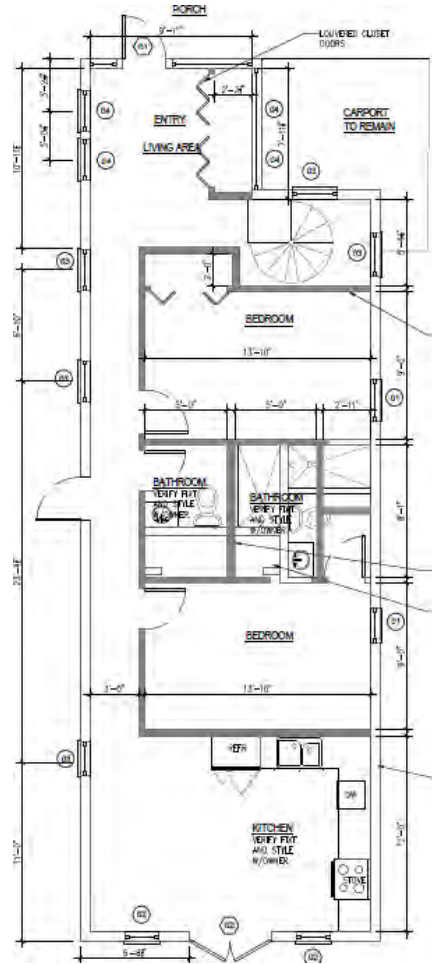
The site under review contains an existing one-story single-family building and is a historic contributing structure built in 1920. Both the 1948 and 1962 Sanborn Maps depict a structure further back on the property and a historic cistern. The current footprint and building configuration differ from the Sanborn Map and encroaches on to the city right of way. The most up to date survey provided shows an additional structure on the rear of the property which no longer exists. Some items on the property have been demolished but staff believe the addition at the rear of the historic structure is non-historic.



The house under review circa 1965.



1962 Sanborn Map & Current Survey



Proposed Plan



Pre Demolition Rear Elevation



Photo of Current Condition



Proposed Rear Elevation

Guidelines Cited on Review

- Building Exteriors - Wood (page 24), specifically guideline 1.
- Roofing (page 26), specifically guidelines 2, 3, and 4.
- Windows (pages 29-i - 29-j), specifically guidelines A. 6 and 7; B. 4
- Guidelines for Additions (pages 37a-37k) specifically guidelines 1, 6, 12, 13, first sentence of guideline 14, 19, 20, 22, 25, and 30.
- Decks, patios, hot tubs, spas, pools, and related equipment (page 39a), specifically guideline 1.

Staff Analysis

A Certificate of Appropriateness under review is for renovations to a non-historic addition, which includes the reconstruction of the roof, walls, and new fenestration openings. The plans also propose a wood rear deck, less than 30" from grade.

All new construction materials include wooden structural elements, hardiplank for siding, aluminum windows and doors, and 5 v-crimp for roofing finish.

Consistency with Guidelines Cited Guidelines

It is the staff's opinion that the proposed design conforms with cited guidelines. As proposed the roof will be the same form as originally built. The new proposed design fits within the character of surrounding single-family homes. The scale, mass and proportions of the new construction are in keeping with similar land use structures within the area and the building elevation changes on the rear will not overshadow the existing historic context.

APPLICATION

RECEIVED

MAR 27 2023

HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS

\$463.05 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE Rev 10/02/2022 ET

BY: TK

City of Key West

1300 White Street
Key West, Florida 33040

HARC COA # <u>2023-0010</u>	REVISION #	INITIAL & DATE <u>TK</u>
FLOOD ZONE	ZONING DISTRICT	BLDG PERMIT #

A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL

ADDRESS OF PROPOSED PROJECT:

NAME ON DEED:

OWNER'S MAILING ADDRESS:

APPLICANT NAME:

APPLICANT'S ADDRESS:

APPLICANT'S SIGNATURE:

<u>1106 GRINNELL ST</u>	
<u>THOMAS FORTIN</u>	PHONE NUMBER <u>(305) 783-8131</u>
<u>1106 GRINNELL ST</u>	EMAIL <u>T.FORTIN@SOUTHARD</u>
<u>KEY WEST FL 33040</u>	<u>energy</u>
<u>GARY BURCHFIELD</u>	PHONE NUMBER <u>(305) 797-7778</u>
<u>GARY THE CARPENTER</u>	EMAIL <u>INFO@GARYTHE</u>
<u>800 SIMONTON ST. KW FL 33040</u>	<u>CARPENTER.CO</u>
	DATE <u>3/27/23</u>

ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND-DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS ☒ RELOCATION OF A STRUCTURE ☐ ELEVATION OF A STRUCTURE ☐PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES ☒ PARTIAL INVOLVES A HISTORIC STRUCTURE: YES ☒ NO ☐PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES ☐ NO ☒ not listed

DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.

GENERAL: REPLACE ALL DOORS + WINDOWS ON STRUCTURE
REPAIR FRAMING AS NEEDED DUE TO DAMAGE/ROT/BUGS.
REMOVE + RE-INSTALL SIDING. MAJORITY OF HISTORIC SIDING SAVED
WILL BE ATTACHED AT FRONT SECTIONS OF HOME TOWARD REAR.
 MAIN BUILDING: ADDED PLYWOOD + TYVEC ON ENTIRE HOME TO BRING TO CODE
4'x20' PORTION OF NON-CONFORMING SHED ROOF HAD TO BE RAISED 6"
TO MEET HEIGHT OF NEW STRUCTURAL BEAM.

DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX):

APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE
PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS CITY_HARC@CITYOFKEYWEST-FL.GOV

ACCESSORY STRUCTURE(S):	
PAVERS:	FENCES:
DECKS:	PAINTING: To Be Painted white
SITE (INCLUDING GRADING, FILL, TREES, ETC):	POOLS (INCLUDING EQUIPMENT):
ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC):	OTHER:

OFFICIAL USE ONLY:	HARC COMMISSION REVIEW	EXPIRES ON:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
REASONS OR CONDITIONS:		
STAFF REVIEW COMMENTS:		
FIRST READING FOR DEMO:	SECOND READING FOR DEMO:	
HARC STAFF SIGNATURE AND DATE:	HARC CHAIRPERSON SIGNATURE AND DATE:	

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.


1300 White Street
Key West, Florida 33040

HARC COA #	INITIAL & DATE
ZONING DISTRICT	BLDG PERMIT #

APPLICANT NAME:

1106 GRINNELL ST
THOMAS FORTIN
GARY BURCHFIELD (GARY THE CARPENTER)

PROPERTY OWNER'S SIGNATURE

 3/27/23
THOMAS FORTIN DATE AND PRINT NAME

DETAILED PROJECT DESCRIPTION OF DEMOLITION

CRITERIA FOR DEMOLITION OF CONTRIBUTING OR HISTORIC STRUCTURES:

(a) The existing condition of the building or structure is irrevocably compromised by extreme deterioration.

(a) Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction.

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

(b) Is not specifically associated with events that have made a significant contribution to local, state, or national history.

(c) Has no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state or nation, and is not associated with the life of a person significant in the past.

(d) Is not the site of a historic event with significant effect upon society.

(e) Does not exemplify the cultural, political, economic, social, or historic heritage of the city.

(f) Does not portray the environment in an era of history characterized by a distinctive architectural style.

(g) If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif.

(h) Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and does not exemplify the best remaining architectural type in a neighborhood.

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

(i) Has not yielded, and is not likely to yield, information important in history,

CRITERIA FOR DEMOLITION OF NON-CONTRIBUTING OR NON-HISTORIC STRUCTURES:

The following criteria will also be reviewed by the Historic Architectural Review Commission for proposed demolitions. The Commission shall not issue a Certificate of Appropriateness that would result in the following conditions (please review and comment on each criterion that applies):

(1) Removing buildings or structure that are important in defining the overall historic character of a district or neighborhood so that the character is diminished.

ReFRAMED Rear 4' x 20' Portion of Sided Roof

(2) Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space.

N/A

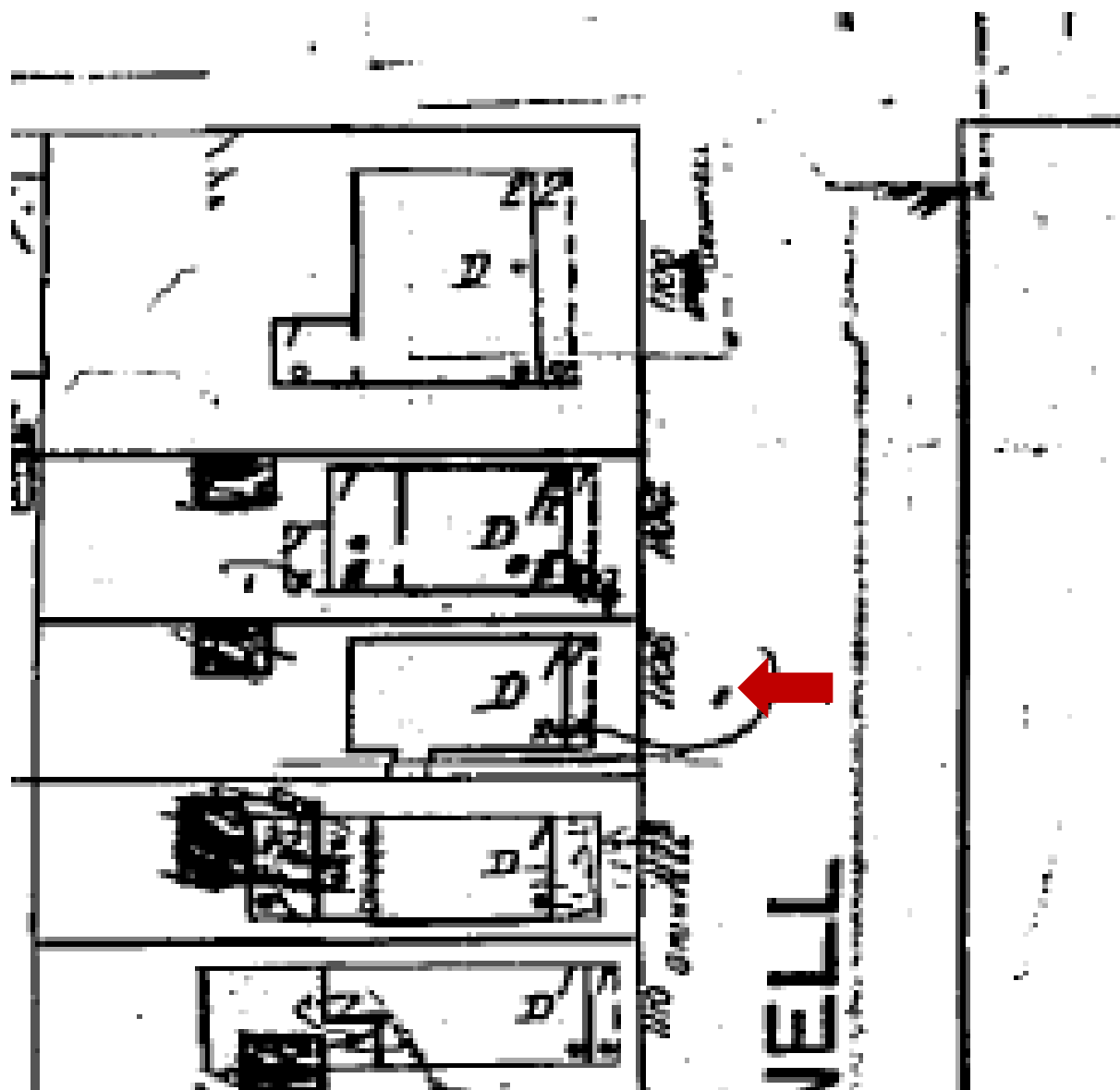
(3) Removing an historic building or structure in a complex; or removing a building façade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood.

NOT HISTORIC

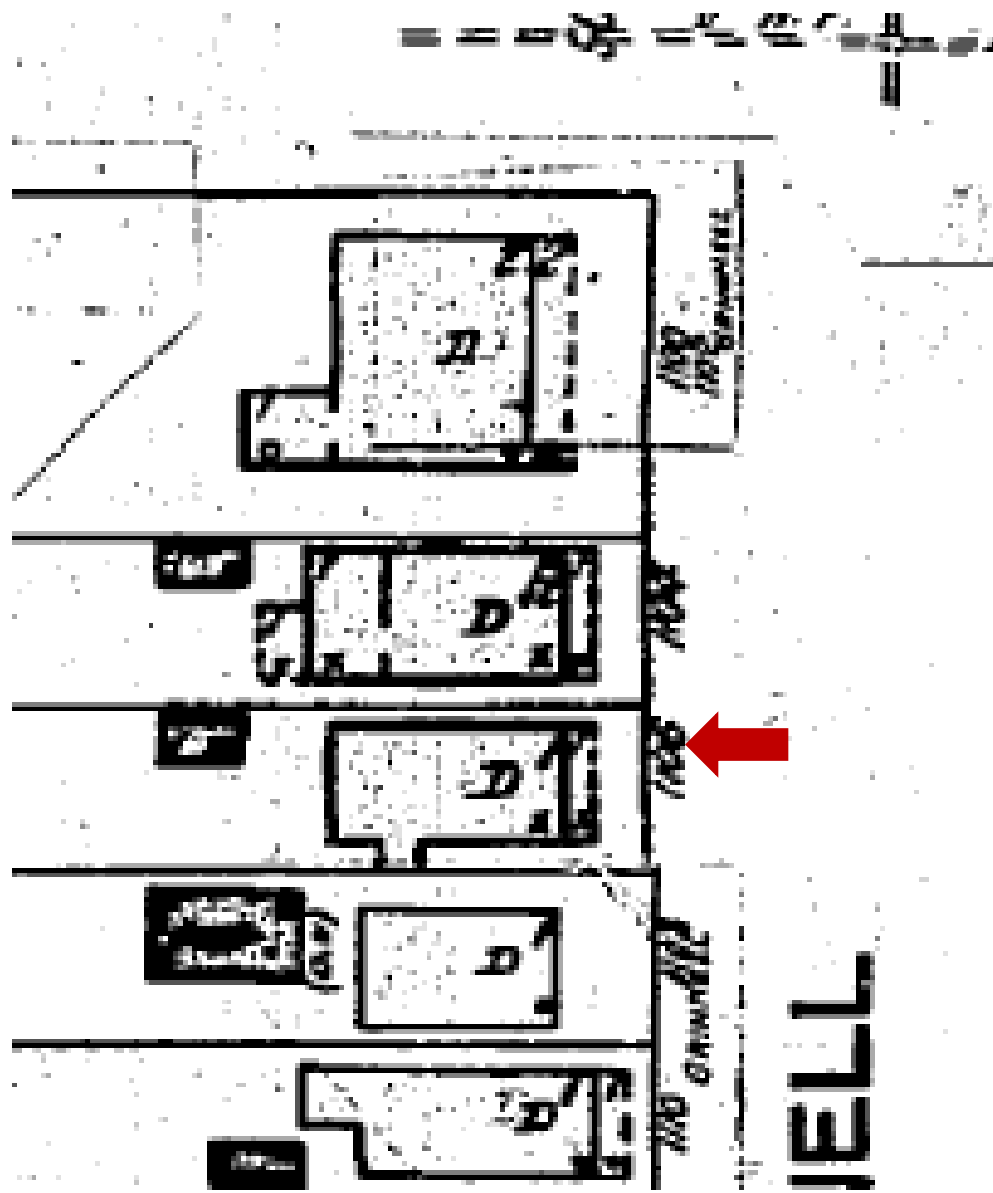
(4) Removing buildings or structures that would otherwise qualify as contributing.

NOT CONTRIBUTING

SANBORN MAPS



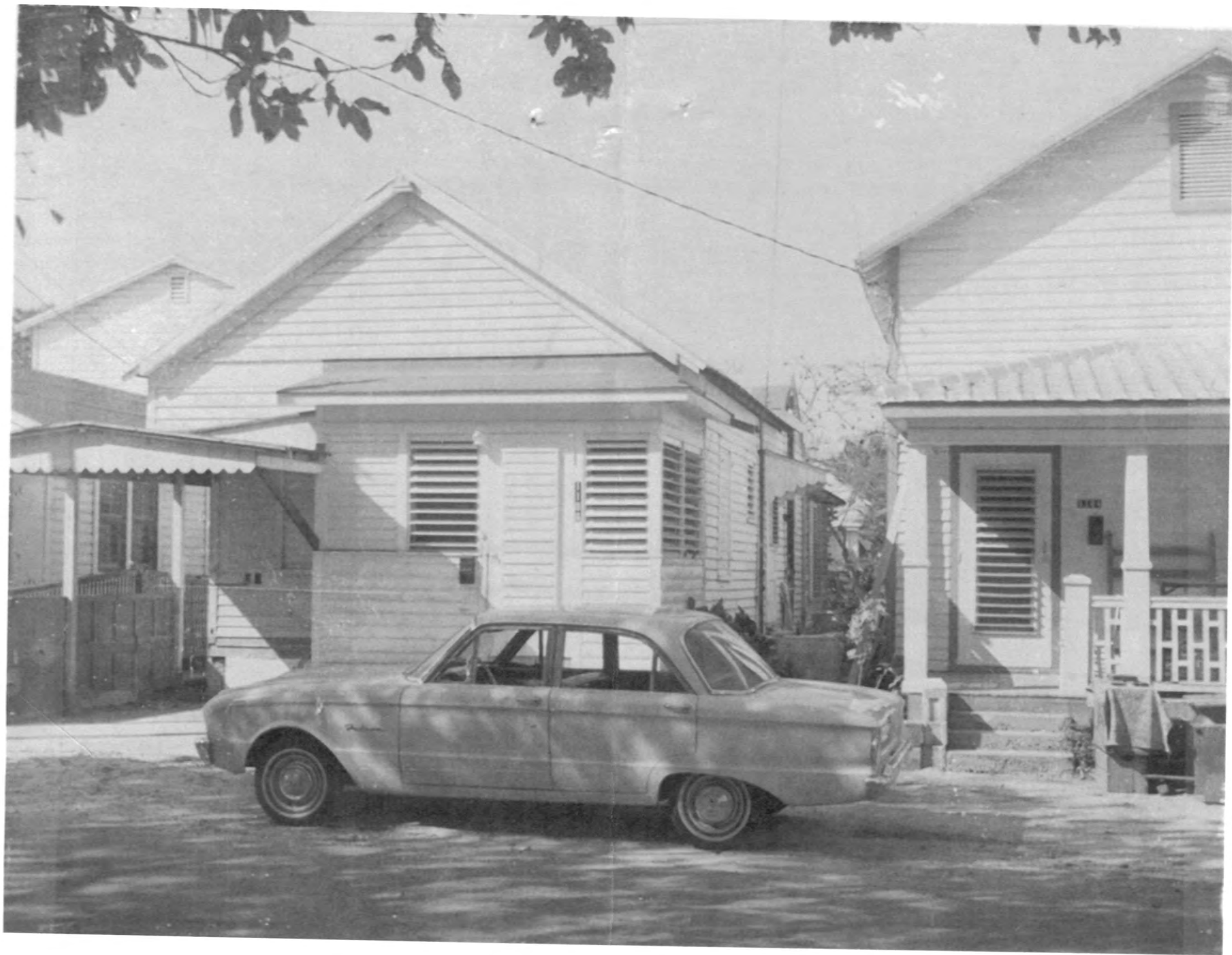
1962 Sanborn Map



1948 Sanborn Map



PROJECT PHOTOS



1106 GRINNELL

LEFT
SIDE
REAR
SHOWING
EXISTING
ROOFLINE



1106 GRinnell



Right side
Rear

Showing
Existing
Roofline

1106 GRinnell



ReAR
Roof

Old
Side

PAINTed
ONLY

SAME
PiTch
AS New
LeFT
Side

1106 GRinnell



REAR
ROOFLINE
ORIGINAL
SOFFIT

1106 GRINNEL

REAR
ROOFLINE
WHERE
OLD
VS
NEW
MEET



1106 GRINNELL

REAR
ROOF
LEFT
SIDE
NEW
PLYWOOD
GRACE



1106 GRINNE 11

LEFT
SIDE

REAR
ROOF
SOFFIT



1106 GRINNELL

RIGHT
SIDE
REAR
ROOF
SOFFIT



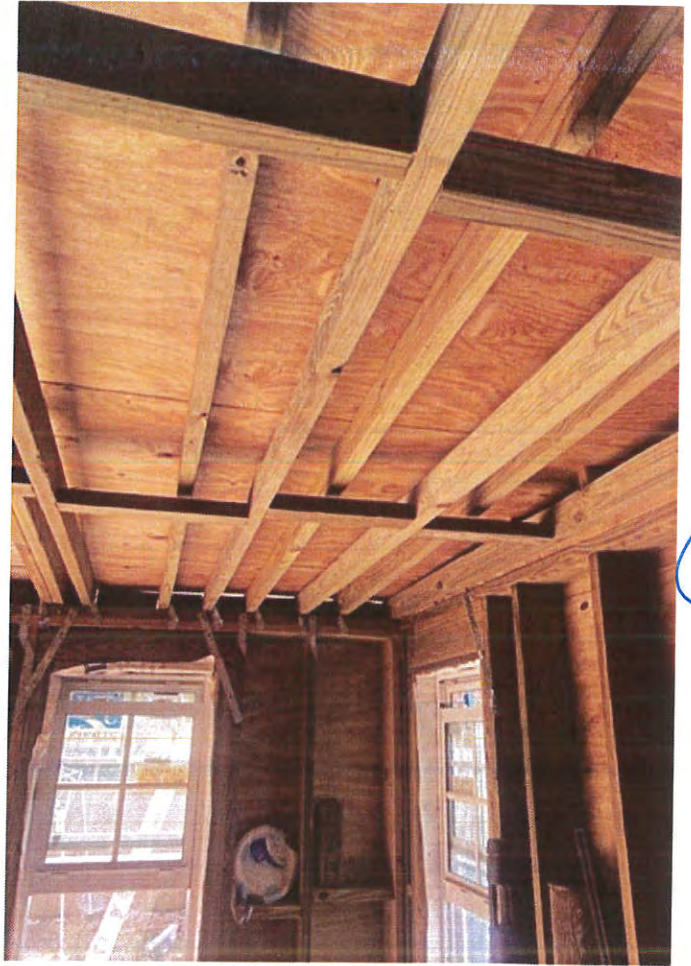
MATCHES
LEFT
SIDE

old / new

①



②



③



1106 Grinnell
Rear Ceiling Area
Showing:

- ① where Old Roof
+ Modified Roof
Sections Meet
- ② Entire Modified
Area
- ③ METAL STRUCTURAL
Beam

1106 GRINNELL

CARPORT

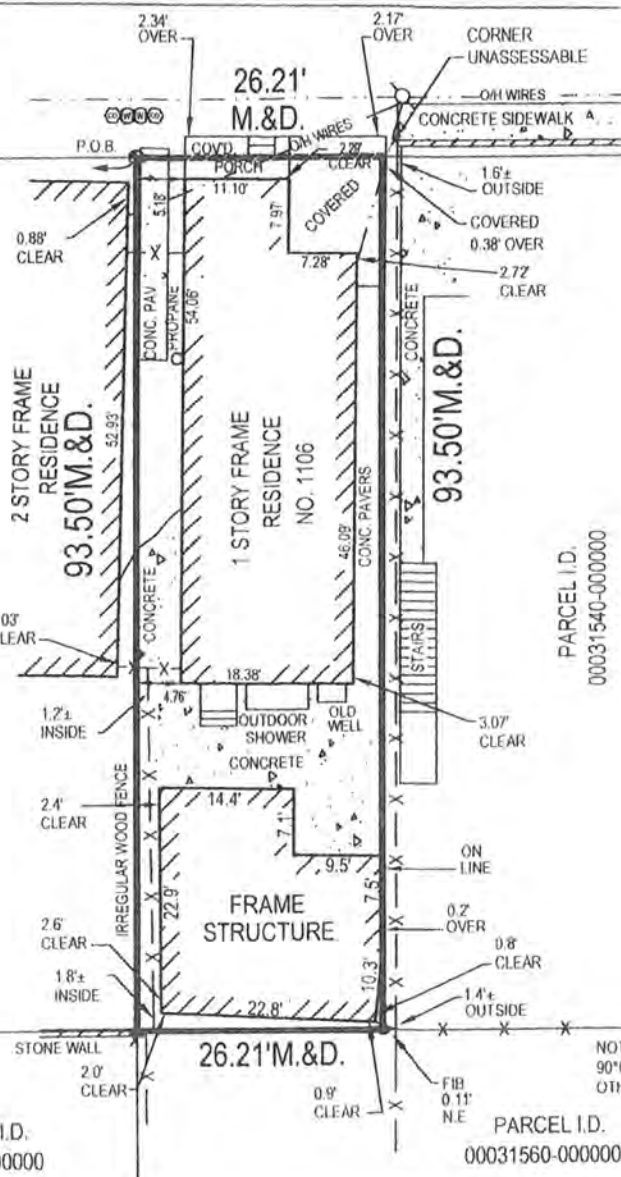


SURVEY



GRINNELL STREET
(50' R/W)

VIRGINIA STREET



MONUMENTATION:

- ▲ = FPK, UNLEGIBLE
- △ = SPK, P.L.S. No. 2749
- = FIB/FIP, 1/2" Ø, NO I.D.
- ⊗ = FIB, 1/2" Ø, P.L.S. No. 2749

Thomas L. Fortin
1106 Grinnell Street, Key West, FL 33040

BOUNDARY SURVEY

Scale 1"= 20'	Ref.	Flood Panel No. 1517 K	Dwg. No. 17-349
Date: 12/17/95	119-38 File	Flood Zone X	Dwn. By F.H.H. Flood Elev. -

REVISIONS AND/OR ADDITIONS

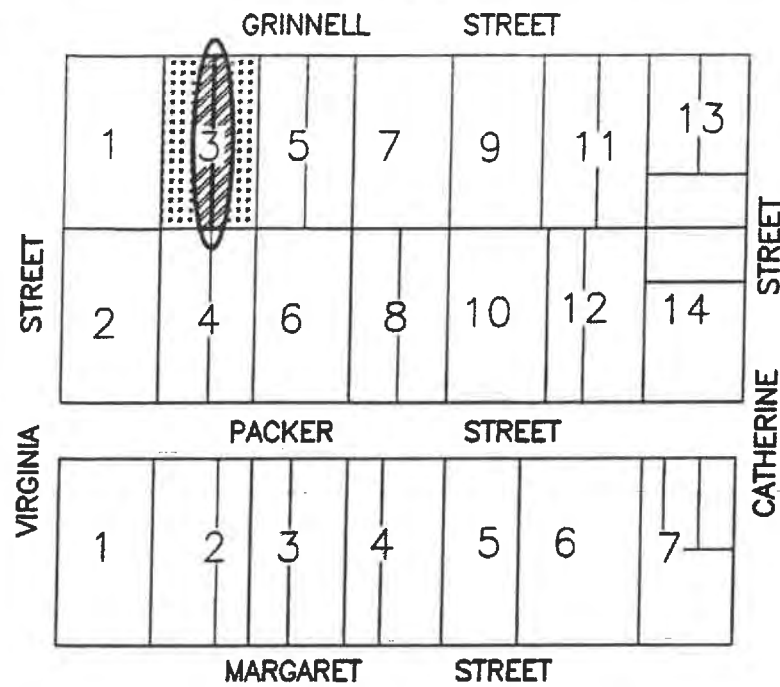
- 7/16/15: Updated, locate SE boundary line & improvements
- 9/25/17: Updated, minor changes, owner, cert's.
- 8/28/19: Updated, minor changes rear of property

datamcsm/drawings/keywest/block127/1106grinnell

MONROE COUNTY
SURVEYING & MAPPING
STATE OF FLORIDA LB 8236



1100 Truman Avenue
Key West, FL 33040
PH (305) 534-4668 (Corporate Office)
PH (305) 293-0466 (Key West Office)
FAX (305) 531-4589



LOCATION MAP

Squares 4 & 5, Tract 13
City of Key West

LEGEND

A/C	Air Conditioner	LB	Licensed Business
BAL	Balcony	M	Measured
BM	Bench Mark	N.T.S.	Not To Scale
CB	Catch Basin	O.R.	Official Records
CL	Center Line	OH	Over Head
C	Calculated	P	Plot
CONC	Concrete	PB	Plot Book
C.B.S.	Concrete Block Stucco	P.O.B.	Point Of Beginning
CUP	Concrete Utility Pole	P.O.C.	Point Of Commence
COVD	Covered	R/W	Right Of Way
D	Dead	SIB	Set Iron Bar
ELEV	Elevation	SIP	Set Iron Pipe
F.F.L	Finished Floor Elevation	SPK	Set Nail And Disc
FD	Found	STY	Story
FIB	Found Iron Bar	UP	Utility Pole
FIP	Found Iron Pipe	WM	Water Meter
INV	Invert	WV	Water Valve
IRR	Irregular		

SYMBOLS

Concrete Utility Pole	Street Light
Fire Hydrant	Wood Utility Pole
Sanitary Sewer Clean Out	Water Meter

SURVEYOR'S NOTES:

North arrow based on assumed meridian
Reference Bearing: R/W Riviera Drive
3.4 denotes existing elevation
Elevations based on N.G.V.D. 1929 Datum
Bench Mark No.: Basic Elevation: 14.324'
Title search has not been performed on
said or surrounding properties.

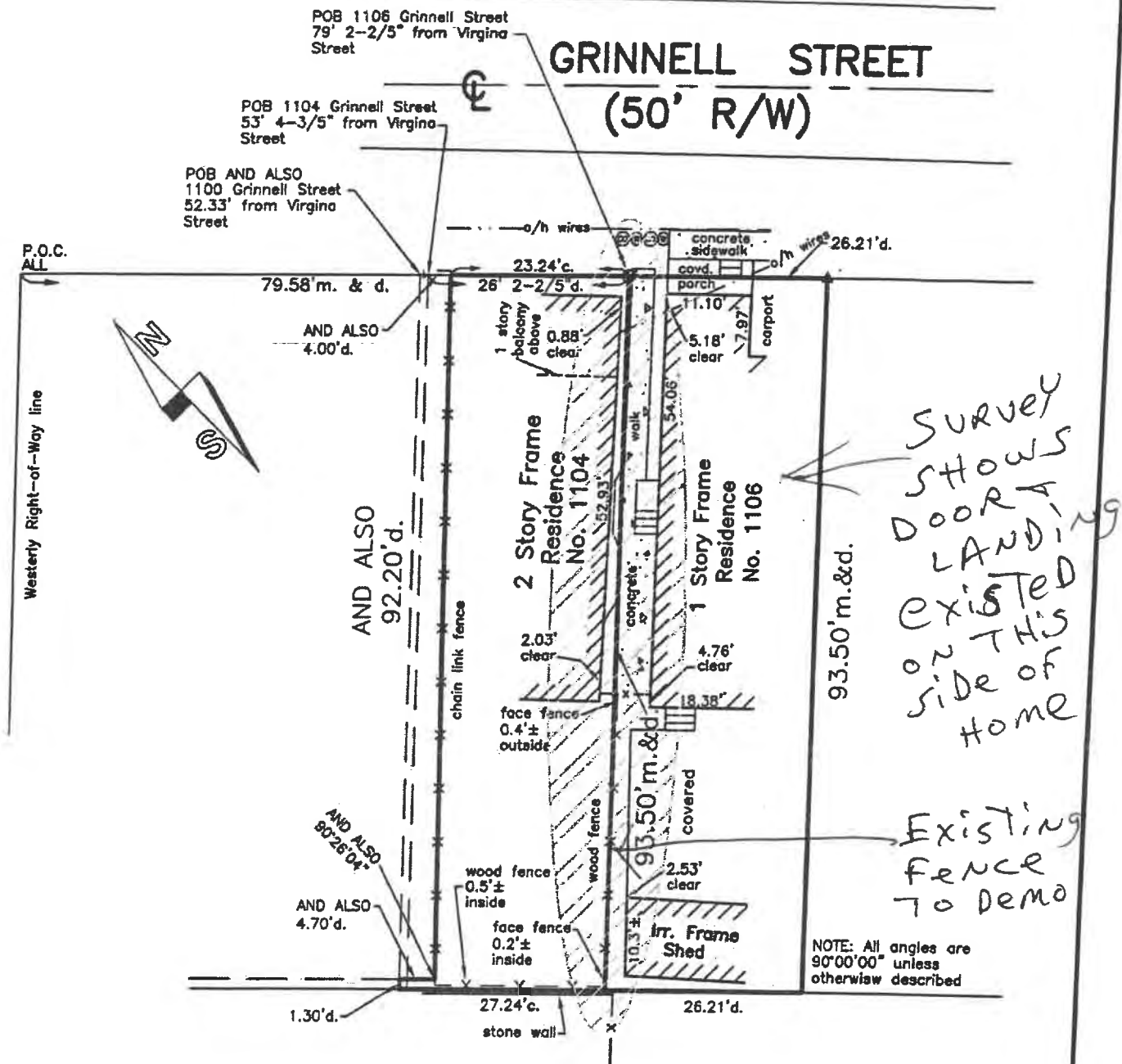
Field Work performed on: 7/15/15

MONUMENTATION:

- ⊕ = Set 1/2" Iron Pipe, P.L.S. No. 2749
- △ = Set P.K. Nail, P.L.S. No. 2749
- ▲ = Found P.K. Nail
- = Found 1/2" Iron Pipe

This SPECIFIC PURPOSE SURVEY is
to illustrate the Southeasterly/
Northwesterly property line and
improvements between 1104
Grinnell Street and 1106 Grinnell
Street.

VIRGINIA STREET



NOTE: All angles are
90°00'00" unless
otherwise described

CERTIFICATION:

I HEREBY CERTIFY that the attached Specific Purpose Survey, Property Line
is true and correct to the best of my knowledge and belief; that it meets the minimum
technical standards adopted by the Florida Board of Land Surveyors, Chapter 5J-17
Florida Statute Section 72.027, and the American Land Title Association, and that
there are no visible encroachments unless shown hereon.

FREDERICK H. HILDEBRANDT
Professional Land Surveyor & Mapper No. 2749
Professional Engineer No. 36810
State of Florida

NOT VALID UNLESS EMBOSSED WITH RAISED SEAL & SIGNATURE

Aundria Portner Vanbourgondien
1104/1106 Grinnell Street, Key West, FL 33040

SPECIFIC PURPOSE SURVEY
LOCATE SOUTHEASTERLY BOUNDARY

Dwg. No.
15-368

Scale 1" = 20'

Ref.
119-38

Flood Panel No. 1517 K

Dwn. By F.H.H.

Date: 12/17/95

File

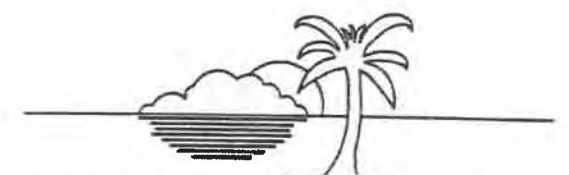
Flood Zone X

Flood Elev. -

REVISIONS AND/OR ADDITIONS

7/16/15: Updated, locate SE boundary line & improvements

fred\drawings\keywest\block127\1104\1106grinnell



ISLAND SURVEYING INC.

ENGINEERS PLANNERS SURVEYORS

3152 Northside Drive
Suite 201
Key West, FL 33040

(305) 293-0466
Fax: (305) 293-0237
fhildeb1@bellsouth.net
L.B. No. 7700

PROPOSED DESIGN

SITE DATA

SITE ADDRESS: 1106 GRINNELL ST. KEY WEST, FL. 33040
RE: 00031510-000000
ZONING: HMDR (HISTORIC MEDIUM DENSITY RESIDENTIAL)
FLOOD ZONE: X
F.I.R.M.- COMMUNITY#12087C; MAP & PANEL #1516 SUFFIX K; DATE:02-18-05
SECTION/TOWNSHIP/RANGE: 5-68-25
LEGAL DESCRIPTION: KW G G WATSON SUB I-209 PT LOT 3 SQR 5 TR 13
SETBACKS: FRONT 10 FT; SIDE 5 FT; STREET SIDE 7.5 FT REAR 15 FT
OCCUPANCY: R-3 RESIDENTIAL SINGLE FAMILY
TYPE OF CONSTRUCTION: VB

DESIGN DATA

THE WORK DEPICTED HEREIN WAS DESIGNED TO MEET THE REQUIREMENTS OF THE 2020 FLORIDA BUILDING CODE AND THE LATEST EDITIONS OF THE FLORIDA MODEL ENERGY CODE, FIRE CODE, LIFE SAFETY CODE AND THE NATIONAL ELECTRIC CODE.
THE FOLLOWING LOADINGS WERE USED:
DESIGN LOADS: ASCE 7-16
WIND LOAD: 180 mph; 3 sec gust; EXPOSURE C; ROOF LIVE LOAD 20 PSF; DEAD LOAD 15 PSF; FLOOR LL 40 PSF, DECK LL 40 PSF
SOIL BEARING CAPACITY ASSUMED 2000LBS PER SQ.FT.
FEMA FLOOD DESIGN PER ASCE 24-14

INDEX OF DRAWINGS

SHEET CS-1 - COVER SHEET AND SITE PLANS
SHEET A-1 - FLOOR PLAN AND ELEVATIONS
SHEET A-2 - EXISTING ELEVATIONS
SHEET MEP-1 - MECHANICAL, ELECTRICAL, PLUMBING PLAN
SHEET S-1 - STRUCTURAL PLAN
SHEET S-2 - STRUCTURAL PLAN

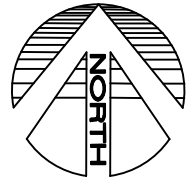
GENERAL NOTES

- THESE PLANS ARE FOR THE CONSTRUCTION AT THE LOCATION SO DESIGNATED HEREIN.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR, EQUIPMENT AND SUPERVISION NECESSARY TO PROVIDE THE WORK COMPLETE AND READY FOR USE.
- THERE SHALL BE NO DEVIATION FROM THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD.
- THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BEFORE BID. CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK SITE AND REPORT ANY DISCREPANCIES, DIFFERENCES OR CONDITIONS THAT ARE UNSATISFACTORY OR UNSAFE.
- NOTIFY THE ENGINEER OF RECORD IMMEDIATELY OF ANY DISCREPANCIES, DIFFERENCES, UNSATISFACTORY OR UNSAFE CONDITIONS. ANY MODIFICATIONS OR CHANGES MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER AND ENGINEER OF RECORD SHALL NOT BE ALLOWED. ANY REWORK, RESTORATION OR OTHER IMPACT AS A RESULT OF NOT OBTAINING SUCH PRIOR APPROVAL WILL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COST OR COMPENSATION FROM THE OWNER.
- THE CONTRACTOR SHALL PROVIDE FOR THE SAFETY, PREVENTION OF INJURY OR OTHER LOSS AT THE JOB TO ALL PERSONS EMPLOYED IN THE WORK, PERSONS VISITING THE WORK AND THE GENERAL PUBLIC. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE, DUE TO THE WORK, TO MATERIALS OR EQUIPMENT AND OTHER PROPERTY AT THE SITE OR ADJACENT THERETO.
- NO RESEARCH AS TO THE PRESENCE OF UNDERGROUND UTILITIES HAS BEEN INCLUDED ON OR PERFORMED FOR THIS PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING SUNSHINE UTILITY LOCATE SERVICE PRIOR TO ANY CONSTRUCTION WITHIN ANY PUBLIC RIGHT-OF-WAY OR OTHER AREAS WHERE UNDERGROUND UTILITIES MAY BE PRESENT (I.E. IN AND AROUND UTILITY EASEMENTS, ETC.).
- THE GENERAL CONTRACTOR SHALL PROVIDE AN ON-SITE DUMPSTER IN A LOCATION COORDINATED WITH THE OWNER FOR THE DISPOSAL OF REMOVED MATERIAL AND CONSTRUCTION DEBRIS. THE DUMPSTER SHALL BE EMPTIED AT APPROPRIATE INTERVALS TO PREVENT OVERFLOW AND UNSIGHTLY CONDITIONS.
- THE CONTRACTOR SHALL PERFORM ALL WORK IN STRICT CONFORMANCE WITH THE PLANS, 2020 FLORIDA BUILDING CODE, LOCAL CODES AND ORDINANCES, MANUFACTURER RECOMMENDATIONS AND ACCEPTABLE TRADE PRACTICES. ANY CONFLICT BETWEEN THESE REQUIREMENTS AND THE MOST STRINGENT REQUIREMENTS SHALL GOVERN THE WORK.
- SHOP DRAWINGS OF ALL PREFABRICATED STRUCTURAL FLOOR AND ROOF SYSTEMS AND MECHANICAL SYSTEMS SHALL BEAR THE SEAL OF A FLORIDA PROFESSIONAL ENGINEER AS REQUIRED BY THE 2020 FLORIDA BUILDING CODE AND SHALL BE SUBMITTED TO THE ENGINEER OF RECORD BY THE CONTRACTOR FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
- THE CONTRACTOR SHALL NOT SCALE DRAWINGS. ANY INFORMATION THAT THE CONTRACTOR CANNOT OBTAIN FROM DIMENSIONS, DETAIL OR SCHEDULE SHALL BE OBTAINED FROM THE ENGINEER OF RECORD.
- THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES TO PREVENT ANY CONFLICTS.
- THE CONTRACTOR SHALL FURNISH ALL SUBCONTRACTORS WITH A COMPLETE SET OF PLANS. ALL CHANGES SHALL BE NOTED ON THE DRAWINGS AND (2) COMPLETE AS-BUILT SETS SHALL BE DELIVERED TO THE OWNER AFTER COMPLETION OF WORK.

NOTE: STRUCTURE TO HAVE A RESIDENTIAL SPRINKLER SYSTEM WHICH WILL BE DESIGNED AND PERMITTED BY OTHERS

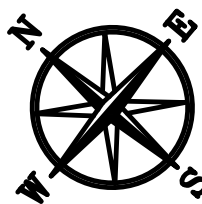
SCOPE OF WORK

- INTERIOR REMODEL
- NEW ELECTRIC, MECHANICAL, AND PLUMBING
- RE-FRAME REAR PORTION OF STRUCTURE
- NEW KNEE WALLS IN MAIN PORTION OF STRUCTURE
- SISTER RAFTERS IN MIDDLE PORTION OF STRUCTURE
- NEW REAR DECK
- NEW STORAGE AREA IN GABLE AREA.
- SHEATHING OF EXTERIOR FRAMING.
- DOORS AND WINDOWS.

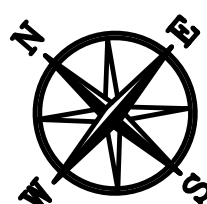
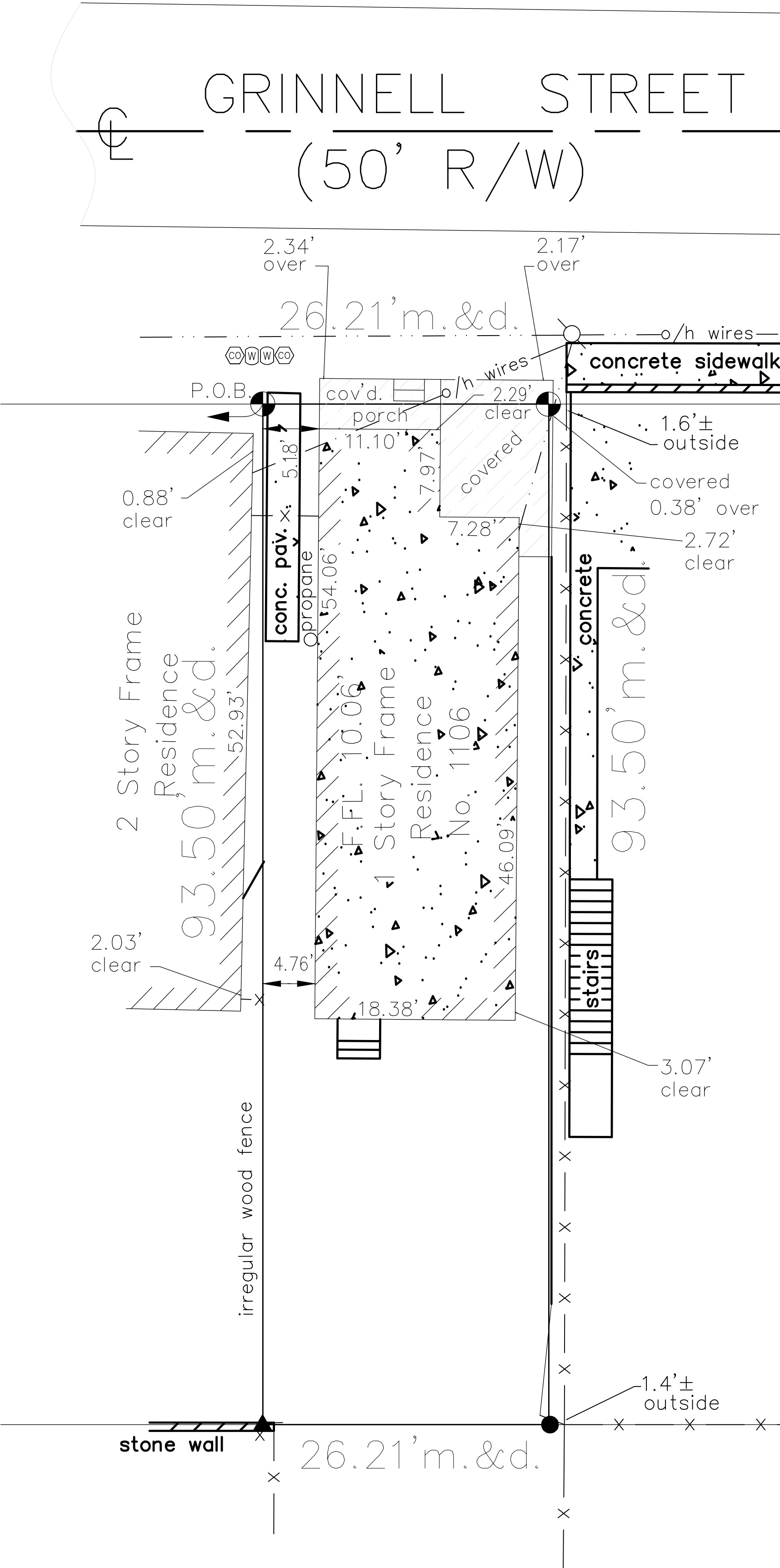


1 LOCATION MAP
SCALE: NOT TO SCALE

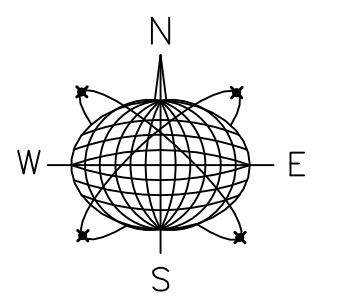
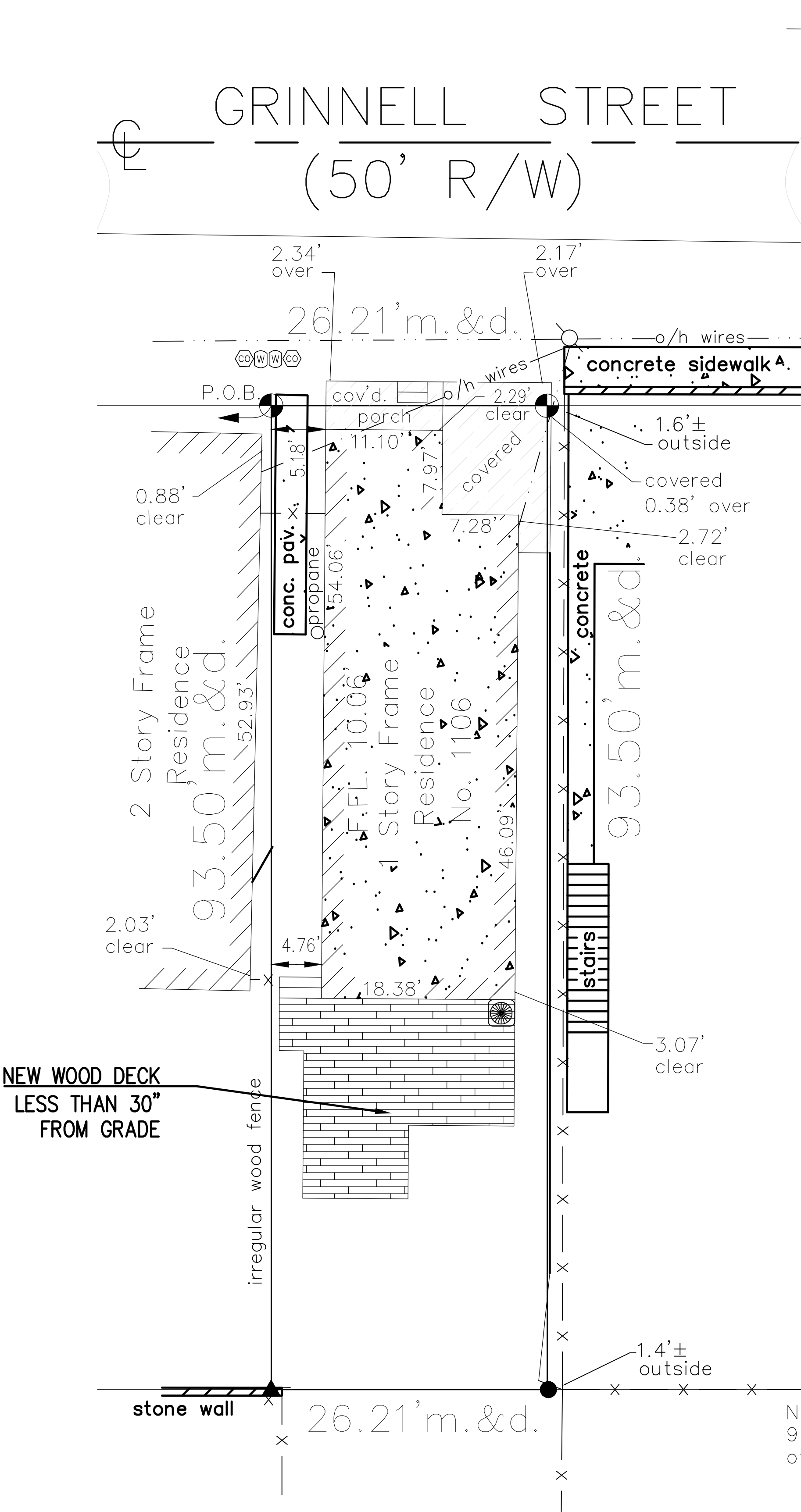
PROJECT DATA						
	PROPOSED		EXISTING		REQUIRED	VARIANCE REQUESTED
RE NO.	00034820-000000					
SETBACKS:						
FRONT	0' MAIN HOUSE		0'		10'	NONE
STREET SIDE	N/A		N/A		7.5'	NONE
LEFT SIDE	NO CHANGE		3'-9"		5'	NONE
RIGHT SIDE	NO CHANGE		0'		5'	NONE
REAR	NO CHANGE		36'-1/2"		15'	NONE
LOT SIZE	NO CHANGE		2,451 SQ.FT.		4000 SQ.FT.	NONE
BUILDING COVERAGE	1,074 SQ.FT.	43.8%	1,074 SQ.FT.	43.8%	40% MAX	NONE
FLOOR AREA	NO CHANGE		935 SQ.FT.	.38	1.0	NONE
BUILDING HEIGHT			N/A		30' MAX	NONE
IMPERVIOUS AREA	1,144 SQ.FT.	46.7%	1,144 SQ.FT.	46.7%	60% MAX	NONE
OPEN SPACE	977 SQ.FT.	39.8%	1,307 SQ.FT.	53.3%	35% MIN	NONE



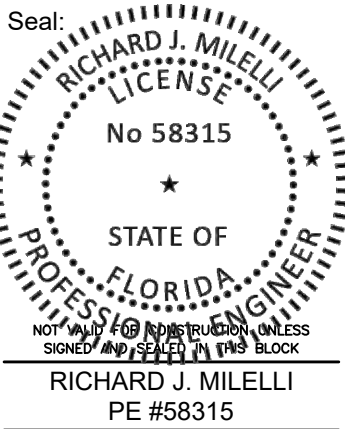
2 EXISTING SITE PLAN
SCALE: 1/8"=1'-0"



3 PROPOSED SITE PLAN
SCALE: 1/8"=1'-0"



Northstar Engineering LLC
13 Bamboo Terrace
Key Haven, Florida 33040
AUTHORIZATION #34715
ph:305-481-0400



General Notes:
1. THESE PLANS ARE FOR THE CONSTRUCTION AT THE LOCATION SO DESIGNATED HEREIN.
2. THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR, EQUIPMENT AND SUPERVISION NECESSARY TO PROVIDE THE WORK COMPLETE AND READY FOR USE.
3. THERE SHALL BE NO DEVIATION FROM THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD.
4. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BEFORE BID. CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK SITE AND REPORT ANY DISCREPANCIES, DIFFERENCES OR CONDITIONS THAT ARE UNSATISFACTORY OR UNSAFE.
5. NOTIFY THE ENGINEER OF RECORD IMMEDIATELY OF ANY DISCREPANCIES, DIFFERENCES, UNSATISFACTORY OR UNSAFE CONDITIONS. ANY MODIFICATIONS OR CHANGES MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER AND ENGINEER OF RECORD SHALL NOT BE ALLOWED. ANY REWORK, RESTORATION OR OTHER IMPACT AS A RESULT OF NOT OBTAINING SUCH PRIOR APPROVAL WILL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COST OR COMPENSATION FROM THE OWNER.
6. THE CONTRACTOR SHALL PROVIDE FOR THE SAFETY, PREVENTION OF INJURY OR OTHER LOSS AT THE JOB TO ALL PERSONS EMPLOYED IN THE WORK, PERSONS VISITING THE WORK AND THE GENERAL PUBLIC. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE, DUE TO THE WORK, TO MATERIALS OR EQUIPMENT AND OTHER PROPERTY AT THE SITE OR ADJACENT THERETO.
7. NO RESEARCH AS TO THE PRESENCE OF UNDERGROUND UTILITIES HAS BEEN INCLUDED ON OR PERFORMED FOR THIS PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING SUNSHINE UTILITY LOCATE SERVICE PRIOR TO ANY CONSTRUCTION WITHIN ANY PUBLIC RIGHT-OF-WAY OR OTHER AREAS WHERE UNDERGROUND UTILITIES MAY BE PRESENT (I.E. IN AND AROUND UTILITY EASEMENTS, ETC.).
8. THE GENERAL CONTRACTOR SHALL PROVIDE AN ON-SITE DUMPSTER IN A LOCATION COORDINATED WITH THE OWNER FOR THE DISPOSAL OF REMOVED MATERIAL AND CONSTRUCTION DEBRIS. THE DUMPSTER SHALL BE EMPTIED AT APPROPRIATE INTERVALS TO PREVENT OVERFLOW AND UNSIGHTLY CONDITIONS.
9. THE CONTRACTOR SHALL PERFORM ALL WORK IN STRICT CONFORMANCE WITH THE PLANS, 2020 FLORIDA BUILDING CODE, LOCAL CODES AND ORDINANCES, MANUFACTURER RECOMMENDATIONS AND ACCEPTABLE TRADE PRACTICES. ANY CONFLICT BETWEEN THESE REQUIREMENTS AND THE MOST STRINGENT REQUIREMENTS SHALL GOVERN THE WORK.
10. SHOP DRAWINGS OF ALL PREFABRICATED STRUCTURAL FLOOR AND ROOF SYSTEMS AND MECHANICAL SYSTEMS SHALL BEAR THE SEAL OF A FLORIDA PROFESSIONAL ENGINEER AS REQUIRED BY THE 2020 FLORIDA BUILDING CODE AND SHALL BE SUBMITTED TO THE ENGINEER OF RECORD BY THE CONTRACTOR FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
11. THE CONTRACTOR SHALL NOT SCALE DRAWINGS. ANY INFORMATION THAT THE CONTRACTOR CANNOT OBTAIN FROM DIMENSIONS, DETAIL OR SCHEDULE SHALL BE OBTAINED FROM THE ENGINEER OF RECORD.
12. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES TO PREVENT ANY CONFLICTS.
13. THE CONTRACTOR SHALL FURNISH ALL SUBCONTRACTORS WITH A COMPLETE SET OF PLANS. ALL CHANGES SHALL BE NOTED ON THE DRAWINGS AND (2) COMPLETE AS-BUILT SETS SHALL BE DELIVERED TO THE OWNER AFTER COMPLETION OF WORK.

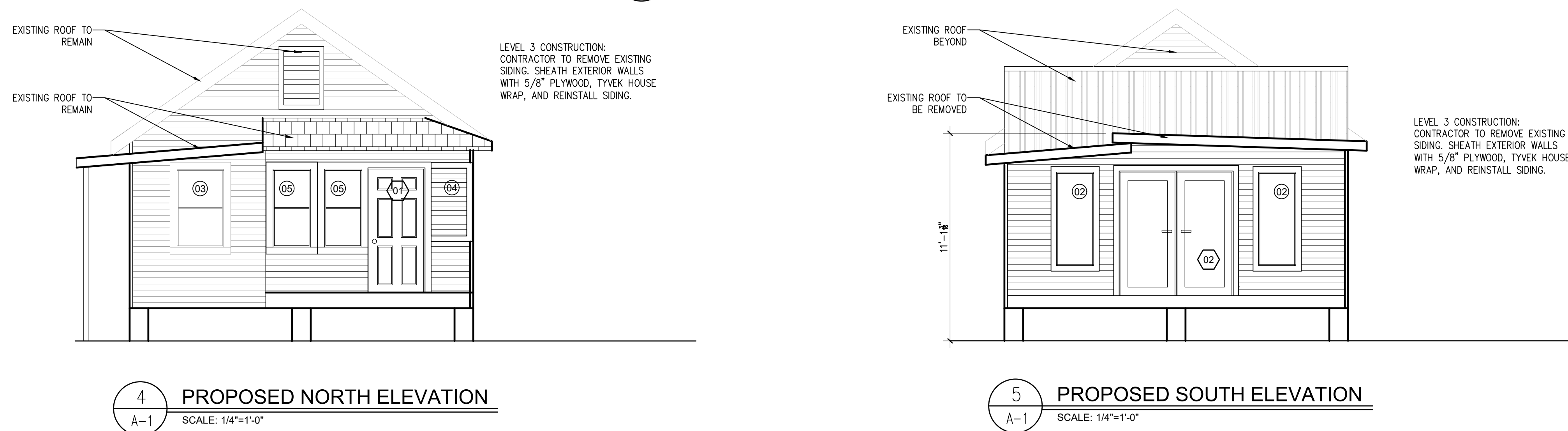
RESIDENTIAL CONSTRUCTION
1106 GRINNELL ST.
KEY WEST, FLORIDA

Drawn By: JMT
Checked By: RJM
Project No. Scale: AS NOTED
AutoCad File No.

Revisions:
1. OWNER/KWB REVISION 3.12.23
2. HARC REVISION 4.21.23

Title:
COVER SHEET AND SITE PLANS

Sheet Number:
CS-1
Date: NOVEMBER 16, 2022



- CONTRACTOR TO PROVIDE THE NOA'S.
- CONTRACTOR TO FIELD VERIFY ALL DOOR DIMENSIONS.
- CONTRACTOR TO FOLLOW ALL MANUF. INSTRUCTIONS FOR INSTALLATION.

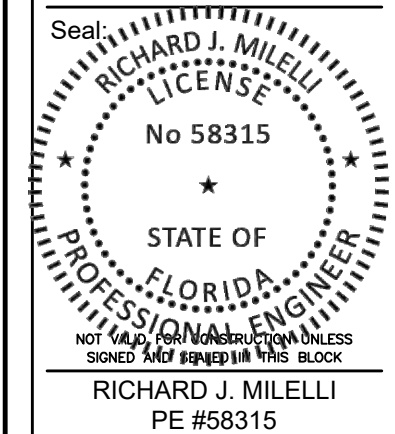
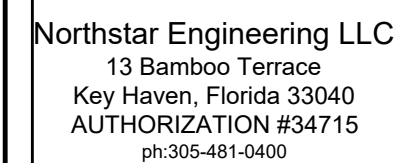
NOTE: ALL BEDROOM WINDOWS ARE TO MEET FL. BLDG. CODE 2020 FOR EGRESS. A MIN. 5 SQ. FT. NET CLEAR OPENING IS REQUIRED WITH A MIN. NET CLEAR HEIGHT OF 24" & MIN. NET CLEAR WIDTH OF 20".

ADDITIONAL NOTES:

1. CONTRACTOR TO PROVIDE THE NOA'S.
2. CONTRACTOR TO FIELD VERIFY ALL WINDOW DIMENSIONS.
3. CONTRACTOR TO FOLLOW ALL MANUF. INSTRUCTIONS FOR INSTALLATION

* EGRESS WINDOW, MUST MEET
CODE MINIMUM 5.7 SQ. FT. & FIRST
FLOOR 5.0 SQ. FT. OPENING, 20"
WIDE, 24" HIGH

UNIT GLASS AND/OR MULTIPLE
UNIT GLASS SHALL BE INSULATED
& TEMPERED SAFETY GLASS AS
PER ANSI'S SPECS.



General Notes:

THIS ITEM WAS RECD. DIGITALLY
SIGNED AND SEALED BY
RICHARD J. WILLELLI, PE ON
(3-12-2023) USING A DIGITAL
SIGNATURE.

PRINTED COPIES OF THIS
DOCUMENT ARE NOT
CONSIDERED SIGNED AND
SEALED AND THE SIGNA-
TURE AND DATE MUST BE
VERIFIED ON ANY ELECTRONIC
COPIES.

RESIDENTIAL CONSTRUCTION

1106 GRINNELL ST.
KEY WEST, FLORIDA

Drawn By: JMT	Checked By: RJM
Project No.	Scale: AS NOTED
AutoCad File No.	

AutoCad File No.

Revisions:
1. OWNER/KWBD REVISION 3.12.23

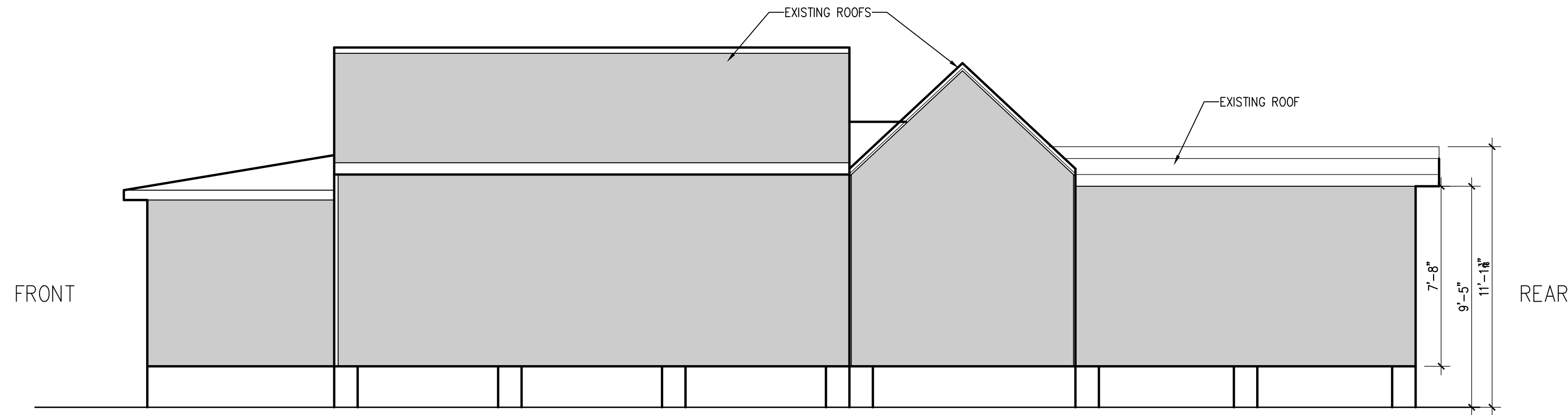
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FLOOR PLAN
AND
ELEVATIONS

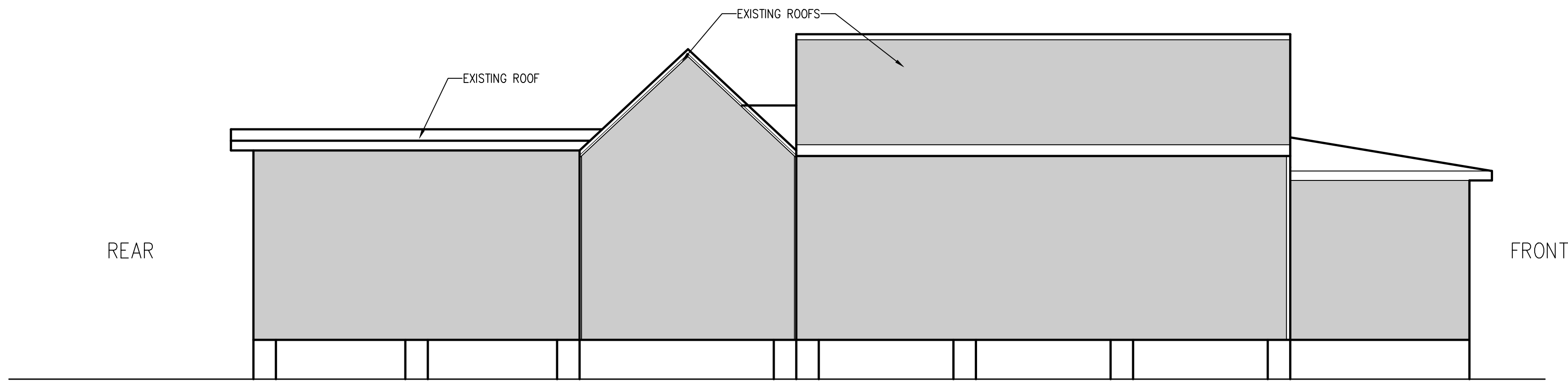
Sheet Number:

Sheet Number:
A-1

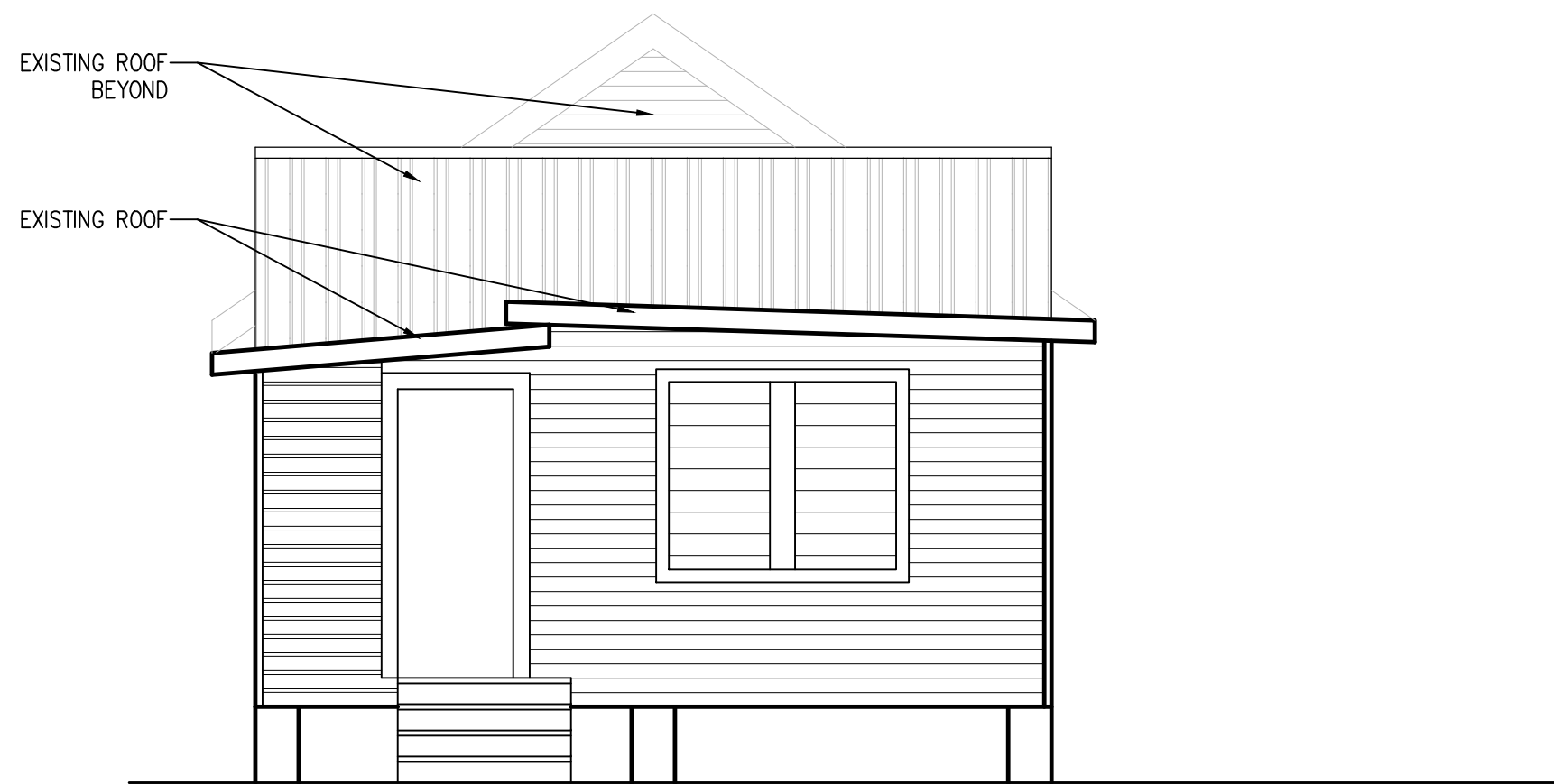
Date: NOVEMBER 16, 2022



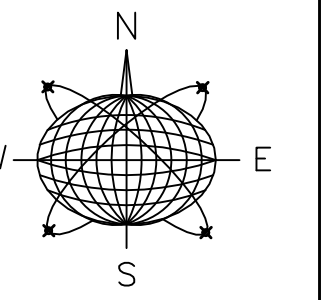
1
A-2
EXISTING WEST ELEVATION
SCALE: 1/4"=1'-0"



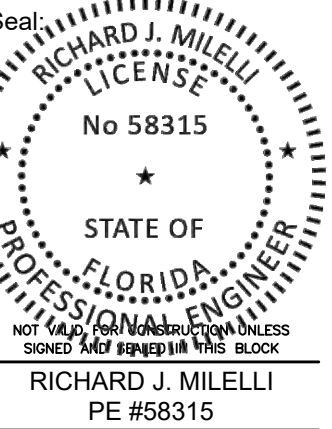
2
A-2
EXISTING EAST ELEVATION
SCALE: 1/4"=1'-0"



3
A-2
EXISTING REAR ELEVATION
SCALE: 1/4"=1'-0"



Northstar Engineering LLC
13 Bamboo Terrace
Key Haven, Florida 33040
AUTHORIZATION #34715
ph:305-481-0400



General Notes:
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES OF THE STATE OF FLORIDA AND THE AMERICAN INSTITUTE OF ARCHITECTS (AIA) STANDARDS AND SPECIFICATIONS FOR THE BUILDING INDUSTRY.
2. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
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RESIDENTIAL
CONSTRUCTION
1106 GRINNELL ST.
KEY WEST, FLORIDA

Drawn By:	Checked By:
JMT	RJM
Project No.	Scale:
	AS NOTED
AutoCad File No.	

Revisions:
2 - HARC REVISION 4.21.23

Title:
EXISTING
ELEVATIONS

Sheet Number:
A-2
Date: NOVEMBER 16, 2022



ALL APPLICABLE CODES, MECHANICAL CODES.

CD 150 CFM

AHU LOCATED IN ATTIC. EXISTING LIGHTS. ACCESS BY SPIRAL STAIRS

AHU

BEDROOM

CD 150 CFM

TRANSFER GRILL

CD 80 CFM

CD 50 CFM

CD 50 CFM

TRANSFER GRILL

CD 140 CFM

CD 105 CFM

CD 105 CFM

CD 105 CFM



N.T.S

NOTES:

1. SHUT-OFFS AT ALL FIXTURES AND BRANCHES
2. ABOVE GRADE WATER PIPING, CPVC.
3. BELOW GRADE WATER PIPING, CPVC.
4. P.V.C. WASTE LINES ABOVE GRADE.



N.T.S

5. P.V.C. WASTE LINES BELOW GRADE.
6. PROVIDE 1/2" COLD WATER SUPPLIES TO TOILET
7. PROVIDE 1/2" HOT & COLD WATER SUPPLIES TO ALL OTHER FIXTURES UNLESS NOTED

Type:	Square D	Volts:	120/240, Single Phase, 3W
MTG:	QO Load Center (42 Place)	BIUS:	200A
Main:	Flush	Load:	M.L.O.

CKT No.	Load Description	Phase			Circuit				Circuit				Phase			Load Description	CKT No.
		A	C	BRK	P	W	C ⁴	W	P	BRK	A	C					
1		2400			30	2	10	3/4"	3/4"	8	2	45		2500		CU	4
3			2400											2500			4
5	Hot Water Heater	2800		30	2	10	3/4"	3/4"	10	2	30					Hot Water Heater	6
7		2800											2800				8
9	Washing Machine	2000		20	1	12	1/2"	3/4"	10	2	30		2250			Dryer	10
11	Refrigerator - Main		1500	20	1	12	1/2"						2250				12
13	Microwave - Kitchen		1200	20	1	12	1/2"	1/2"	12	1	20	-				Dishwasher	14
15	Laundry	1500		20	1	12	1/2"	1/2"	12	1	20	-	-			Disposal	16
17	Kitchen	1500		20	1	12	1/2"	12	1	20	-	-				Bath #1	18
19	Kitchen	1500		20	1	12	1/2"	12	1	20	-	-				Bath #2	20
21	Outdoor Lights / Rec (**)	-		20	1	12		12	1	20	-	-			Gen Lighting / Rec (***)	22	
23	Gen Lighting / Rec (***)	-		20	1	12		12	1	20	-	-			Gen Lighting / Rec (***)	24	
25	Gen Lighting / Rec (***)	-		20	1	12		12	1	20	-	-			Gen Lighting / Rec (***)	26	
27	Gen Lighting / Rec (***)	-		20	1	12											28
29	Gen Lighting / Rec (***)	-		20	1	12											30
31																	32
33																	34
35																	36
37																	38
39																	40
41																	42

Total "A"	19250
Total "C"	15450
General Lighting / Rec	900
Total Load (VA)	35600
Total Amps	148

Notes:
1. " " is part of the 3.0W / SQFT Load
2. (***) AFCI Type Breaker (All bedroom, living room, laundry circuits)
3. (**) HACR Type Breaker
4. EMT conduit

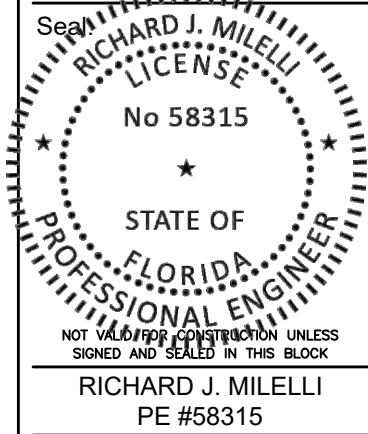
Notes:

1. " " is part of the 3.0W / SQFT Load
2. (***) AFCI Type Breaker (All bedroom, living room, laundry circuits)
3. (**) HACR Type Breaker
4. EMT conduit

1. THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR, EQUIPMENT AND SUPPLEMENTARY NECESSARY TO PROVIDE THE WORK COMPLETE AND READY TO USE.
2. ALL DEVICES, EQUIPMENT, MATERIAL, AND LABOR SHALL BE PROVIDED BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
3. ALL ELECTRICAL EQUIPMENT AND DEVICES SHALL BE MOUNTED AS PER EQUIPMENT AND DEVICE MANUFACTURER RECOMMENDATIONS.
4. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC) AND ALL OTHER APPLICABLE CODES AND STANDARDS.
5. NO PIPE, CONDUIT OR JUNCTION BOX SHALL BE INSTALLED IN STRUCTURAL SLABS, COLUMNS OR BEAMS UNLESS SPECIFICALLY SHOWN ON STRUCTURAL DRAWINGS.
6. THE CONTRACTOR IS RESPONSIBLE FOR EVALUATING EXISTING CONDITIONS AT THE SITE AND WITHIN THE BUILDING PRIOR TO BID.
7. THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANY FOR NEW SERVICE AND ANY OTHER REQUIREMENTS OF THE LOCAL UTILITY OR FEDERAL FEEDER BY KEYS.
8. THE CONTRACTOR SHALL COORDINATE SPOT LOCATION WITH KEYS SERVICE REQUIREMENTS.
9. ELECTRICAL DRAWINGS (PLANS, DIAGRAMS, ETC.) ARE DIAGRAMMATIC AND SHOULD NOT BE SCALED. THE DRAWINGS DO NOT SHOW EVERY BEND, OFFSET, ELBOW AND OTHER FITTINGS WHICH MAY BE REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTION OF ANY REQUIRED TO CORRECT WORK WITH THAT OF OTHER TRADES. ANY WORK NOT SHOWN BUT CONSIDERED NECESSARY FOR PROPER COMPLETION OF THE WORK SHALL BE PROVIDED WITHOUT ADDITIONAL CHARGES TO THE OWNER.
10. ALL WORK SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER.
11. ALL MATERIALS AND EQUIPMENT TO BE INSTALLED SHALL BE NEW AND FREE OF DEFECTS. ALL ELECTRICAL EQUIPMENT SHALL COMPLY WITH NATIONAL ELECTRICAL MANUFACTURERS' ASSOCIATION (NECA) STANDARDS AND SHALL BE PROTECTED FROM MECHANICAL DAMAGE.
12. THE CONTRACTOR SHALL SATISFACTORILY REPAIR AND/OR REPLACE EXISTING WORK, FEATURES AND EQUIPMENT DAMAGED AS A RESULT OF HIS WORK. SURFACES AND FINISHES SHALL BE RESTORED TO MATCH ADJACENT AREAS.
13. ALL WORK NOTING OTHERWISE REQUIRED FOR THE INSTALLATION OF ELECTRICAL WORK SHALL BE ACCOMPLISHED IN AN APPROVED MANNER. APPROVAL SHALL BE OBTAINED FROM THE ENGINEER PRIOR TO CUTTING OR DRILLING STRUCTURAL MEMBERS UNLESS SPECIFICALLY ADDRESSED HEREIN.
14. EXISTING ELECTRICAL WORK, FEATURES AND EQUIPMENT NOTED AND/OR REQUIRED TO BE REPLACED SHALL BE PROTECTED FROM MECHANICAL DAMAGE. ALL EXISTING ELECTRICAL WORK, WIRING, BOXES, SWITCHES AND OTHER ELECTRICAL ITEMS NOT PLANNED TO REMAIN IN USE.
15. ALL DEVICE BOXES SHALL BE INSTALLED FLUSH AND CONDUITS RUN CONCEALED IN FINISHED AREAS UNLESS OTHERWISE NOTED.
16. ALL CONDUITS INSTALLED INTERIOR SHALL BE EMT. ALL CONDUITS INSTALLED EXTERIOR SHALL BE GALVANIZED RIGID METAL CONDUIT.
17. ALL WIRE SHALL BE #12 UNLESS OTHERWISE NOTED ON DRAWINGS. CONDUCTORS #10 AND #12 SHALL BE SOLID COPPER. CONDUCTORS #8 AND LARGER SHALL BE STRANDED COPPER. UNLESS NOTED OTHERWISE, CONDUCTOR INSULATION SHALL BE DUAL RATED AT 75C/THIN/WH.
18. ALL MATERIAL SHALL BE UP APPROVED.
19. A TELEPHONE CABLE SHALL BE INSTALLED AND APPLIED TO THE PANEL DOOR AFTER COMPLETION OF WORK THAT REFLECTS ALL CHANGES AND ADDITIONS.
20. THE CONTRACTOR TO PROVIDE COMPUTER PRINTED ON WHITE WRAPAROUND PAPER WITH CLEAR PLASTIC PROTECTION FOR TAG FOR ALL WIRE MARKERS. MARKER SHALL STATE PANELBOARD NAME AND NUMBER AND LOCATION ON ALL WIRE MARKERS. THE CONTRACTOR INCLUDING ABANDONED RACEWAYS, SHALL CONTRACTOR TO PROVIDE PUNCH TAPES WITH LABELS ON ALL WIRING DEVICES FOR IDENTIFICATION.
21. MARKER SHALL BE 1/2" BLACK TAPES WITH WHITE RAISED LETTERS. TAPES LABELS SHALL STATE PANELBOARD NAME AND GROUP NUMBER.
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE SET OF RECORD DRAWINGS TO THE OWNER AT THE END FOR THE CONSTRUCTION.
23. ALL BRANCH CIRCUITS SHALL BE PROPERLY PHASE BALANCED WITHIN 10%.
24. ALL BRANCH PENETRATION SHALL BE PROTECTED WITH A FIRE SEAL, SIMILAR TO "OZ" FLAMESEAL.
25. ALL NON-POWER RELATED WIRING IN GELING/AC PLENUM RUNNING WITHIN THROAT SHALL BE TELFON CABLE CLASSIFIED FOR USE IN PLENUMS.
26. ALL OUTLETS, SWITCHES AND COVER PLATES SHALL HAVE WHITE FINISH OR OTHER COLOR SELECTED BY THE OWNER.
27. ALL BRANCH CIRCUITS SHALL BE EQUIPPED WITH A GREEN EQUIPMENT GROUNDING CONDUCTOR SIZED IN ACCORDANCE WITH NEC 250.95.
28. ALL EMPTY CONDUITS SHALL BE PROVIDED WITH NYLON PULP STRINGS.
29. ALL PENETRATION THROUGH EXTERIOR WALLS SHALL BE PROTECTED BY KEYS SERVICE REQUIREMENTS.
30. ALL LUMINAIRES SHALL BE PROPERLY SUPPORTED IN ACCORDANCE WITH CEILING MANUFACTURER RECOMMENDATIONS IF APPLICABLE AND LOCAL REQUIREMENTS. MOUNTING DEVICES MUST BE CAPABLE OF SUPPORTING THE WEIGHT OF THE LUMINAIRE.
31. ALL RECESS CANS SHALL BE RATED, AND CONTROLLED BY DIMMER SWITCHES.
32. ALL CABLES SHALL BE RUN WITHOUT SPICES UNLESS OTHERWISE NOTED.
33. PROVIDE REQUIRED CONNECTION FOR GARAGE DOOR OPENER(S), KITCHEN APPLIANCES, AND MECHANICAL EQUIPMENT.
34. ALL BATHROOM, GARAGE AND EXTERIOR RECEPTACLE OUTLETS AND KITCHEN RECEPTACLE OUTLETS WITHIN 6' OF WATER SOURCE SHALL BE GFI PROTECTED. ALL EXTERIOR RECEPTACLE OUTLETS SHALL BE GFI PROTECTED. ALL BEDROOM RECEPTACLE OUTLETS SHALL BE ARC FAULT PROTECTED IN ACCORDANCE WITH NEC 210.8.
35. THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF DRAWINGS TO INDICATE ALL CHANGES MADE TO THE ELECTRICAL DESIGN. THE AS-BUILT DRAWINGS SHALL BE DELIVERED TO THE OWNER WITHIN 10 BUSINESS DAYS OF THE COMPLETION OF THE PROJECT.
36. ALL SMOKE DETECTORS SHALL BE WIRED IN TANDUM.

MECHANICAL NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2020 MECHANICAL CODE, FLORIDA ENERGY EFFICIENCY CODE AND ALL LOCAL ORDINANCES.
2. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT, SUPERVISION, PERMITS, FEES AND INSPECTIONS NECESSARY TO PROVIDE THE WORK COMPLETE AND READY FOR USE.
3. CONTRACTOR SHALL VERIFY SPACE CONDITIONS AND DIMENSIONS AND SHALL COORDINATE WORK WITH ALL OTHER TRADES PRIOR TO FABRICATING DUCTWORK OR INSTALLING EQUIPMENT.
4. PRIMARY DUCTWORK SHALL BE CONSTRUCTION OF ONE AND HALF-INCH THICK (R-6 MINIMUM) FIBERGLASS DUCTBOARD WITH REINFORCED ALUMINUM FOIL FACED COVERING FABRICATED AND INSTALLED PER SMACNA RECOMMENDATIONS.
5. ALL VENTILATION AND EXHAUST DUCTWORK SHALL BE OF GALVANIZED SHEET METAL CONSTRUCTION PER SMACNA RECOMMENDATIONS.
6. REFRIGERANT PIPING SHALL BE TYPE "L" COPPER TUBING SIZED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. INSULATED SUCTION AND CONDENSATE PIPING WITH 1/4" THICK FOAM PLASTIC OF FIRE RETARDANT TYPE 25/30 MAXIMUM SKEO DEVELOPED AND FLAME SPREAD RATING RESPECTIVELY PER TESTS IN MPFA-255. FINISH WHERE EXPOSED WITH TWO COATS OF ACRYLIC LAQUER IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
7. ALL EQUIPMENT, MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. COMPRESSORS SHALL CARRY A FIVE-YEAR FACTORY GUARANTEE.
8. AIR CONDITION SYSTEM SHALL BE BALANCED TO OBTAIN COMFORT CONDITIONS IN ALL AREAS WITHOUT DRAFTING.
9. THERMOSTATS SHALL BE HEAT/COOL TYPE WITH FAN AND SYSTEM SELECTOR SWITCH ON SUB BASE. MOUNT FIVE FEET ABOVE FINISHED FLOOR WHERE SHOWN.
10. ALL DUCT ELBOWS GREATER THAN FORTY FIVE (45) DEGREES SHALL BE FITTED WITH TURNING VANES.
11. PROVIDE READY ACCESSIBILITY TO DAMPERS AND OTHER PARTS OF THE SYSTEM REQUIRED TO BE REACHED FOR MAINTENANCE AND OPERATIONS.
12. VERIFY ALL VOLTAGES WITH ELECTRICAL CONTRACTOR BEFORE ORDERING EQUIPMENT.
13. VIBRATION ISOLATION SHALL BE PROVIDED FOR ALL EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS.
14. ALL OUTSIDE EQUIPMENT SHALL BE SECURED TO WITHSTAND FORCES GENERATED BY 150 MPH WINDS.
15. FLEXIBLE DUCT SHALL BE FACTORY FABRICATED ROUND DUCTWORK COMPOSED OF CORROSION-RESISTANT REINFORCING WITH HELIX PERMANENTLY BONDED AND ENCLOSED IN POLYESTER FILM. THEN COVERED WITH 1-1/2 INCH THICK 1/4 CFT (R-6 MINIMUM) DENSITY FIBERGLASS INSULATION BLANKET SHEATHED IN A VAPOR BARRIER OF ALUMINUM METALIZED POLYESTER FILM LAMINATED TO GLASS MESH, ELASTOMER BACK COATED. THE DUCT SHALL COMPLY WITH MPFA BULLETIN 90-A AND BE LISTED A CLASS 1 AIR DUCT. UL 181 DUCT SHALL BE "WIRE HOUL" TYPE WC OR EQUAL.



General Notes:

RESIDENTIAL
CONSTRUCTION

Drawn By: JMT	Checked By: RJM
Project No.	Scale: AS NOTED

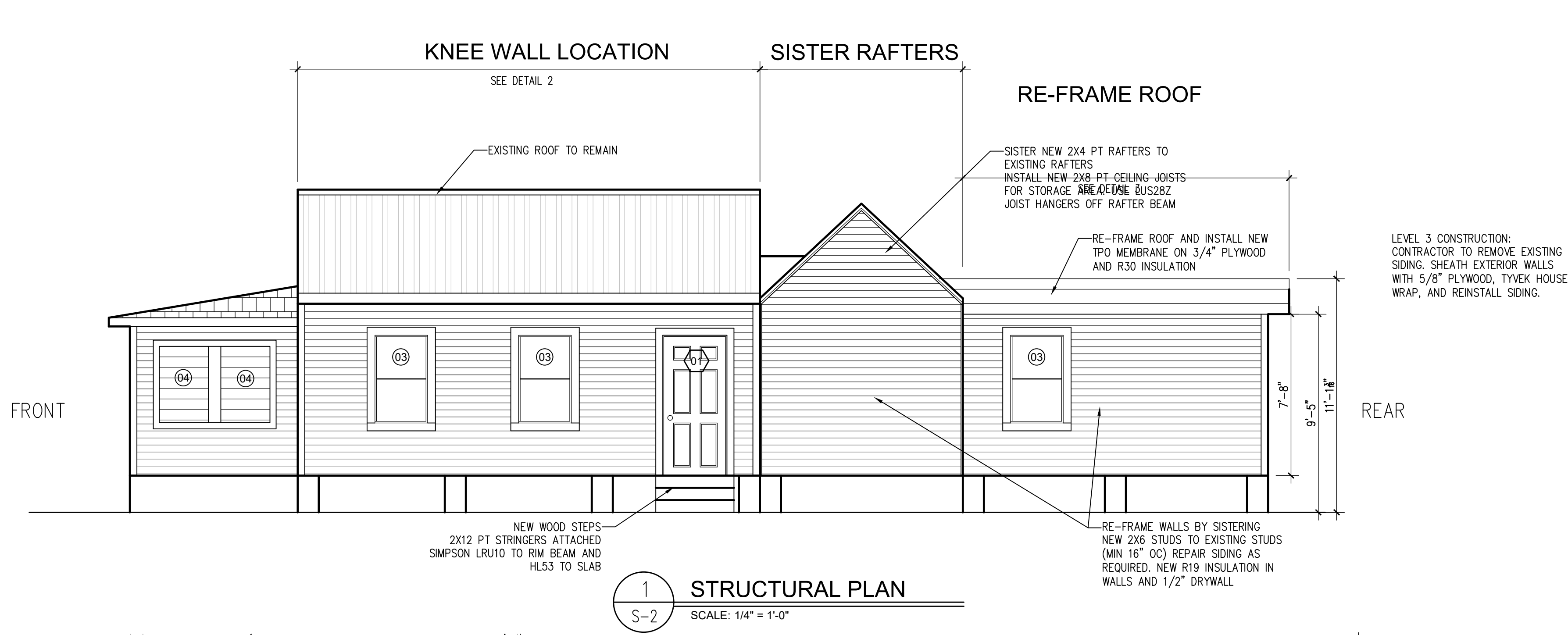
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Revisions: N 3.12.23

Title:

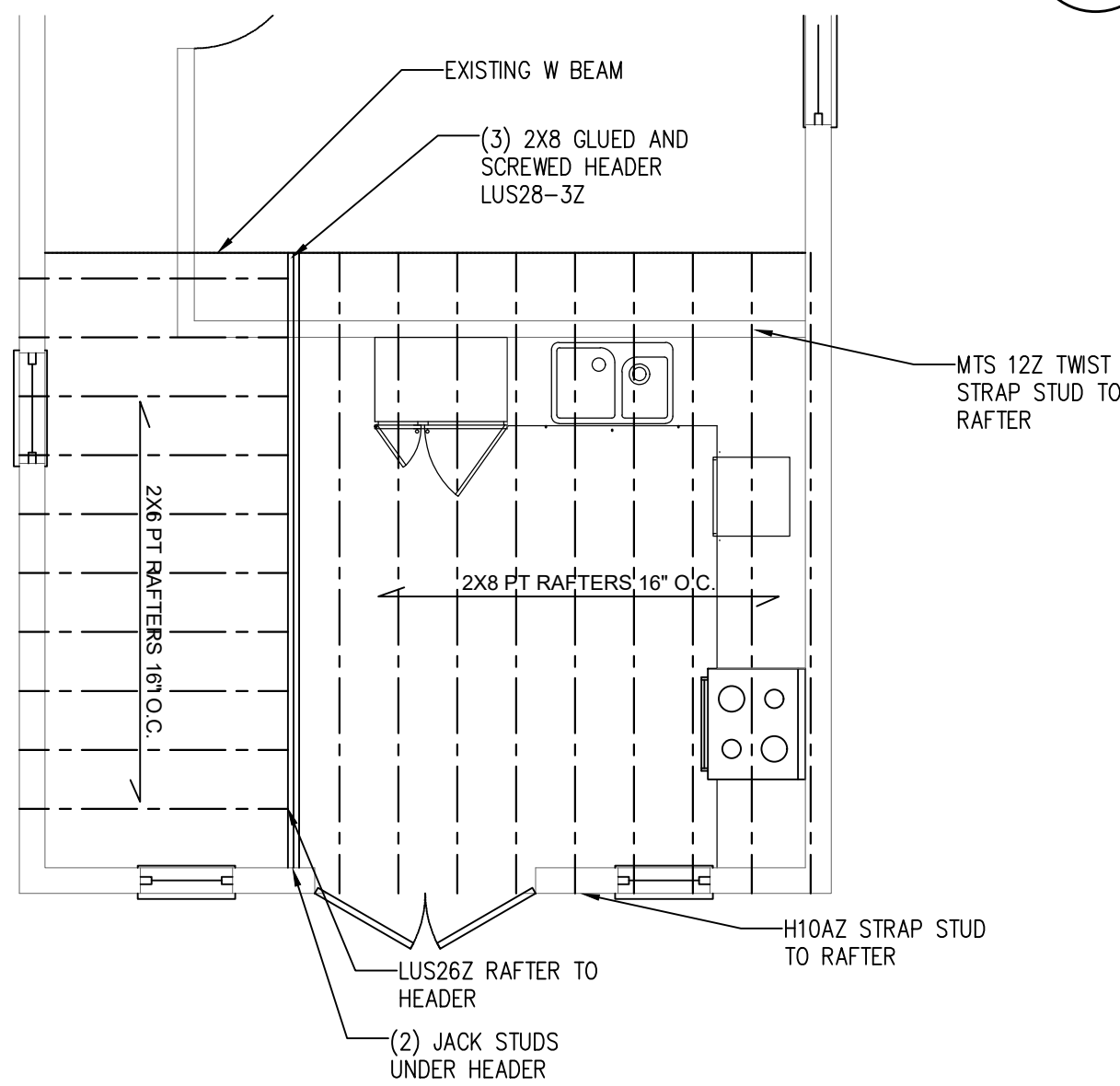
UTILITY PLAN

Sheet Number:
MEP-1
Date: NOVEMBER 16, 2022

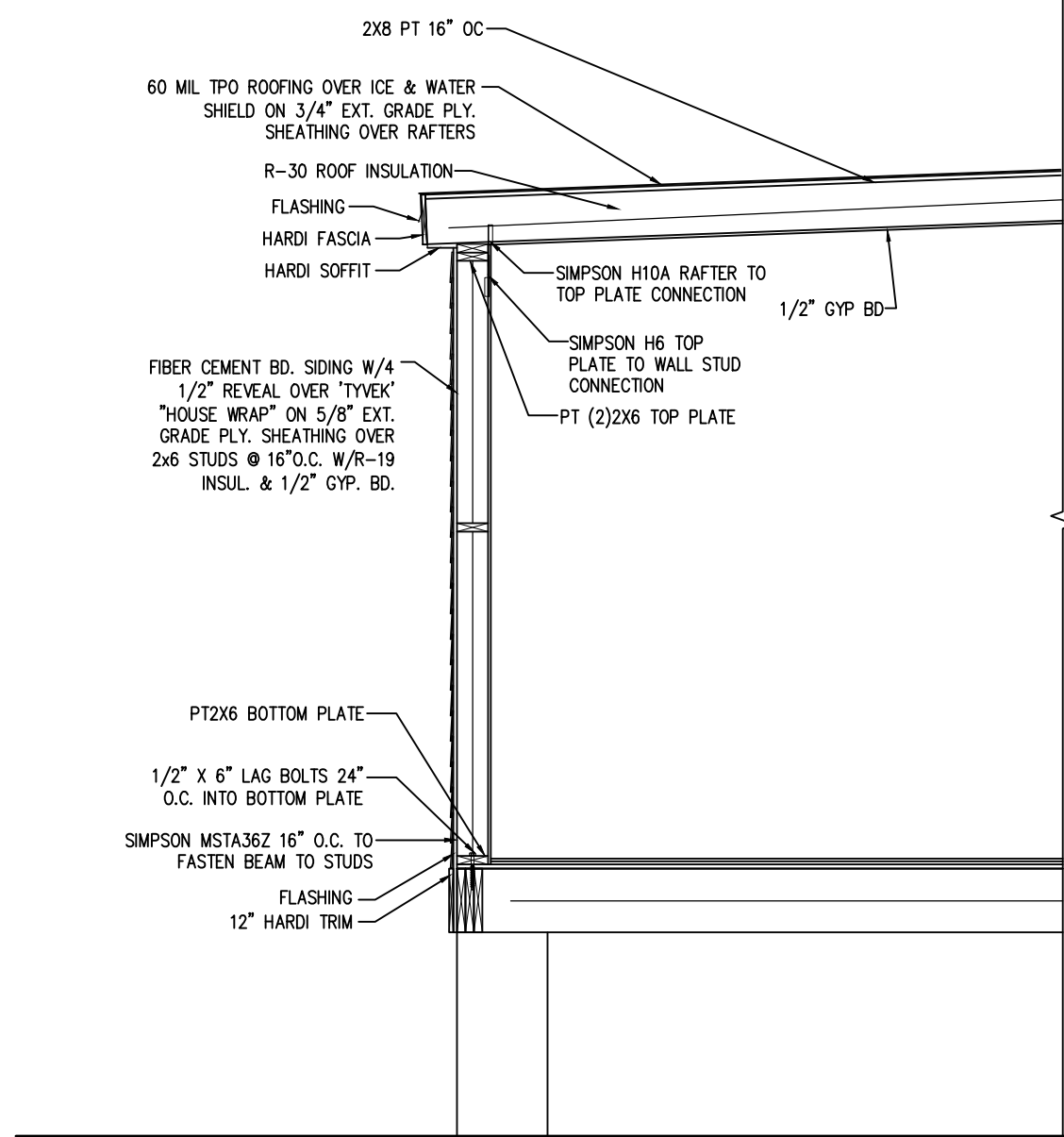


LEVEL 3 CONSTRUCTION:
CONTRACTOR TO REMOVE EXISTING SIDING. SHEATH EXTERIOR WALLS WITH 5/8" PLYWOOD, TYEKE HOUSE WRAP, AND REINSTALL SIDING.

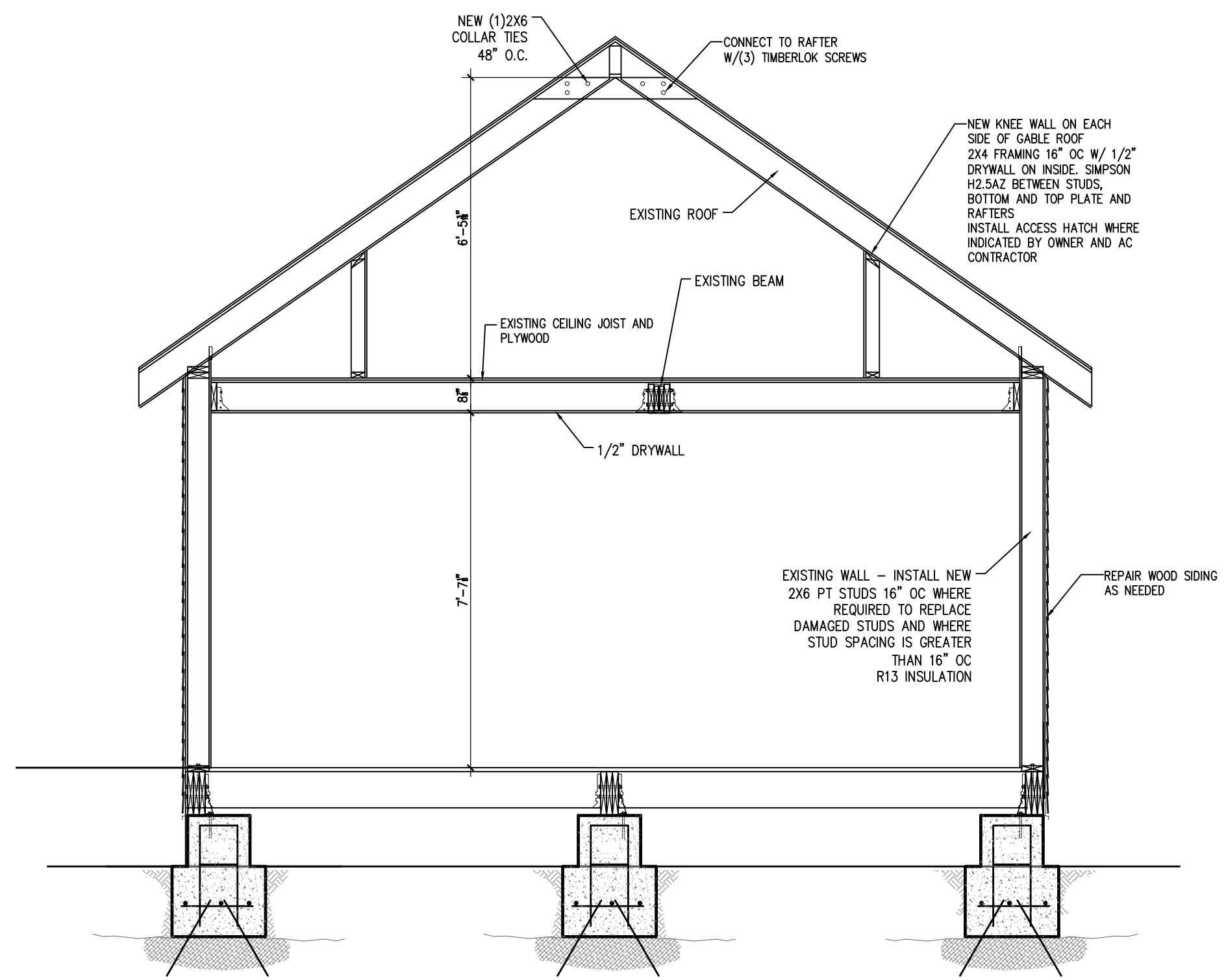
REAR



3
S-2
REAR ROOF FRAMING
SCALE: 3/8" = 1'-0"

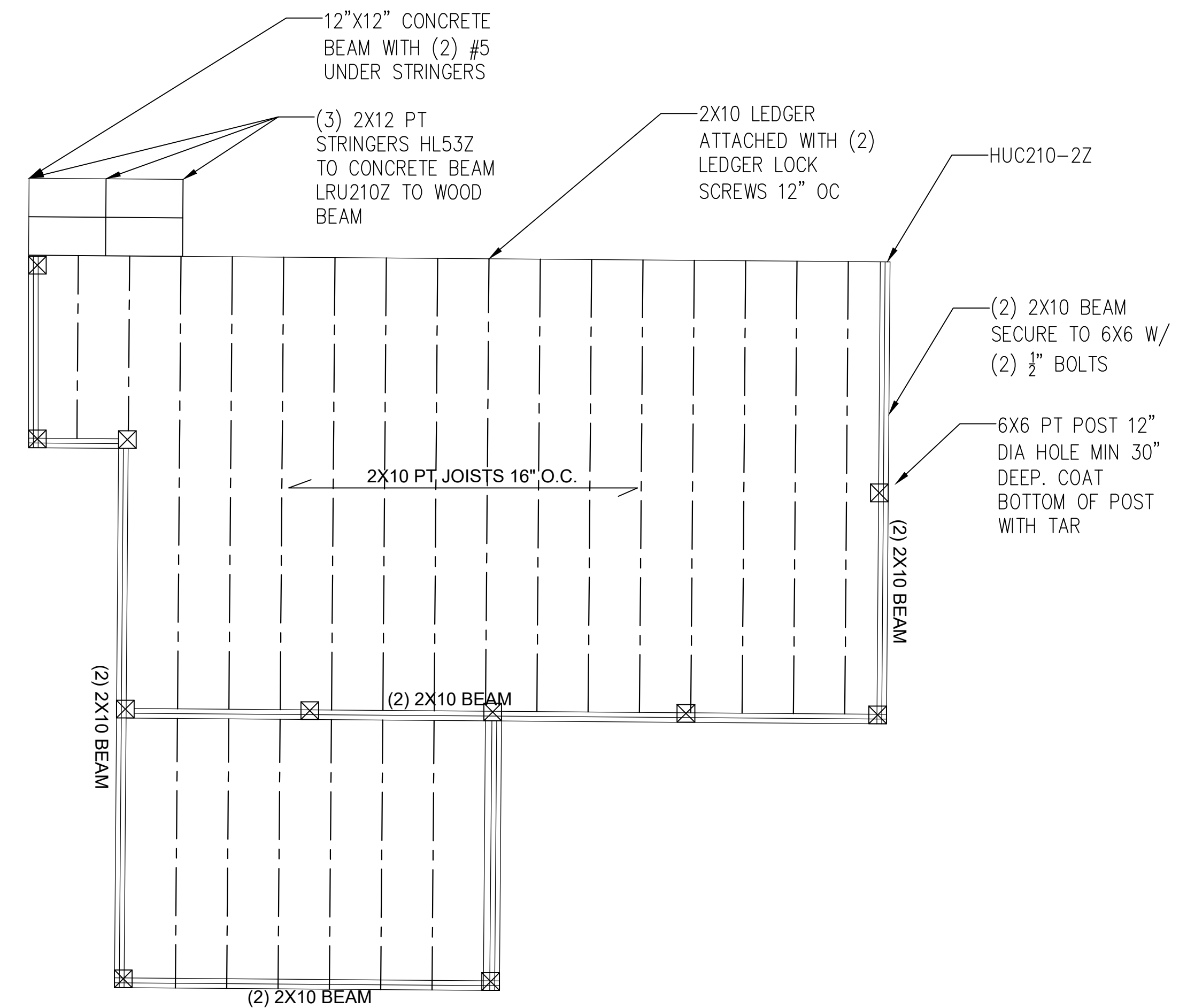


4
S-2
REAR SECTION
SCALE: 3/8" = 1'-0"

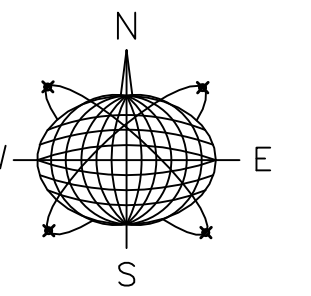


2
S-2
KNEE WALL DETAIL
SCALE: 3/8" = 1'-0"

ROOF PRESSURES:
Flat, Exp C, Risk II
Zone 1: 17.24/-67.51
Zone 2: 17.24/-89.05
Zone 3: 17.24/-121.37

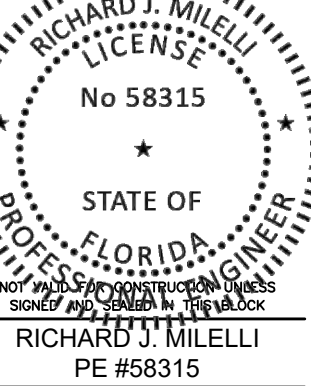


5
S-2
DECK FRAMING
SCALE: 3/8" = 1'-0"



Northstar Engineering LLC
13 Bamboo Terrace
Key Haven, Florida 33040
AUTHORIZATION #34715
ph:305-481-0400

Seal:



General Notes:

THIS SET OF PLANS IS THE PROPERTY OF NORTHSTAR ENGINEERING LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF NORTHSTAR ENGINEERING LLC.

RESIDENTIAL
CONSTRUCTION

1106 GRINNELL ST.
KEY WEST, FLORIDA

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AutoCad File No.	

Revisions:
1. OWNER/KWB REVISION 3.12.23

Title:
STRUCTURAL
PLAN

Sheet Number:
S-2
Date: NOVEMBER 16, 2022

NOTICING

HARC POSTING AFFIDAVIT

STATE OF FLORIDA:
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared GARY BURCHFIELD, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address:

1106 GRINELL ST on the 16 day of MAY, 2023.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on TUESDAY MAY 23RD, 2023.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is H2023-0010

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant:

Date: 5/16/23

Address: 800 SIMONTON ST

City: KEY WEST

State, Zip: FL 33040

The forgoing instrument was acknowledged before me on this 16 day of MAY, 2023.

By (Print name of Affiant) GARY BURCHFIELD who is personally known to me or has produced _____ as identification and who did take an oath.

NOTARY PUBLIC

Sign Name: Alexandra Albury

Print Name: Alexandra Albury

Notary Public - State of Florida (seal)

My Commission Expires: 04.2026



DANGER

**CONSTRUCTION AREA
KEEP OUT**

**NO
TRESPASSING**

Public
Meeting
Notice

tyvek®
HomeWrap®

1-835-tyvek.com/homewrap

MADE IN THE USA



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PROPERTY APPRAISER INFORMATION

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00031510-000000
Account# 1032298
Property ID 1032298
Millage Group 10KW
Location Address 1106 GRINNELL St, KEY WEST
Legal Description KW G G WATSON SUB I-209 PT LOT 3 SQR 5 TR 13 OR230-193/94 OR2442-1707 OR2759-78 OR2834-1734/35 OR2872-2385/89
(Note: Not to be used on legal documents.)
Neighborhood 6097
Property Class SINGLE FAMILY RESID (0100)
Subdivision
Sec/Twp/Rng 05/68/25
Affordable No
Housing

**Owner**

[FORTIN THOMAS L](#)
 1106 Grinnell St
 Key West FL 33040

Valuation

	2022 Certified Values	2021 Certified Values	2020 Certified Values	2019 Certified Values
+ Market Improvement Value	\$94,576	\$80,004	\$78,908	\$49,025
+ Market Misc Value	\$2,568	\$11,916	\$11,916	\$11,916
+ Market Land Value	\$432,934	\$354,001	\$354,001	\$346,826
= Just Market Value	\$530,078	\$445,921	\$444,825	\$407,767
= Total Assessed Value	\$428,124	\$422,985	\$417,145	\$407,767
- School Exempt Value	(\$25,000)	(\$25,000)	(\$25,000)	(\$25,000)
= School Taxable Value	\$403,124	\$397,985	\$392,145	\$382,767

Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2021	\$354,001	\$80,004	\$11,916	\$445,921	\$422,985	\$25,000	\$397,985	\$22,936
2020	\$354,001	\$78,908	\$11,916	\$444,825	\$417,145	\$25,000	\$392,145	\$27,680
2019	\$346,826	\$49,025	\$11,916	\$407,767	\$407,767	\$25,000	\$382,767	\$0
2018	\$352,717	\$49,829	\$11,916	\$414,462	\$414,462	\$0	\$414,462	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RESIDENTIAL DRY (010D)	2,345.00	Square Foot	0	0

Buildings

Building ID 2463
Style 1 STORY ELEV FOUNDATION
Building Type S.F.R. - R1 / R1
Gross Sq Ft 1086
Finished Sq Ft 916
Stories 1 Floor
Condition POOR
Perimeter 144
Functional Obs 0
Economic Obs 0
Depreciation % 30
Interior Walls WALL BD/WD WAL

Exterior Walls WD FRAME
Year Built 1933
EffectiveYearBuilt 2001
Foundation WD CONC PADS
Roof Type GABLE/HIP
Roof Coverage METAL
Flooring Type SFT/HD WD
Heating Type NONE with 0% NONE
Bedrooms 2
Full Bathrooms 2
Half Bathrooms 0
Grade 450
Number of Fire Pl 0

Code	Description	Sketch Area	Finished Area	Perimeter
CPF	COVERED PARKING FIN	126	0	0
FLA	FLOOR LIV AREA	916	916	0
OPU	OP PR UNFIN LL	44	0	0
TOTAL		1,086	916	0

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page
9/24/2017	\$451,000	Warranty Deed	2138248	2872	2385
1/11/2017	\$100	Quit Claim Deed	2106633	2834	1734
11/20/2009	\$200,000	Warranty Deed		2442	1707

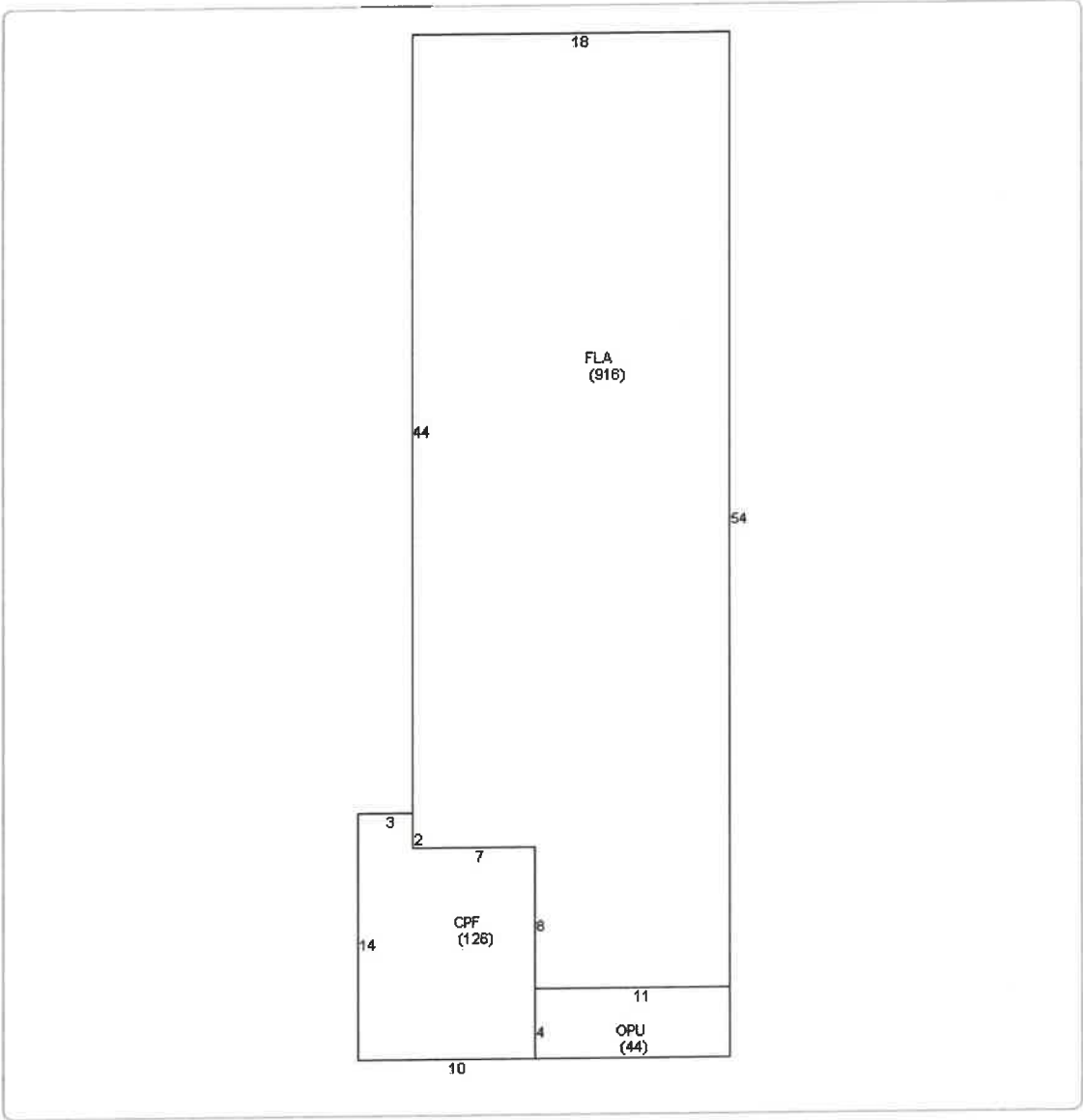
Permits

Number ↕	Date Issued ↕	Date Completed ↕	Amount ↕	Permit Type ↕
21-2776	11/30/2021		\$500	Residential
20-3725	3/2/2021	1/26/2021	\$500	Residential
20-3726	3/2/2021		\$2,500	Residential
20-3727	3/2/2021		\$18,000	Residential
09-4115	12/1/2009	7/7/2010	\$5,000	Residential
9902085	6/21/1999	11/5/1999	\$1,100	Residential

View Tax Info

[View Taxes for this Parcel](#)

Sketches (click to enlarge)



Photos



22.17

26.2

26.33

31500

31510

31540

3

5

1

26.2

26.33

22.17

2022 TRIM Notice (PDF)

2022 Notices Only

No data available for the following modules: Yard Items.

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[GDPR Privacy Notice](#)

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