

Historic Architectural Review Commission

Staff Report for Item 2

То:	Chairman Haven Burkee and Historic Architectural Review Commission Members
From:	Casey Burtch Historic Preservation Planner II
Meeting Date:	May 23, 2023
Applicant:	Gary Burchfield, Contractor
Application Number:	H2023-0010
Address:	1106 Grinnell Street

Description of Work

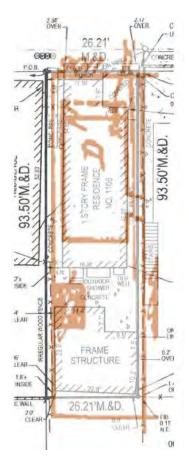
After the fact. Reconstruction of roof on rear non-historic addition. Changes to fenestration openings.

Site Facts

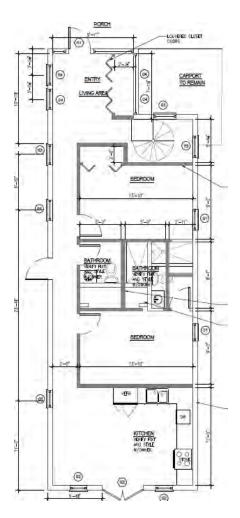
The site under review contains an existing one-story single-family building and is a historic contributing structure built in 1920. Both the 1948 and 1962 Sanborn Maps depict a structure further back on the property and a historic cistern. The current footprint and building configuration differ from the Sanborn Map and encroaches on to the city right of way. The most up to date survey provided shows an additional structure on the rear of the property which no longer exists. Some items on the property have been demolished but staff believe the addition at the rear of the historic structure is non-historic.



The house under review circa 1965.



1962 Sanborn Map & Current Survey



Proposed Plan



Pre Demolition Rear Elevation



Photo of Current Condition



Proposed Rear Elevation

Guidelines Cited on Review

- Building Exteriors Wood (page 24), specifically guideline 1.
- Roofing (page 26), specifically guidelines 2, 3, and 4.
- Windows (pages 29-i 29-j), specifically guidelines A. 6 and 7; B. 4
- Guidelines for Additions (pages 37a-37k) specifically guidelines 1, 6, 12, 13, first sentence of guideline 14, 19, 20, 22, 25, and 30.
- Decks, patios, hot tubs, spas, pools, and related equipment (page 39a), specifically guideline 1.

Staff Analysis

A Certificate of Appropriateness under review is for renovations to a non-historic addition, which includes the reconstruction of the roof, walls, and new fenestration openings. The plans also propose a wood rear deck, less than 30" from grade.

All new construction materials include wooden structural elements, hardiplank for siding, aluminum windows and doors, and 5 v-crimp for roofing finish.

Consistency with Guidelines Cited Guidelines

It is the staff's opinion that the proposed design conforms with cited guidelines. As proposed the roof will be the same form as originally built. The new proposed design fits within the character of surrounding single-family homes. The scale, mass and proportions of the new construction are in keeping with similar land use structures within the area and the building elevation changes on the rear will not overshadow the existing historic context.

APPLICATION

R	10	C	E	T.	V	E	D
				_			

7823

HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS

\$463.05 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE Rev 10/02/2022 ET

REVISION #

ZONING DISTRICT



City of Key West
1300 White Street
Key West, Florida 33040

HARC COA #
2023-0010
ELOOD ZONE

INITIAL & DATE	
TK	
 BLDG PERMIT #	

A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL

ADDRESS OF PROPOSED PROJECT:	1106 GRINNell S	T
NAME ON DEED:	THOMAS FORTIN	PHONE NUMBER 305) 783-8131
OWNER'S MAILING ADDRESS:	1106 GRINNELL ST	EMAIL FORTIN @ SOUTHARD
	Keywest FL 33040	ENERGY
APPLICANT NAME:	GARY BURCHFIELD	PHONE NUMBER 305797-777 8000
APPLICANT'S ADDRESS:	GARY THE CARPENTER	EMAILINFOOGARYTHE
	800 Simonton ST. KI	NFL 33040 CARPENTER, CI
APPLICANT'S SIGNATURE:		DATE 3/27/23

ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND-DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS RELOCATION OF A STRUCTURE ELEVATION OF A STRUCTURE PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES PARTIAL INVOLVES A HISTORIC STRUCTURE: YES NO PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES NO

DETAILED F	PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.
GENERAL: R	LEPLACE All DOORS + WINDOWS ON STRUCTURE
REDA'R F	FRAMING AS NEPROD DUP TO DAMAGE/ROT RUSS.
enous.	+ RP- NETAIL SIDING. MAJORITY OF HISTORIC SIDING SAVEL
Nill Be	ATTACHED AT FRONTSECTIONS of Home TOWARD REAR,
MAIN BUILDING	ADDED PIYWOOD + TYVER DON ENTIRE HOME to BRING TO
4'x20'	PORTION OF NON-CONFORMING SHED ROOF HAD TO BE RAISED.
Tomee	THEigHT oF New STRUCTURAL BEAM.
DEMOLITION (PLI	EASE FILL OUT AND ATTACH DEMOLITION APPENDIX):

APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS CITY_HARC@CITYOFKEYWEST-FL.GOV

ACCESSORY STRUCTURE(S):	
PAVERS:	FENCES:
DECKS:	PAINTING: TO BE PAINTED WHIT
SITE (INCLUDING GRADING, FILL, TREES, ETC):	POOLS (INCLUDING EQUIPMENT):
ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC):	OTHER:

OFFICIAL USE ONLY:	HARC COMMISSION	REVIEW	EXPIRES ON:
MEETING DATE:		RED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	APPROVEDNOT APPROVED DEFERI		INITIAL:
MEETING DATE:		RED FOR FUTURE CONSIDERATION	INITIAL:
REASONS OR CONDITIONS:			
STAFF REVIEW COMMENTS:			
STAFF REVIEW COMMENTS.			
4			
FIRST READING FOR DEMO:	SECOND	READING FOR DEMO:	
HARC STAFF SIGNATURE AND	DATE: HARC CH	AIRPERSON SIGNATURE AND DATE:	

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.

HARC CERTIFICATE OF APPROPRIATENESS: DEMOLITION APPENDIX

SUL PLEST. DUMAN	City of Key V 1300 White Street Key West, Florida 33		HARC COA #	INITIAL & DATE BLDG PERMIT #
ADDRESS OF PROP	OSED PROJECT:	06 GRIN	Nell ST	
PROPERTY OWNER		HOMAS FO.	RTIN	1
APPLICANT NAME:	G	ARY BURCHFI	eID (GARY THE	CARPENTER)

I hereby certify I am the owner of record and that the work shall conform to all applicable laws of this jurisdiction. By receiving a Certificate of Appropriateness, I realize that this project will require a Building Permit approval **PRIOR to proceeding with the work outlined above** and that a final inspection is required under this application. I also understand that **any changes to an approved Certificate of Appropriateness must be submitted for review.**

PROPERTY OWNER'S SIGNATURE

DATE AND PRINT NAME

DETAILED PROJECT DESCRIPTION OF DEMOLITION

CRITERIA FOR DEMOLITION OF CONTRIBUTING OR HISTORIC STRUCTURES:

Before any Certificate of Appropriateness may be issued for a demolition request, the Historic Architectural Review Commission must find that the following requirements are met (please review and comment on each criterion that applies):

(1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration or it does not meet any of the following criteria:

(a) The existing condition of the building or structure is irrevocably compromised by extreme deterioration.

(2) Or explain how the building or structure meets the criteria below:

(a) Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction.

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

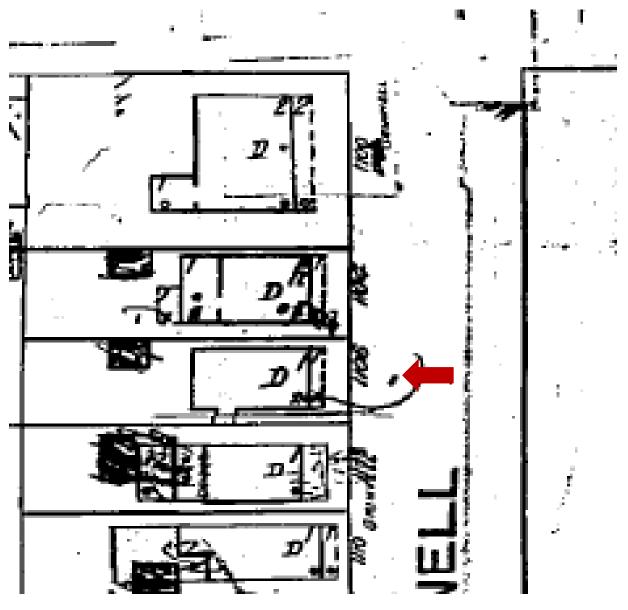
(b)	Is not specifically associated with events that have made a significant contribution to local, state, or national history.
(c)	Has no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state or nation, and is not associated with the life of a person significant in the past.
(d)	Is not the site of a historic event with significant effect upon society.
(e)	Does not exemplify the cultural, political, economic, social, or historic heritage of the city.
(f)	Does not portray the environment in an era of history characterized by a distinctive architectural style.
(g)	If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif.
(h)	Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and does not exemplify the best remaining architectural type in a neighborhood

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

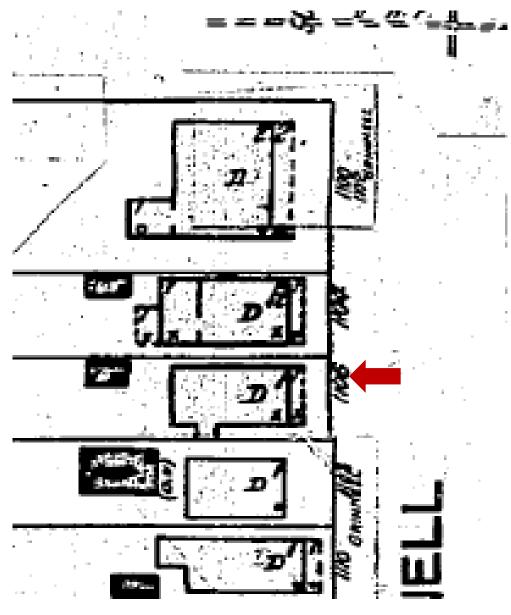
) Has not yielded, and is not likely to yield, information important in history,
CRITERIA FOR DEMOLITION OF NON-CONTRIBUTING OR NON-HISTORIC STRUCTURES:
ving criteria will also be reviewed by the Historic Architectural Review Commission for proposed demolitions. The on shall not issue a Certificate of Appropriateness that would result in the following conditions (please review and
(i)

comment on each criterion that applies):
(1) Removing buildings or structure that are important in defining the overall historic character of a district or neighborhood so that the character is diminished.
REFRAMED REAR 4'X20'PORTION OF SHED ROOF
(2) Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space.
(2) Removing historic buildings of structures and thus destroying the historic relationship between buildings of structures and open opered.
(3) Removing an historic building or structure in a complex; or removing a building façade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood.
NOT HISTORIC
(4) Removing buildings or structures that would otherwise qualify as contributing.
NOT CONTRIBUTING

SANBORN MAPS



1962 Sanborn Map



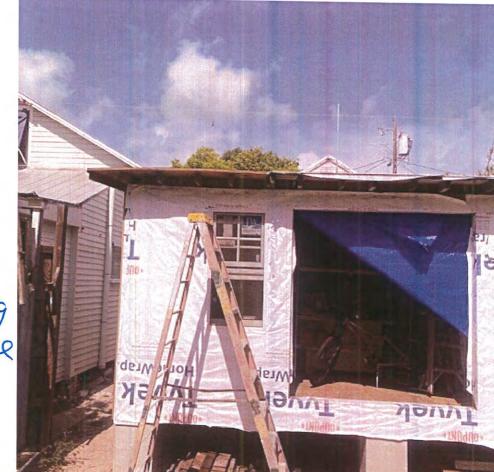
1948 Sanborn Map



PROJECT PHOTOS

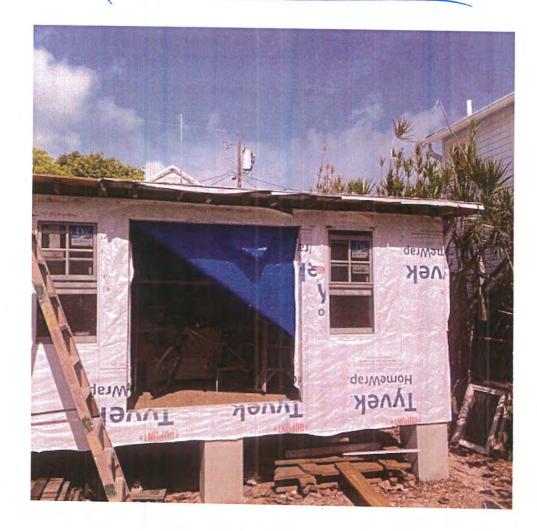






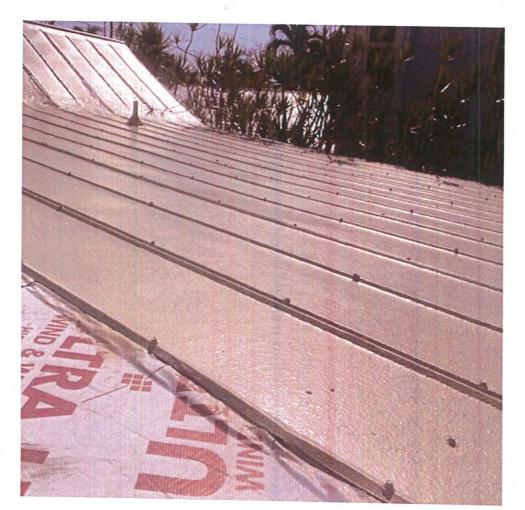
LEFT Sibe REAR SHOWING Existing ROOFLINE





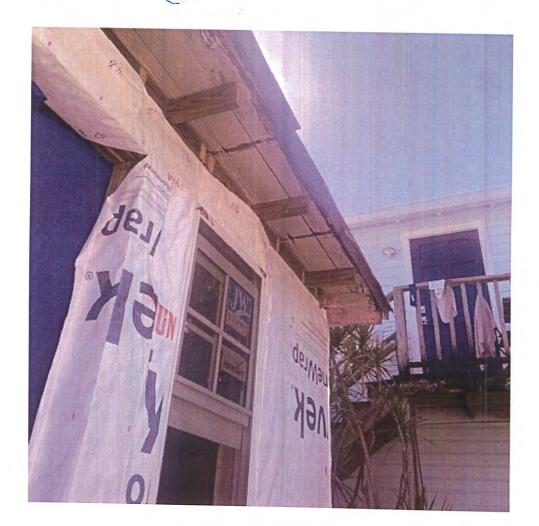
RigHT Side REAR SHOWING Existing RooFline

1106 GRINNell



REAR Roof 010 Side PAINTED ONY SAMP Pitch As New LEFT Side

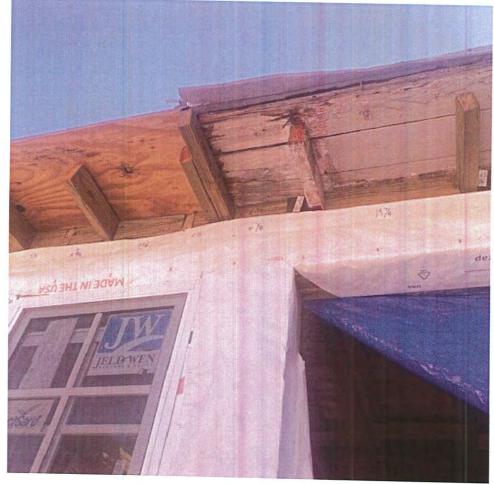




REAR ROOFINNE ORIGINAL SOFFITT



ReAR Roofline WHERE OLD US New Meet



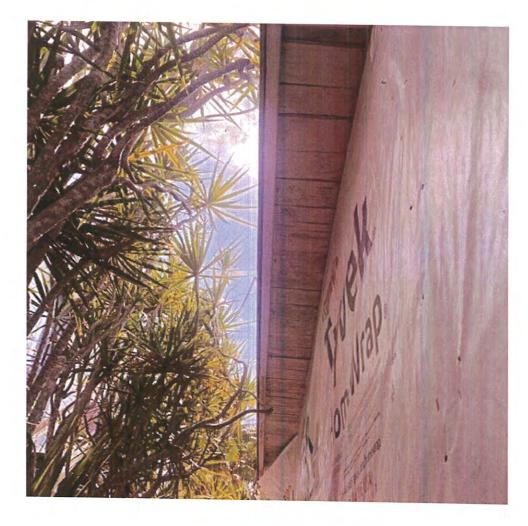
Rear Roof LEFT SiDe New PIYWOOD TGRACE



1106 GRINNell

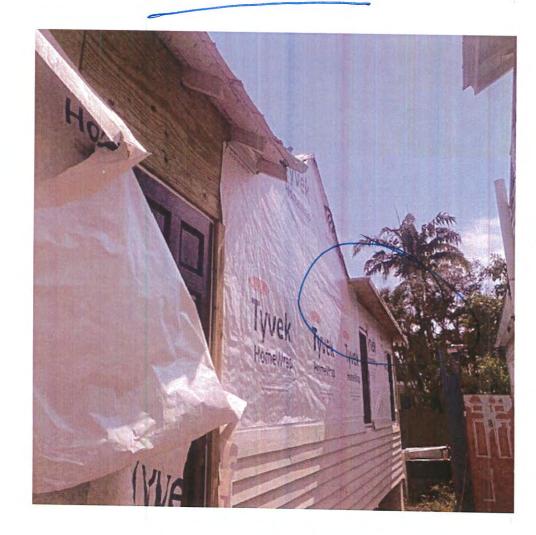


LEFT SiDe REAR ROOF SOFFIT

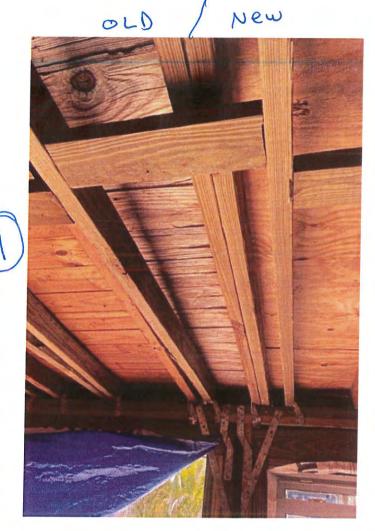


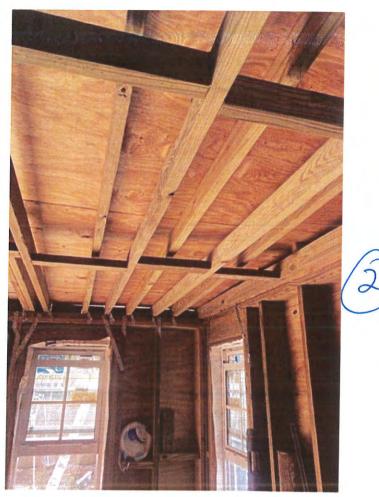


RigHT SiDR REAR ROOF SOFFiTT



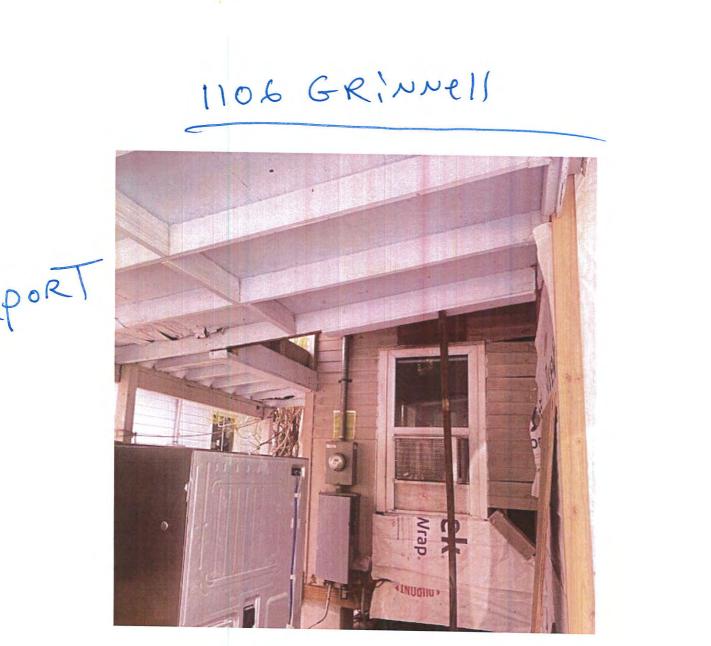
MATCHES LEFT Side





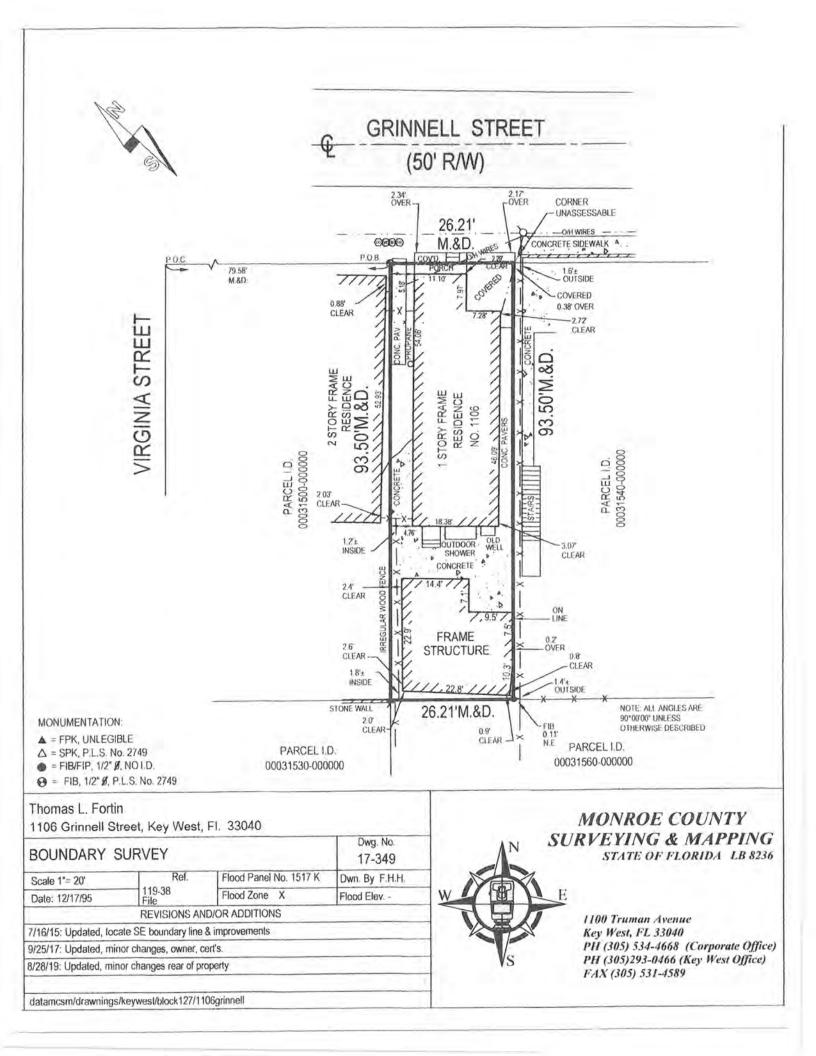


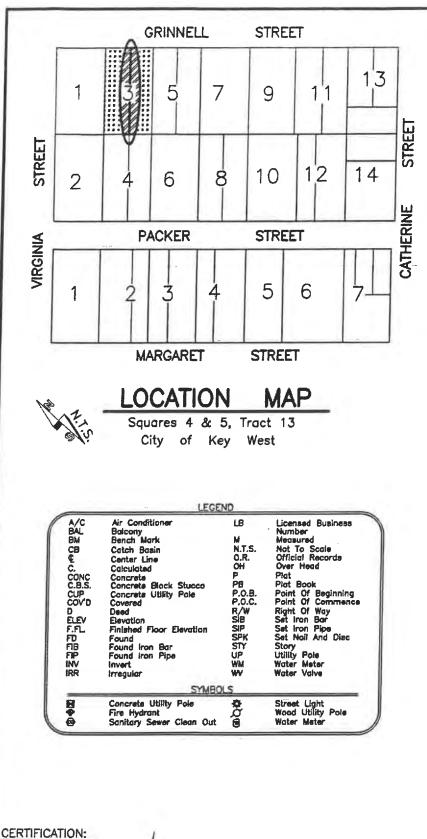
1106 GRINNell REAR CEILING AREA SHOWING: D WHERE OID ROOF & MODIFIED ROOF SECTIONS MEET D ENTIRE MODIFIED AREA 3 METAL STRUCTURAL REAM



CARPORT

SURVEY





SURVEYOR'S NOTES:

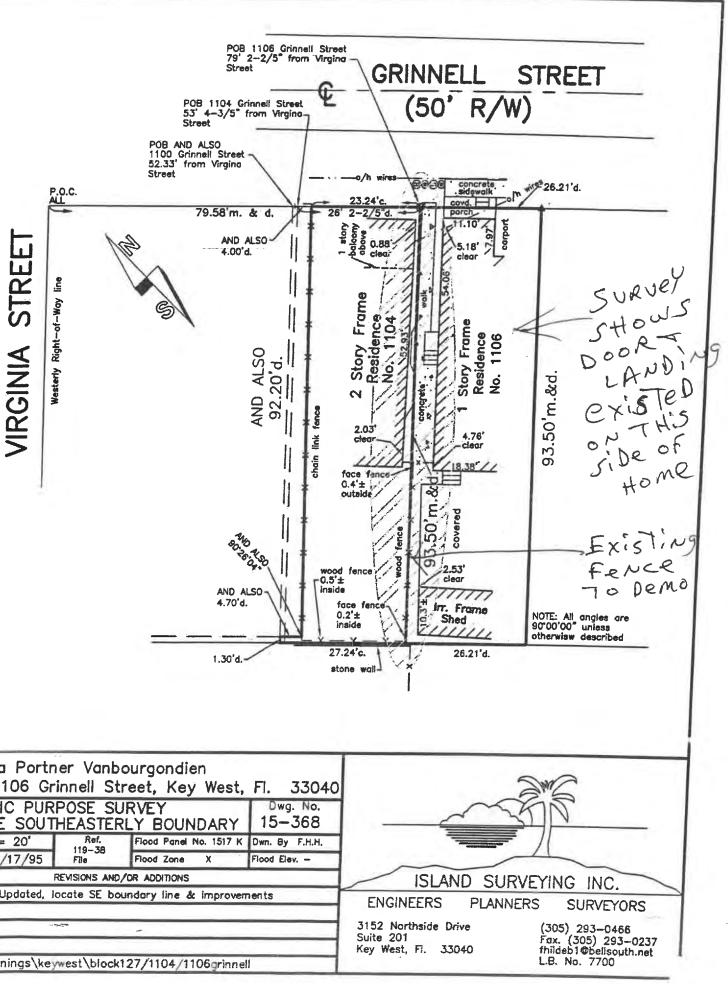
North arrow based on assumed meridian Reference Bearing: R/W Riviera Drive 3.4 denotes existing elevation Elevations based on N.G.V.D. 1929 Datum Bench Mark No.: Basic Elevation: 14.324' Title search has not been performed on said or surrounding properties.

Field Work performed on: 7/15/15

MONUMENTATION:

- G = Set 1/2" Iron Pipe, P.L.S. No. 2749
- $\Delta =$ Set P.K. Nail, P.L.S. No. 2749
- ▲ = Found P.K. Nail
- Found 1/2" Iron Pipe

This SPECIFIC PURPOSE SURVEY is to illustrate the Southeasterly/ Northwesterly property line and improvements between 1104 Grinnell Street and 1106 Grinnell Street.



	Aundria Portner Vanbourgondien 1104/1106 Grinnell Street, Key West, I
CERTIFICATION: I HEREBY CERTIFY that the attached Specific Purpose Survey, Property Line	SPECIFIC PURPOSE SURVEY LOCATE SOUTHEASTERLY BOUNDARY
is true and correct to the best of my knowledge and belief; that it meets the minimum technical standards adopted by the Florida Board of Land Surveyors, Chapter 5J-17	Scale 1"= 20' Ref. 119-38 Flood Panel No. 1517 K C Date: 12/17/95 File Flood Zone X F
Florida Statute Section 172.027, and the American Land Title Association, and that	Date: 12/17/95 File Flood Zone X F REVISIONS AND/OR ADDITIONS
there are no visible encloachments unless shown hereon.	7/16/15: Updated, locate SE boundary line & improveme
FREDERICK H. HILDEBRANDT	and an and a second sec
Professional Land Surveyor & Mapper No. 2749 – Professional Engineer No. 36810 State of Florida NOT VALID UNLESS EMBOSSED WITH RAISED SEAL & SIGNATURE	
State of Fiolida Mot VALID UNLESS EMDOSSED WITH MAISED SEAL & SIGNATORE	fred\drawnings\keywest\block127/1104/1106grinnell

PROPOSED DESIGN

SITE DATA

SITE ADDRESS: 1106 GRINNELL ST. KEY WEST, FL 33040 RE: 00031510-000000

ZONING: HMDR (HISTORIC MEDIUM DENSITY RESIDENTIAL) FLOOD ZONE: X

F.I.R.M.- COMMUNITY#12087C; MAP & PANEL #1516 SUFFIX K; DATE:02-18-05 SECTION/TOWNSHIP/RANGE: 5-68-25

LEGAL DESCRIPTION: KW G G WATSON SUB I-209 PT LOT 3 SQR 5 TR 13 SETBACKS: FRONT 10 FT; SIDE 5 FT; STREET SIDE 7.5 FT REAR 15 FT OCCUPANCY: R-3 RESIDENTIAL SINGLE FAMILY

TYPE OF CONSTRUCTION: VB

DESIGN DATA

THE WORK DEPICTED HEREIN WAS DESIGNED TO MEET THE REQUIREMENTS OF THE 2020 FLORIDA BUILDING CODE AND THE LATEST EDITIONS OF THE FLORIDA MODEL ENERGY CODE, FIRE CODE, LIFE

SAFETY CODE AND THE NATIONAL ELECTRIC CODE. THE FOLLOWING LOADINGS WERE USED:

DESIGN LOADS: ASCE 7-16

WIND LOAD: 180 mph; 3 sec gust; EXPOSURE C; ROOF LIVE LOAD 20 PSF; DEAD LOAD 15 PSF; FLOOR LL 40 PSF, DECK LL 40 PSF SOIL BEARING CAPACITY ASSUMED 2000LBS PER SQ.FT. FEMA FLOOD DESIGN PER ASCE 24-14

INDEX OF DRAWINGS

SHEET CS-1 - COVER SHEET AND SITE PLANS SHEET A-1 - FLOOR PLAN AND ELEVATIONS

SHEET A-2 - EXISTING ELEVATIONS

SHEET MEP-1 - MECHANICAL, ELECTRICAL, PLUMBING PLAN SHEET S-1 - STRUCTURAL PLAN

SHEET S-2 - STRUCTURAL PLAN

GENERAL NOTES

1. THESE PLANS ARE FOR THE CONSTRUCTION AT THE LOCATION SO DESIGNATED HEREIN.

2. THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR, EQUIPMENT AND SUPERVISION NECESSARY TO PROVIDE THE WORK COMPLETE AND READY FOR USE. 3. THERE SHALL BE NO DEVIATION FROM THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD.

4. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BEFORE BID. CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK SITE AND REPORT ANY DISCREPANCIES, DIFFERENCES

OR CONDITIONS THAT ARE UNSATISFACTORY OR UNSAFE. 5. NOTIFY THE ENGINEER OF RECORD IMMEDIATELY OF ANY DISCREPANCIES, DIFFERENCES, UNSATISFACTORY OR UNSAFE CONDITIONS. ANY MODIFICATIONS OR CHANGES MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER AND ENGINEER OF RECORD SHALL NOT BE ALLOWED. ANY REWORK, RESTORATION OR OTHER IMPACT AS A RESULT OF NOT OBTAINING SUCH PRIOR APPROVAL WILL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COST OR COMPENSATION FROM THE OWNER.

6. THE CONTRACTOR SHALL PROVIDE FOR THE SAFETY, PREVENTION OF INJURY OR OTHER LOSS AT THE JOB TO ALL PERSONS EMPLOYED IN THE WORK, PERSONS VISITING THE WORK AND THE GENERAL PUBLIC. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE, DUE TO THE WORK, TO MATERIALS OR EQUIPMENT AND OTHER PROPERTY AT THE SITE OR ADJACENT THERETO.

7. NO RESEARCH AS TO THE PRESENCE OF UNDERGROUND UTILITIES HAS BEEN INCLUDED ON OR PERFORMED FOR THIS PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING SUNSHINE UTILITY LOCATE SERVICE PRIOR TO ANY CONSTRUCTION WITHIN ANY PUBLIC RIGHT-OF-WAY OR OTHER AREAS WHERE UNDERGROUND UTILITIES MAY BE PRESENT (I.E. IN AND AROUND UTILITY EASEMENTS, ETC.)

8. THE GENERAL CONTRACTOR SHALL PROVIDE AN ON-SITE DUMPSTER IN A LOCATION COORDINATED WITH THE OWNER FOR THE DISPOSAL OF REMOVED MATERIAL AND CONSTRUCTION DEBRIS. THE DUMPSTER SHALL BE EMPTIED AT APPROPRIATE INTERVALS TO PREVENT OVERFLOW AND UNSIGHTLY CONDITIONS.

9. THE CONTRACTOR SHALL PERFORM ALL WORK IN STRICT CONFORMANCE WITH THE PLANS, 2020 FLORIDA BUILDING CODE, LOCAL CODES AND ORDINANCES, MANUFACTURER RECOMMENDATIONS AND ACCEPTABLE TRADE PRACTICES. ANY CONFLICT BETWEEN THESE REQUIREMENTS AND THE MOST STRINGENT REQUIREMENTS SHALL GOVERN THE WORK.

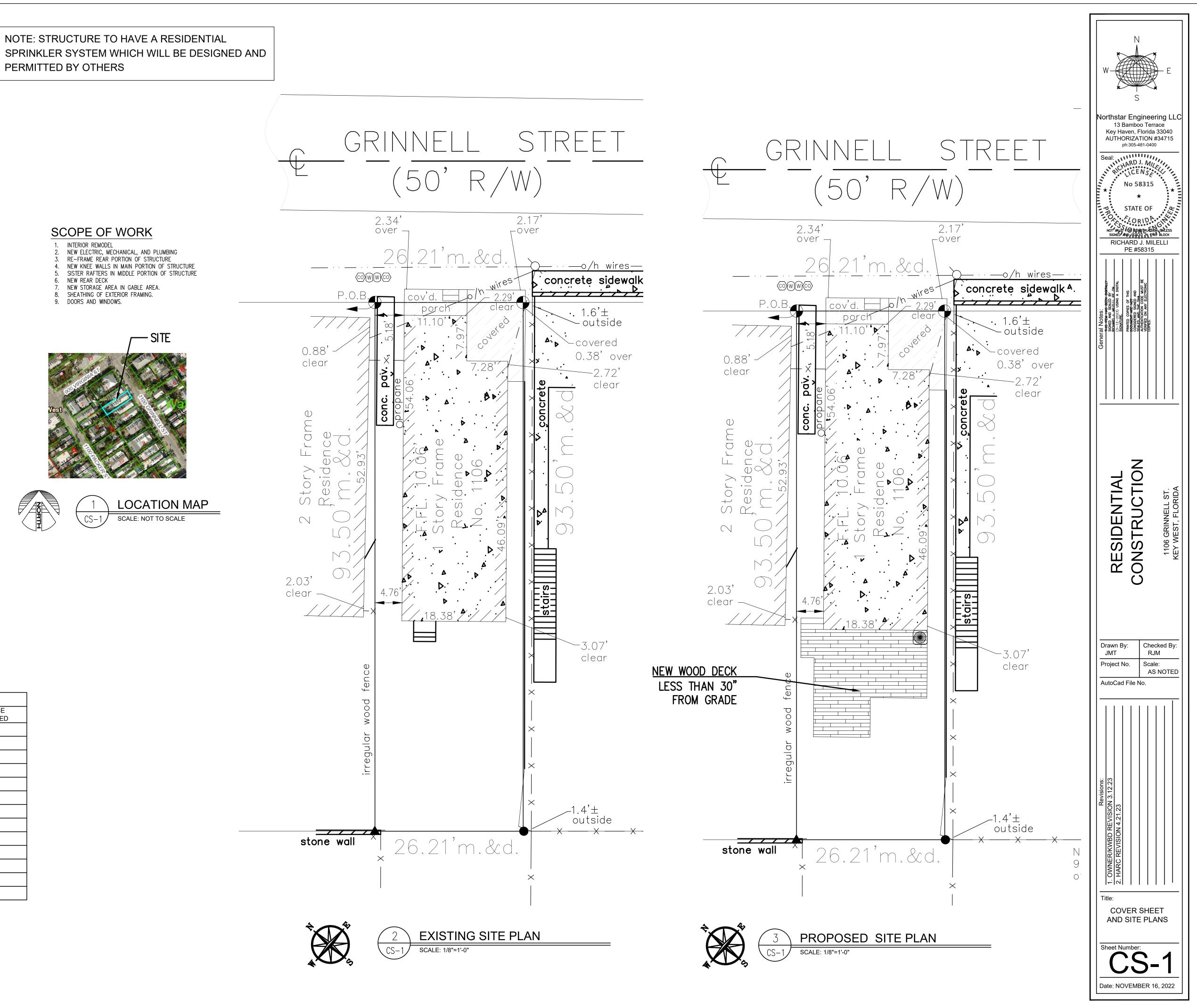
10. SHOP DRAWINGS OF ALL PREFABRICATED STRUCTURAL FLOOR AND ROOF SYSTEMS AND MECHANICAL SYSTEMS SHALL BEAR THE SEAL OF A FLORIDA PROFESSIONAL ENGINEER AS REQUIRED BY THE 2020 FLORIDA BUILDING CODE AND SHALL BE SUBMITTED TO THE ENGINEER OF RECORD BY THE CONTRACTOR FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.

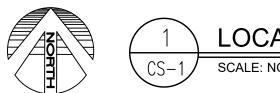
11. THE CONTRACTOR SHALL NOT SCALE DRAWINGS. ANY INFORMATION THAT THE CONTRACTOR CANNOT OBTAIN FROM DIMENSIONS, DETAIL OR SCHEDULE SHALL BE OBTAINED FROM THE ENGINEER OF RECORD. 12. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES TO PREVENT ANY CONFLICTS. 13. THE CONTRACTOR SHALL FURNISH ALL SUBCONTRACTORS WITH A COMPLETE SET OF PLANS. ALL CHANGES SHALL BE NOTED ON THE DRAWINGS AND (2) COMPLETE AS-BUILT SETS SHALL BE DELIVERED TO THE OWNER AFTER

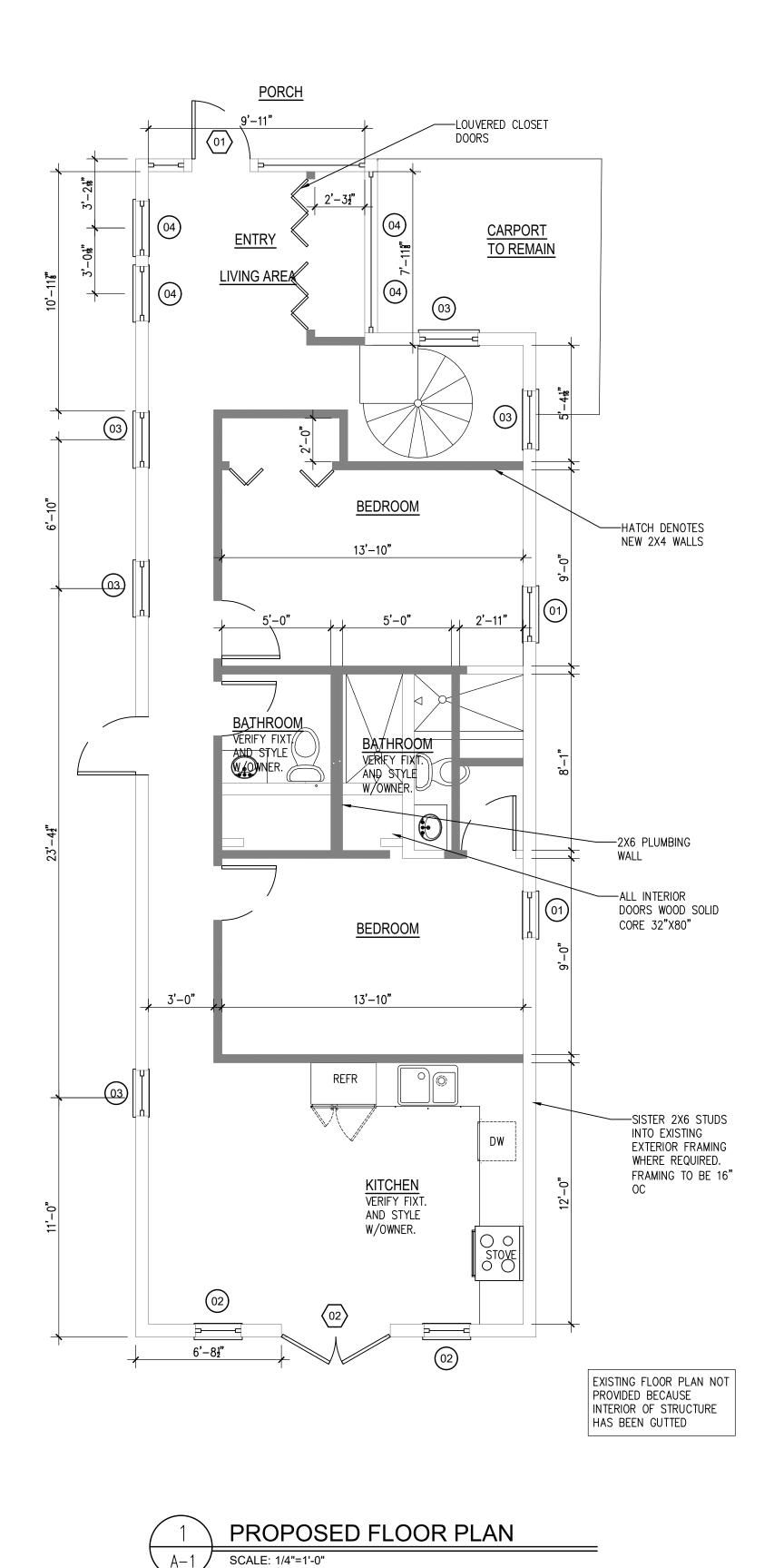
COMPLETION OF WORK.

PROJECT DA	ГА					
	PROPOSED		EXISTING		REQUIRED	VARIANCE REQUESTED
RE NO.	00034820-000000					
SETBACKS:						
FRONT	0" MAIN HOUSE	0" MAIN HOUSE 0'			10'	NONE
STREET SIDE	N/A N		N/A		7.5'	NONE
LEFT SIDE	NO CHANGE		3'-9"		5'	NONE
RIGHT SIDE	NO CHANGE		0'		5'	NONE
REAR	NO CHANGE	36'-1/2" 1		15'	NONE	
LOT SIZE	NO CHANGE		2,451 SQ.FT.		4000 SQ.FT.	NONE
BUILDING COVERAGE	1,074 SQ.FT.	43.8%	1,074 SQ.FT.	43.8%	40% MAX	NONE
FLOOR AREA	NO CHANGE		935 SQ.FT.	.38	1.0	NONE
BUILDING HEIGHT			N/A		30' MAX	NONE
IMPERVIOUS AREA	1,144 SQ.FT.	46.7%	1,144 SQ.FT.	46.7%	60% MAX	NONE
OPEN SPACE	977 SQ.FT.	39.8%	1,307 SQ.FT.	53.3%	35% MIN	NONE

PERMITTED BY OTHERS

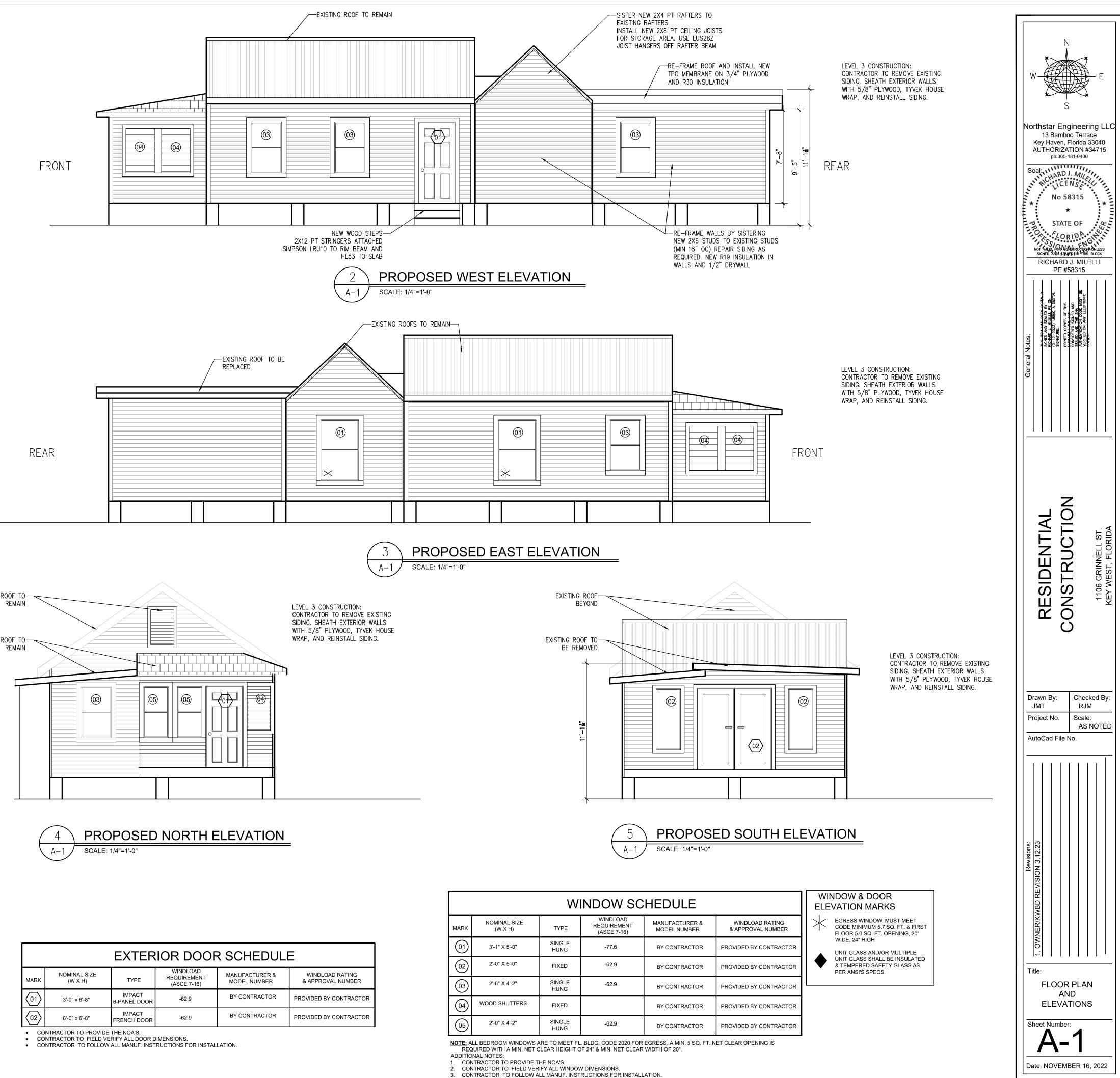






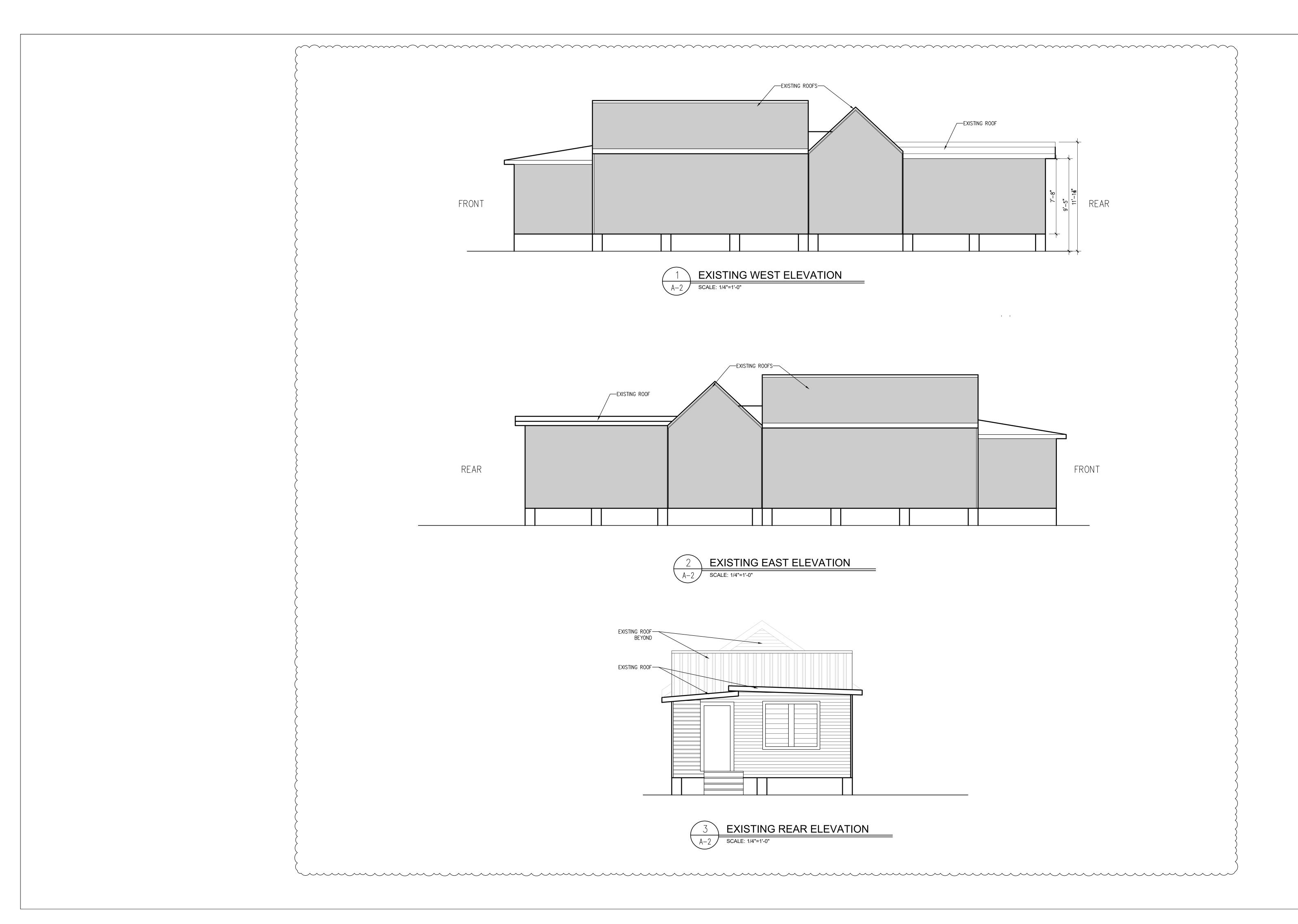
EXISTING ROOF TO-

EXISTING ROOF TO-

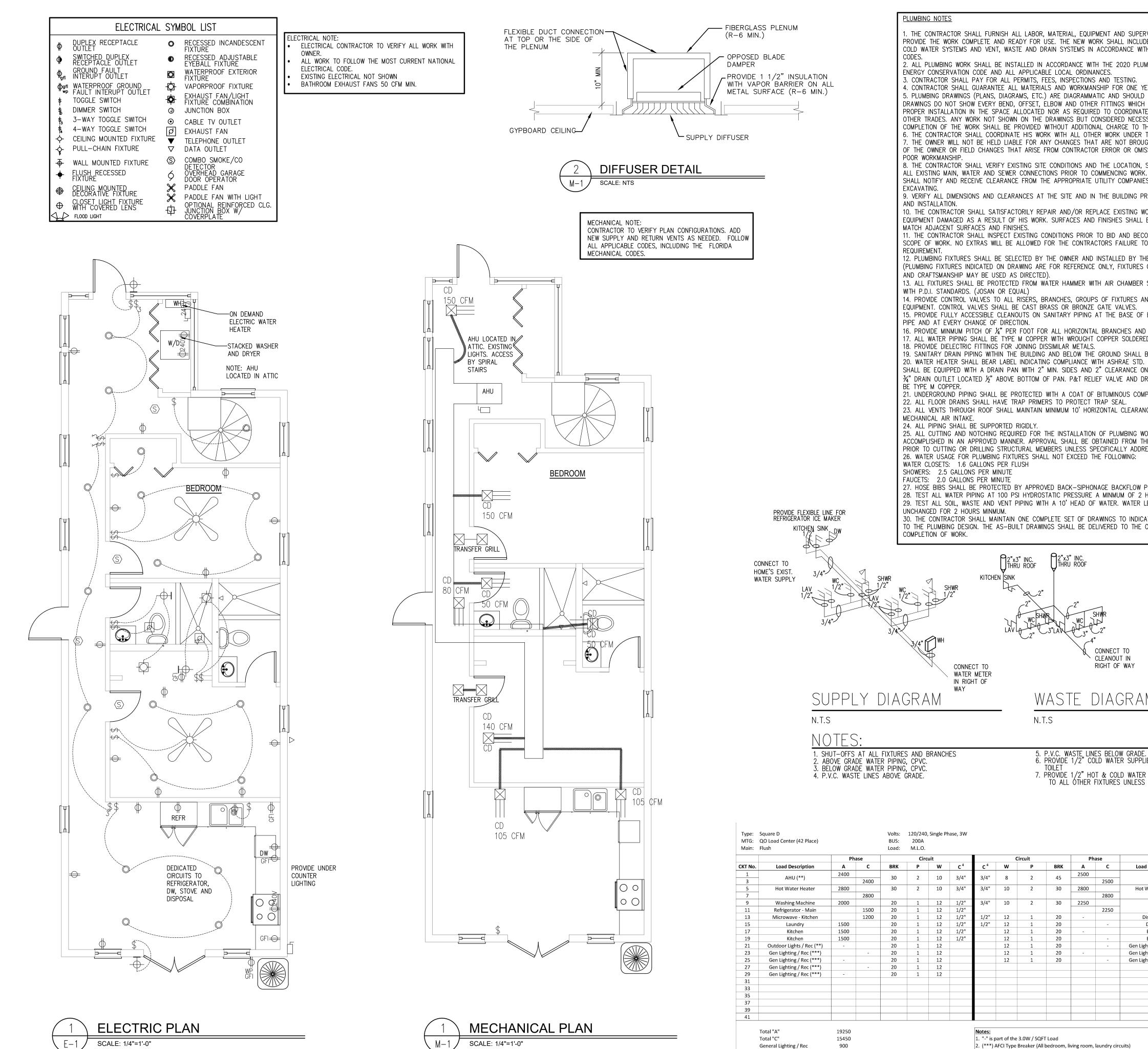


		EXTER	IOR DOOF	R SCHEDULI	Ξ
MARK	NOMINAL SIZE (W X H)	TYPE	WINDLOAD REQUIREMENT (ASCE 7-16)	MANUFACTURER & MODEL NUMBER	WINDLOAD RATING & APPROVAL NUMBER
(01)	3'-0" x 6'-8"	IMPACT 6-PANEL DOOR	-62.9	BY CONTRACTOR	PROVIDED BY CONTRACTOR
(02)	6'-0" x 6'-8"	IMPACT FRENCH DOOR	-62.9	BY CONTRACTOR	PROVIDED BY CONTRACTOR

		W	INDOW
MARK	NOMINAL SIZE (W X H)	TYPE	WINDLOA REQUIREMI (ASCE 7-1
01	3'-1" X 5'-0"	SINGLE HUNG	-77.6
02	2'-0" X 5'-0"	FIXED	-62.9
03	2'-6" X 4'-2"	SINGLE HUNG	-62.9
04	WOOD SHUTTERS	FIXED	
05	2'-0" X 4'-2"	SINGLE HUNG	-62.9
NOTE: A	LL BEDROOM WINDOWS A	RE TO MEET FL	BLDG. CODE 20







35600

148

Total Load (VA)

Total Amps

3. (**) HACR Type Beaker

4. EMT conduit

	ELECTRICAL NOTES	
RVISION NECESSARY TO DE COMPLETE HOT AND TH ALL APPLICABLE	 THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR, EQUIPMENT AND SUPERVISION NECESSARY TO PROVIDE THE WORK COMPLETE AND READY TO USE. ALL DEVICES, EQUIPMENT, MATERIAL AND LABOR SHALL LBE PROVIDED BY THE CONTRACTOR UNLESS NOTED OTHERWISE. 	N *
MBING CODE, THE	 ALL ELECTRICAL EQUIPMENT AND DEVICES SHALL BE MOUNTED AS PER EQUIPMENT AND DEVICE MANUFACTURER RECOMMENDATIONS. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC) AND ALL OTHER APPLICABLE CODES AND STANDARDS. 	W-E
EAR. NOT BE SCALED. THE MAY BE REQUIRED FOR	 NO PIPE, CONDUIT OR JUNCTION BOX SHALL BE INSTALLED IN STRUCTURAL SLABS, COLUMNS OR BEAMS UNLESS SPECIFICALLY SHOWN ON STRUCTURAL DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR EVALUATING EXISTING CONDITIONS AT THE SITE AND WITHIN THE BUILDING PRIOR TO BID. 	S
E WORK WITH THAT OF SARY FOR THE PROPER HE OWNER.	 THE BOILDING FRIOR TO BID. THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANY FOR NEW SERVICE AND ANY SPECIAL REQUIREMENTS. SECONDARY SERVICE OVERHEAD FEEDER BY KEYS. ELECTRICAL CONTRACTOR SHALL COORDINATE SPLICE LOCATION WITH KEYS SERVICE REQUIREMENTS. 	Northstar Engineering LLC 13 Bamboo Terrace
THIS CONTRACT. GHT TO THE ATTENTION SSION OF MATERIAL OR	8. ELECTRICAL DRAWINGS (PLANS, DIAGRAMS, ETC.) ARE DIAGRAMMATIC AND SHOULD NOT BE SCALED. THE DRAWINGS DO NOT SHOW EVERY BEND, OFFSET, ELBOW AND OTHER FITTINGS WHICH MAY BE REQUIRED FOR PROPER INSTALLATION IN THE SPACE ALLOCATED OR AS REQUIRED TO COORDINATE	Key Haven, Florida 33040 AUTHORIZATION #34715 ph:305-481-0400
SIZE AND ELEVATION OF . THE CONTRACTOR	 WORK WITH THAT OF OTHER TRADES. ANY WORK NOT SHOWN BUT CONSIDERED NECESSARY FOR PROPER COMPLETION OF THE WORK SHALL BE PROVIDED WITHOUT ADDITIONAL CHARGES TO THE OWNER. 9. ALL WORK SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER. 	Seal HARD J. MILL
S PRIOR TO RIOR TO FABRICATION	 ALL MAERIALS AND EQUIPMENT TO BE INSTALLED SHALL BE NEW AND FREE OF DEFECTS. ALL ELECTRICAL EQUIPMENT SHALL COMPLY WITH NATIONAL ELECTRICAL MANUFACTURERS' ASSOCIATION (NEMA) STANDARDS AND SHALL BE UL LABELED. 	No 58315
ORK, FEATURES AND BE RESTORED TO	 THE CONTRACTOR SHALL SATISFACTORILY REPAIR AND/OR REPLACE EXISTING WORK, FEATURES AND EQUIPMENT DAMAGED AS A RESULT OF HIS WORK. SURFACES AND FINISHES SHALL BE RESTORED TO MATCH ADJACENT AREAS. ALL CUTTING AND NOTCHING REQUIRED FOR THE INSTALLATION OF ELECTRICAL WORK SHALL BE 	STATE OF
OME FAMILIAR WITH THE O COMPLY WITH THIS	 ALL COTTING AND NOTCHING REQUIRED FOR THE INSTALLATION OF ELECTRICAL WORK SHALL BE ACCOMPLISHED IN AN APPROVED MANNER. APPROVAL SHALL BE OBTAINED FROM THE ENGINEER PRIOR TO CUTTING OR DRILLING STRUCTURAL MEMBERS UNLESS SPECIFICALLY ADDRESSED HEREIN. 13. EXISTING ELECTRICAL WORK, FEATURES AND EQUIPMENT INDICATED AND/OR REQUIRED TO BE 	SSONAL NOT VALID/FIDR CONSTRUCTION UNLESS SIGNED AND SEALED IN THIS BLOCK
IE CONTRACTOR. OR EQUAL QUALITY,	REMOVED SHALL BE PROPERLY DISPOSED BY THE CONTRACTOR INCLUDING ABANDONED RACEWAYS, WIRING, BOXES, SWITCHES AND OTHER ELECTRICAL ITEMS NOT PLANNED TO REMAIN IN USE. 14. ALL DEVICE BOXES SHALL BE INSTALLED FLUSH AND CONDUITS RUN CONCEALED IN FINISHED AREAS	RICHARD J. MILELLI PE #58315
SIZED IN ACCORDANCE	 EXCEPT AS SPECIFICALLY SHOWN OR NOTED OTHERWISE. 15. ALL CONDUITS INSTALLED INTERIOR SHALL BE EMT. ALL CONDUITS INSTALLED EXTERIOR SHALL BE GALVANIZED RIGID METAL CONDUIT. 16. ALL WIRE SIZE SHALL BE #12 UNLESS OTHERWISE NOTED ON DRAWINGS. CONDUCTIORS #10 AND 	
ND EACH PIECE OF EACH SOIL AND WASTE	 SMALLER SHALL BE SOLID COPPER. CONDUCTORS #8 AND LARGER SHALL BE STRANDED COPPER. UNLESS NOTED OTHERWISE, CONDUCTOR INSULATION SHALL BE DUAL RATED AT THHN/THWN. 17. ALL MATERIAL SHALL BE UL APPROVED. ALL MATERIAL SHALL BE AFFIYED TO THE DANEL DOOD AFTED COMPLETION OF WORK 	
) SEWER TRADES. D JOINT FITTINGS.	 A TYPEWRITTEN PANEL TALLY SHALL BE AFFIXED TO THE PANEL DOOR AFTER COMPLETION OF WORK THAT REFLECTS ALL CHANGES AND ADDITIONS. CONTRACTOR TO PROVIDE COMPUTER PRINTED ON WHITE WRAPAROUND PAPER WITH CLEAR PLASTIC PROTECION FOR TAIL FOR ALL WIRE MARKERS. MARKER SHALL STATE PANELBOARD NAME AND 	Dtes: Dt
BE SCHEDULE 40 PVC. 90. WATER HEATER	CIRCUIT NUMBER ON ALL WIRES IN JUNCTION AND PULL BOXES AND IN EQUIPMENT TERMINAL BOXES. 20. CONTRACTOR TO PROVIDE PUNCH TAPE LABELS ON ALL WIRING DEVICES FOR IDENTIFICATION. SHALL BE 1/2" BLACK TAPE WITH WHITE RAISED LETTERS. TAPE LABELS SHALL STATE	General Notes: HIIS TEM HAS E THIS TEM HAS E RICHARD AT ES RICHARD AT ES PRINTED CARE SEALED AND AND VERTIED ON ANN COPIES. ON ANN
N ALL SIDES. PROVIDE RAIN PAN PIPING SHALL	 PANELBOARD NAME AND CIRCUIT NUMBER. 21. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE SET OF RECORD DRAWINGS TO THE OWNER AT THE END FOR THE CONSTRUCTION. 22. ALL BRANCH CIRCUITS SHALL BE PROPERLY PHASE BALANCED WITHIN 10%. 	0 0
POUND. ICE FROM ANY	 ALL FLOOR PENETRATIONS SHALL BE SEALED WITH A FIRE SEAL SIMILAR TO 'OZ' FLAMESEAL. ALL NON-POWER RELATED WIRING IN CEILING A/C PLENUM RUNNING WITHOUT CONDUIT SHALL BE TEFLON COATED CLASSIFIED FOR USE IN PLENUMS. 	
	 ALL OUTLETS, SWITCHES AND COVER PLATES SHALL HAVE WHITE FINISH OR OTHER COLOR SELECTED BY OWNER AND LEVITON 5350/5252 SERIES OR EQUAL. ALL BRANCH CIRCUITS SHALL BE EQUIPPED WITH A GREEN EQUIPMENT GROUNDING CONDUCTOR SIZED IN LOCODANCE WITH A SCIENCE OF OF OF 	
ORK SHALL BE HE ENGINEER OF RECORD ESSED HEREIN.	 SIZED IN ACCORDANCE WITH NEC 250.95. 27. ALL EMPTY CONDUITS SHALL BE PROVIDED WITH NYLON PULL STRINGS. 28. FUSES SHALL BE DUAL ELEMENT, TIME DELAY UNLESS OTHERWISE NOTED. 29. ALL LUMINAIRES SHALL BE PROPERLY SUPPORTED IN ACCORDANCE WITH CEILING MANUFACTURER RECOMMENDATIONS IF APPLICABLE AND LOCAL REQUIREMENTS. MOUNTING DEVICES MUST BE 	
	CAPABLE OF SUPPORTING CEILING FAN FIXTURES. 30. ALL RECESS CANS SHALL BE IC RATED, AND CONTROLLED BY DIMMER SWITCHES. 31. ALL CABLES SHALL BE RUN WITHOUT SPLICES UNLESS OTHERWISE NOTED.	
PREVENTERS. HOURS. LEVEL TO REMAIN	 PROVIDE REQUIRED CONNECTION FOR GARAGE DOOR OPENER(S), KITCHEN APPLIANCES, AND MECHANICAL EQUIPMENT. ALL BATHROOM, GARAGE AND EXTERIOR RECEPTACLE OUTLETS AND KITCHEN RECEPTACLE OUTLETS WITHIN 6' OF WATER SOURCE SHALL BE GFI PROTECTED. ALL EXTERIOR RECEPTACLE OUTLETS SHALL 	
ATE ALL CHANGES MADE OWNER AFTER	BE WATER-PROOF PROTECTED. ALL BEDROOM RECEPTACLE OUTLETS SHALL BE ARC FAULT PROTECTED IN ACCORDANCE WITH NEC 210–12. 34. THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF DRAWINGS TO INDICATE ALL CHANGES	
	MADE TO THE ELECTRICAL DESIGN. THE AS-BUILT DRAWINGS SHALL BE DELIVERED TO THE OWNER AFTER COMPLETION OF THE WORK. 35. ALL <u>SMOKE DETECTORS SHALL BE WIRED IN TANDEM.</u>	IDENTIAI TRUCTIO GRINNELL ST. VEST, FLORIDA
	MECHANICAL NOTES 1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2020 MECHANICAL CODE,	ESIDEN NSTRUC 1106 GRINNELL KEY WEST, FLOF
	FLORIDA ENERGY EFFICIENCY CODE AND ALL LOCAL ORDINANCES. 2. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT, SUPERVISION, PERMITS, FEES AND INSPECTIONS NECESSARY TO PROVIDE THE WORK COMPLETE AND READY FOR USE.	
	3. CONTRACTOR SHALL VERIFY SPACE CONDITIONS AND DIMENSIONS AND SHALL COORDINATE WORK WITH ALL OTHER TRADES PRIOR TO FABRICATING DUCTWORK OR INSTALLING EQUIPMENT OR PIPING.	
	4. PRIMARY DUCTWORK SHALL BE CONSTRUCTION OF ONE AND HALF-INCH THICK (R-6 MINIMUM) FIBERGLASS DUCTBOARD WITH REINFORCED ALUMINUM FOIL FACED COVERING FABRICATED AND INSTALLED PER SMACNA RECOMMENDATIONS.	
	 ALL VENTILATION AND EXHAUST DUCTWORK SHALL BE OF GALVANIZED SHEET METAL CONSTRUCTION PER SMACNA RECOMMENDATIONS. REFRIGERANT PIPING SHALL BE TYPE "L" COPPER TUBING SIZED AND INSTALLED PER 	
N /	MANUFACTURER'S RECOMMENDATIONS. INSULATED SUCTION AND CONDENSATE PIPING WITH 1/4" THICK FOAM PLASTIC OF FIRE RETARDANT TYPE 25/30 MAXIMUM SMOKE DEVELOPED AND FLAME SPREAD RATING RESPECTIVELY PER TESTS IN MFPA-255. FINISH WHERE EXPOSED WITH TWO	Drawn By: Checked By:
M	COATS OF ACRYLIC LACQUER IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. 7. ALL EQUIPMENT, MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. COMPRESSORS SHALL CARRY A FIVE-YEAR	JMT RJM Project No. Scale:
	FACTORY GUARANTEE. 8. AIR CONDITION SYSTEM SHALL BE BALANCED TO OBTAIN COMFORT CONDITIONS IN ALL AREAS WITHOUT DRAFTING	AS NOTED AutoCad File No.
IES TO	9. THERMOSTATS SHALL BE HEAT/COOL TYPE WITH FAN AND SYSTEM SELECTOR SWITCH ON SUB BASE. MOUNT FIVE FEET ABOVE FINISHED FLOOR WHERE SHOWN.	
SUPPLIES NOTED	 ALL DUCT ELBOWS GREATER THAN FORTY FIVE (45) DEGREES SHALL BE FITTED WITH TURNING VANES. PROVIDE READY ACCESSIBILITY TO DAMPERS AND OTHER PARTS OF THE SYSTEM REQUIRED TO BE REACHED FOR MAINTENANCE AND OPERATIONS. 	
	12. VERIFY ALL VOLTAGES WITH ELECTRICAL CONTRACTOR BEFORE ORDERING EQUIPMENT. 13. VIBRATION ISOLATION SHALL BE PROVIDED FOR ALL EQUIPMENT PER MANUFACTURER'S	
	RECOMMENDATIONS. 14. ALL OUTSIDE EQUIPMENT SHALL BE SECURED TO WITHSTAND FORCES GENERATED BY 150 MPH WINDS.	
	15. FLEXIBLE DUCT SHALL BE FACTORY FABRICATED ROUND DUCTWORK COMPOSED OF CORROSION-RESISTANT REINFORCING WITH HELIX PERMANENTLY BONDED AND ENCLOSED IN POLYESTER FILM THEN COVERED WITH 1–1/2 INCH THICK 1/4 PCF (R–6 MINIMUM) DENSITY	Revisions: N 3.12.23
d DescriptionCKT No.CU24	FIBERGLASS INSULATION BLANKET SHEATHED IN A VAPOR BARRIER OF ALUMINUM METALIZED POLYESTER FILM LAMINATED TO GLASS MESH, ELASTOMER BACK COATED. THE DUCT SHALL COMPLY WITH MFPA BULLETIN 90-A AND BE LISTED A CLASS 1 AIR DUCT. UL 181 DUCT SHALL	
Water Heater 6 8 Dryer 10	BE "WIRE HOLD" TYPE WG OR EQUAL.	
12 iishwasher 14 Disposal 16 Bath #1 18		Revisions: WNER/KWBD REVISION 3.12.23
Bath #1 18 Bath #2 20 hting / Rec (***) 22 hting / Rec (***) 24		1- 0- 1- 0- 1- 1- 1- 1- 1- 1- 1- 1- 1- 1- 1- 1- 1-
hting / Rec (***) 26 28 30 22		
32 34 36 38		UTILITY PLAN
40 42		Sheet Number:
		MEP-1
		Date: NOVEMBER 16, 2022

WOOD AND FRAMING NOTES:

. EXCEPT WHERE NOTED OTHERWISE, ALL FRAMING LUMBER SHALL BE SOUTHERN PINE, MC 19%, NO. 2 DENSE, AS GRADED BY THE SOUTHERN PINE INSPECTION BUREAU.

2. ALL TIMBER CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION AFTC. 3. ALL WOOD SHALL BE PRESSURE TREATED WITH CHEMICALS TO PROTECT FROM INSECTS AND DECAY. ALLOW TO DRY AFTER TREATMENT. PROVIDE CONNECTORS AND FASTENERS COMPATIBLE WITH PRESSURE TREATED WOOD FRAMING. PROVIDE SEPARATION BARRIER SUCH AS BUILDING PAPER FOR NON-COMPATIBLE COMPONENTS SUCH

AS ALUMINUM WINDOW FRAMES. 4. ALL WOOD CONNECTIONS SHALL HAVE SIMPSON STRONG-TIE CO. OR EQUAL CONNECTORS. ALL CONNECTORS SHALL BE INSTALLED WITH MANUFACTURER RECOMMENDED FASTENERS BEFORE LOADING.

5. CUTTING AND NOTCHING OF FLOOR JOISTS SHALL CONFORM TO THE FOLLOWING: A. NOTCH DEPTH IN THE TOP OR BOTTOM OF THE JOISTS AND BEAMS SHALL NOT EXCEED ONE-SIXTH OF

HE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED IN THE MIDDLE ONE-THIRD OF THE SPAN. (INCLUDING BIRDS MOUTH CUTS). B. NOTCH DEPTH AT THE ENDS OF THE MEMBER SHALL NOT EXCEED ONE-FOURTH THE DEPTH OF THE

MEMBER. C. THE TENSION SIDE OF BEAMS, JOISTS AND RAFTERS OF FOUR INCHES OR GREATER NOMINAL THICKNESS

SHALL NOT BE NOTCHED, EXCEPT AT ENDS OF MEMBERS. D. HOLES BORED OR CUT INTO JOISTS SHALL NOT BE CLOSER THAN TWO INCHES TO THE TOP OF BOTTOM OF THE JOISTS. THE DIAMETER OF THE HOLE SHALL NOT EXCEED ONE-THIRD THE MEMBER DEPTH.

5. HOLES BORED IN BEARING WALL STUDS SHALL NOT EXCEED ONE—THIRD OF STUD. 7. PROVIDE BLOCKING BETWEEN ALL JOISTS 2 X 6 OR GREATER AT INTERVALS NOT TO EXCEED 8 FEET AND AT ALL SUPPORTS.

8. PROVIDE SOLID BLOCKING AT MID HEIGHT ON CENTER BETWEEN STUDS. (MINIMUM)

9. ALL WALL STUDS SHALL BE SPF NO. 2 DENSE GRADE OR BETTER. 10. SEE PLANS FOR WALL STUD SIZE AND SPACING.

1. ALL STUD BEARING WALLS SHALL BE PROVIDED WITH 2 CONTINUOUS TOP PLATES AND CONTINUOUS BOTTOM PLATES WITH A MINIMUM OF ONE ROW OF HORIZONTAL BRIDGING AT MID-HEIGHT OF WALL UNLESS NOTED OTHERWISE. SPLICES OF TOP PLATE SHALL OCCUR OVER STUD. SPLICES SHALL BE STAGGERED A MINIMUM OF FOUR FEET

12. ALL LINTEL'S OVER ALL FRAMED OPENINGS SHALL BE AS SHOWN BELOW, UNLESS NOTED OTHERWISE.

- (2) 2 X 6 FOR INTERIOR OPENINGS UP TO 4'-0", (3) 2 X 6 FOR EXTERIOR OPENINGS UP TO 4'-0" (2) - 2 X 8 FOR INTERIOR OPENINGS UP TO 6'-0", (3) 2 X 8 FOR EXTERIOR OPENINGS UP TO 6'-0"
- (2) 2 X 10 FOR INTERIOR OPENINGS UP TO 8'-0", (3) 2 X 10 FOR EXTERIOR OPENINGS UP TO 8'-0"

(2) - 2 X 12 FOR INTERIOR OPENINGS UP TO 10'-0", (3) 2 X 12 FOR EXTERIOR OPENINGS UP TO 10'-0" 3. EXTERIOR WALL STUDS SHALL BE STRAPPED TO ROOF TRUSSES OR RAFTERS WITH SIMPSON CONNECTORS OR EQUAL. PROVIDE 3 STUDS (MIN.) FOR GIRDER TRUSS AND BEAM BEARING POINTS. 14. WHERE WOOD JOISTS/BEAMS ETC. FRAME INTO OTHER MEMBERS INSTALL SIMPSON "LUS" SERIES GALVANIZED

JOIST HANGERS. 15. PLYWOOD DECKING SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS OF THE AMERICAN PLYWOOD

ASSOCIATION (APA). PLYWOOD SHEATHING SHALL BE APA STRUCTURAL I, IDENTIFIED WITH APA GRADE-TRADEMARK AND SHALL MEET THE REQUIREMENTS OF US PRODUCT STANDARD PSI OR APA PRP-108. ALL PLYWOOD WITH AN EDGE EXPOSED TO THE EXTERIOR SHALL BE EXTERIOR GRADE. FLOOR DECKING SHALL BE $rac{34}{7}$ " MINIMUM AND GLUED AND FASTENED TO FLOOR FRAMING. ROOF DECKING SHALL BE 🔏 MINIMUM AND NAILED WITH 8D NAILS @ 6" IN THE FIELD AND 4" ALONG THE EDGES.

16. FINISH CARPENTRY SHALL INCLUDE TRIM, FRAMES, PANELING AND CABINETRY. PROFILES AND PLASTIC LAMINATE ARE TO BE AS SELECTED BY THE OWNER OR NOTED ON THE DRAWINGS. CABINETS SHALL BE CUSTOM OR PREMIUM GRADES AS NOTED OR DETERMINED BY THE OWNER. PARTICLE OR PRESS BOARD SHALL NOT BE USED. SELECT GRADE SOUTHERN YELLOW PINE SHALL BE USED AS A QUALITY STANDARD FOR TRIM, FRAMES AND BASE UNLESS OTHERWISE NOTED. ALL WORK SHALL BE PERFORMED BY SKILLED FINISH CARPENTERS. 17. WOOD SHELVING SHALL BE $\frac{3}{4}$ " PLYWOOD WITH EDGE BANDING AND PAINTED.

DOOR & WINDOW NOTES

ALL DOORS AND WINDOWS SHALL BE RATED TO WITHSTAND PRESSURES ASSOCIATED WITH 180 MPH WINDS IN ACCORDANCE WITH ASCE 7-16. DOORS AND WINDOWS SHALL BE MANUFACTURED UNITS DESIGNED AND INSTALLED TO ALLOW A MAXIMUM OF 0.5 CFM INFILTRATION PER LINEAL FOOT OF OPERABLE SASH CRACK AND A MAXIMUM 0.5 CFM PER SF OF EXTERIOR DOOR AREA. UNITS SHALL BE GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED.

2. PROVIDE ONE EGRESS SIZED WINDOW IN EACH BEDROOM UNLESS THERE IS A SECOND EXIT SUCH AS A SLIDING GLASS OR SIDE HINGED DOOR TO THE EXTERIOR. EGRESS WINDOWS SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE FLOOR LEVEL AND MUST HAVE A MINIMUM NET CLEAR OPENING OF 20" WIDTH AND A NET CLEAR OPENING AREA OF NO LESS THAN 5.7 SF.

3. ALL EXTERIOR DOORS SHALL BE SOLID CORE, $1-\frac{3}{4}$ " THICK, WEATHER-PROOF TYPE. ALL INTERIOR DOORS SHALL BE $1-\frac{3}{3}$ " THICK. UNITS SHALL BE GLAZED OR RAISED PANEL BOTH SIDES. UNITS SHALL HAVE PATTERNS OR DIVIDED LITES UNLESS OTHERWISE NOTED. UNITS SHALL BE OF THE SIZE AND TYPE INDICATED ON THE DRAWINGS WITH SURFACES PREPARED TO ACCEPT PAINT OR OTHER FINISH AS SPECIFIED. DOORS SHALL MEET NWMA STANDARD TOLERANCES FOR EACH

4. FURNISH AND INSTALL COMPLETE HARDWARE SETS; SCHLAGE, YALE OR EQUAL. ANSI GRADE 2 OR BETTER FOR HEAVY RESIDENTIAL/MEDIUM COMMERCIAL USE. FINISH AND STYLE TO BE SELECTED BY THE OWNER. ALL EXTERIOR HARDWARE TO BE SALT RESISTANT.

5. ALL SLIDING GLASS DOORS AND SHOWER ENCLOSURES SHALL HAVE TEMPERED GLASS. 5. WOOD OPERATING AND FIXED WINDOWS SHALL BE EQUIPPED WITH SALT RESISTANT HARDWARE AND REMOVABLE SCREENS. ALL UNITS SHALL BE DOUBLE-GLAZED (UNLESS OTHERWISE NOTED ON THE DRAWINGS) WITH TRUE DIVIDED LITES OR PATTERN INDICATED ON THE DRAWINGS. 7. WINDOW UNITS SHALL DISPLAY LABELS INDICATING COMPLIANCE WITH THE STATE OF FLORIDA MODEL ENERGY CODE, SECTION 502.4. FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION.

8. PROVIDE CLEAR GLAZING, GASKETED OR OTHERWISE SEALED. PROVIDE SAFETY GLASS AS REQUIRED AND/OR SHOWN ON THE DRAWINGS. 9. FASTEN DOOR AND WINDOW FRAMES IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION

INSTRUCTIONS AND/OR PRODUCT APPROVAL DETAILS. PROVIDE SEPARATION BARRIER WITH DOOR AND WINDOW FRAMES THAT ARE INSTALLED AGAINST NON-COMPATIBLE PRESSURE-TREATED WOOD FRAMING.

THERMAL & MOISTURE PROTECTION

PROVIDE INSULATION AS SHOWN ON THE DRAWINGS AND AS FOLLOWS:

FACED MINERAL FIBER BLANKET/BATT INSULATION: PROVIDE THERMAL INSULATION PRODUCED BY COMBINING MINERAL FIBERS OF TYPE DESCRIBED BELOW WITH THERMOSETTING RESINS TO COMPLY WITH ASTM C-665 FOR TYPE III, CLASS A (BLANKETS WITH REFLECTIVE VAPOR-RETARDER MEMBRANE FACING WITH FLAME SPREAD OF 25 OR LESS), FOIL-SCRIM-KRAFT ON

FOIL-SCRIM-POLYETHYLENE VAPOR-RETARDER MEMBRANE ON ONE FACE, AS FOLLOWS: MINERAL FIBER TYPE: FIBERS MANUFACTURED FROM GLASS.

SURFACE BURNING CHARACTERISTICS: MAXIMUM FLAME SPREAD VALUE OF 25 AND MAXIMUM SMOKE DEVELOPED VALUE OF 50.

3. FLANGED UNITS: PROVIDE BLANKETS/BATTS FABRICATED WITH FACING THAT INCORPORATES 4" WIDE FLANGES ALONG THE EDGES TO ATTACH TO FRAMING MEMBERS. B. POLYISOCYANURATE BOARD INSULATION: PROVIDE RIGID, CELLULAR THERMALINSULATION WITH DATA OR NOMENCLATURE PLATES.) PROVIDE SAMPLES OF EACH COLOR, TEXTURE AND FINISH TO GLASS-FIBER-REINFORCED POLYISOCYANURATE CLOSED-CELL FOAM CORE AND ALUMINUM FOIL FACING LAMINATED TO BOTH SIDES AND COMPLYING WITH FS HH-1-1972 /1, CLASS 2, AGED, R VALUES OF 8 AND 7.2 AT 40 AND 75 DEGREES FAHRENHEIT, RESPECTIVELY AND FOLLOWS: . SURFACE BURNING CHARACTERISTICS: MAXIMUM FLAME SPREAD VALUE OF25 AND MAXIMUM

SMOKE DEVELOPED VALUE OF 50. . THICKNESS 1" FOR SPECIFICATION CRITERIA (SEE DRAWINGS FOR REQUIRED THICKNESS OR R VALUE AT EACH LOCATION.) COMPLY WITH MANUFACTURER RECOMMENDATIONS FOR INSTALLATION. SEAL ALL JOINTS AS REQUIRED.

INSULATION SHALL BE R-30 MINIMUM IN ATTIC SPACES.

FLASHING SHALL BE GALVANIZED AND INCLUDE BASE FLASHING, STOPS, BUILT-IN VALLEYS, GUTTERS, SCUPPERS, AND MISCELLANEOUS METAL ACCESSORIES. USE ZINC-COATED, COMMERCIAL QUALITY ASTM A-526 G90 HOT-DIPPED GALVANIZED, 24 GAGE STEEL UNLESS OTHERWISE NOTED. SHAPES SHALL MATCH EXISTING PROFILES OF FLASHING AND STOPS. SHOP-FABRICATE TO THE MAXIMUM EXTENT POSSIBLE. COMPLY WITH DETAILS SHOWN AND APPLICABLE REQUIREMENTS OF SMACNA "ARCHITECTURAL SHEET METAL MANUAL" AND MANUFACTURER RECOMMENDATIONS. . PROVIDE SEALANTS AS FOLLOWS:

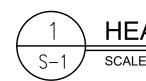
SILICONIZED ACRYLIC CAULK - 25 YR, PAINTABLE, NON-STAINING, MILDEW RESISTANT. FOR INTERIOR AND EXTERIOR USE, FOR WOOD AND MASONRY, AS A FILLER FOR CRACKS, VOIDS AND HOLES IN PREPARATION FOR PAINT OR OTHER FINISH.

B. POLYSEAMSEAL ALL-PURPOSE ADHESIVE CAULK, PAINTABLE, NON-STAINING, MILDEW RESISTANT. FOR INTERIOR AND EXTERIOR USE AS A FILLER AND JOINT SEAL AT TILE, TUB AND COUNTERS.

C. SILICONE RUBBER SEALANT – FS TT-S-001543, CLASS A, ONE-PART NON-SAG LOW MODULES SILICONE RUBBER SEALANT. FOR INTERIOR AND EXTERIOR USE IN WORKING JOINTS WHERE SOME MOVEMENT IS ANTICIPATED, FOR WOOD, MASONRY, METAL AND GLASS. PROVIDE BACKER ROD DEPTH CONTROL IN ALL JOINTS GREATER THAN $\frac{1}{4}$ ".

HEADER SCHEDULE	
OPENING SIZE	BEAM
< OR = 6'-0"	(3) 2"X8" W/ (2) ½" PLYWOOD FLITCH
6'-0" - 8'-0"	(3) 2"X10" W/ (2) ½" PLYWOOD FLITCH
8'-0" - 10'-0"	(3) 2"X12" W/ (2) ½" PLYWOOD FLITCH

STUD SCHEDULE AT HEADERS		
< OR = 3'-0" OPENING	1 JACK STUD/1 KING STUD	
3'-0" - 6'-0" OPENING	2 JACK STUDS/1 KING STUD	
6'-0" - 8'-0" OPENING	2 JACK STUDS/2 KING STUDS	
8'-0" - 10'-0" OPENING	2 JACK STUDS/3 KING STUDS	
10'-0" - 12'-0" OPENING	3 JACK STUDS/3 KING STUDS	



FINISHING NOTES

PROVIDE GYPSUM DRYWALL ON ALL WALLS UNLESS OTHERWISE NOTED AND AS FOLLOWS: A. STEEL FURRING CHANNELS, ASTM C-645, WITH FLANGE EDGES BENT BACK 90 DEGREES AND DOUBLED OVER TO FORM $\frac{3}{6}$ " MINIMUM LIP. MINIMUM THICKNESS OF BASE (UNCOATED) METAL, GALVANIZED FINISH-TYPICAL AND MINIMUM DEPTH AS FOLLOWS; THICKNESS IS 0.0329 INCH, DEPTH IS 1-5".

B. GYPSUM BOARD, § THICKNESS (UNLESS OTHERWISE INDICATED), ASTM C-840 AND ASTM -36. USE TYPE X FOR FIRE RESISTANCE-RATED ASSEMBLIES. PROVIDE TAPERED EDGES. USE WATER-RESISTANT GYPSUM BOARD, ASTM C-630 WHERE INDICATED FOR ALL AREAS SUBJECT TO MOISTURE. PROVIDE GALVANIZED METAL TRIM ACCESSORIES COMPLYING WITH ASTM C-1047. PROVIDE TAPE AND THREE COATS SPACKLE, SCREW GYPSUM BOARD TO METAL FRAMING.

C. AT FIRE RATED WALL ASSEMBLIES, TYPE X SHALL BE INSTALLED CONTINUOUS PAST ANY INTERSECTING PARTITIONS. SHEET INSTALLATION LAYERING, PENETRATIONS, AND TREATMENT OF RECESSED ELECTRICAL BOXES, ETC. SHALL BE IN ACCORDANCE WITH ASSEMBLY GUIDELINES. 2. CERAMIC TILE SHALL BE FURNISHED AND INSTALLED WHERE INDICATED. TILE GROUTING PRODUCTS SHALL BE AS MANUFACTURED BY AMERICAN OLEAN, DAL-TILE CORPORATION OR

APPROVED EQUAL. FLOOR TILE SHALL BE 12X12 UNGLAZED FLOOR TILE, 흄", CUSHION EDGE AND NON-SLIP SURFACE. WALL TILE SHALL BE 4X4, $\frac{5}{16}$, CUSHION EDGE. PROVIDE ALL TRIM AND ACCESSORIES NECESSARY TO PROVIDE A COMPLETE INSTALLATION INCLUDING BULLNOSE, COVE, BASE, BEADS, ETC. USE BONSAL MULTIPURPOSE PREMIUM THIN-SET GROUT W/ LATEX ADDITIVE B-730 OR EQUAL (ANSI A118.4). USE MOISTURE RESISTANT, 7/18" THICK CONCRETE BACKER BOARD UNDER ALL TILE.

3. EXISTING WOOD FLOOR RESTORATION: REMOVE ALL EXISTING CARPET, LINOLEUM AND OTHER EXISTING FLOORING MATERIALS INCLUDING GLUE, ADHESIVES, ETC. REPLACE ALL ROTTED OR TERMITE DAMAGED BOARDS. (NOTIFY ENGINEER OF RECORD PRIOR TO CONTINUING IF ROTTED OR DAMAGED WOOD IS ENCOUNTERED.) SAND EXISTING FLOORING SMOOTH WITH SANDING MACHINE USING A MINIMUM OF COARSE MEDIUM AND FINE SANDING LAYERS. FILL ALL HOLES AND GAPS WITH ZAR LATEX PATCHING COMPOUND, COLOR TINT TO MATCH EXISTING. HOLES OR VOIDS OVER $\frac{1}{4}$ " IN

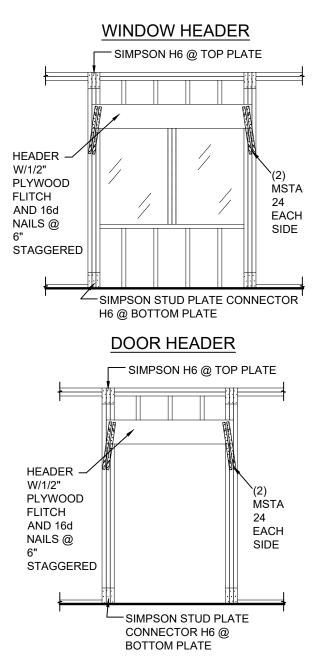
DEPTH SHALL BE FILLED IN SUCCESSIVE LAYERS OF $\frac{1}{4}$ " EACH, ALLOW DRYING BETWEEN APPLICATIONS. SAND SMOOTH AND STAIN FILL MATERIAL AS REQUIRED TO MATCH EXISTING. APPLY 2) COATS OF ZAR QUICK DRY GLOSS PRIMER/SEALER POLYURETHANE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. (LIGHTLY SAND BETWEEN COATS) APPLY (2) FINISH COATS OF ZAR GLOSS POLYURETHANE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. (SAND LIGHTLY BETWEEN COATS)

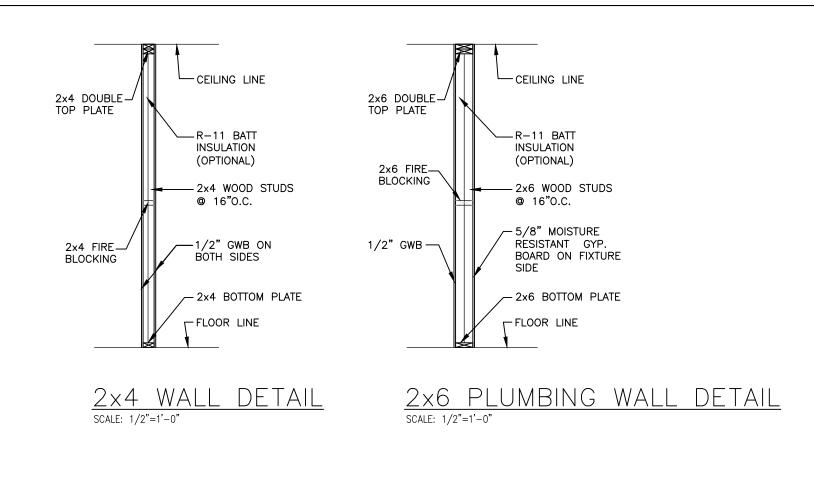
4. CARPETING AND PADDING SHALL BE SELECTED BY OWNER AND INSTALLED BY CONTRACTOR. PROVIDE \$25 PER SQUARE YARD ALLOWANCE FOR PURCHASE DELIVERY AND INSTALLATION OF NEW CARPETING AND PADDING.

5. PROVIDE PAINTING FOR ALL EXPOSED INTERIOR AND EXTERIOR SURFACES UNLESS NOTED OTHERWISE OR INDICATED TO REMAIN NATURAL. ALL SURFACES TO BE PAINTED OR OTHERWISE FINISHED SHALL BE PROPERLY PREPARED AND PRIMED PRIOR TO PAINTING OR OTHERWISE FINISHING. IF A SURFACE IS NOT SPECIFICALLY INDICATED TO BE PAINTED, MATCH ADJACENT SURFACES. PAINTING IS NOT REQUIRED ON PREFINISHED ITEMS, FINISHED METAL SURFACES, CONCEALED SURFACES, OPERATING PARTS AND LABELS. (DO NOT PAINT OVER UL, FACTORY MUTUAL, OR OTHER CODE-REQUIRED LABELS OR EQUIPMENT NAME, IDENTIFICATION, PERFORMANCE

BE APPLIED. RESUBMIT UNTIL ALL COLORS, TEXTURES AND FINISHES ARE APPROVED BY OWNER. 6. REMOVE AND REPLACE ALL ROTTED OR DAMAGED WOOD AND REPLACE WITH SIMILAR WOOD TO MATCH EXISTING SURFACES. USE PRESSURE TREATED WOOD. SPLICE NEW BOARDS INCONSPICUOUSLY AND STAGGER JOINTS AS REQUIRED. SCRAPE LOOSE PAINT OFF EXISTING WOOD SURFACES, SAND SMOOTH AND APPLY PRIMER. CAULK ALL SEAMS, JOINTS AND HOLES PRIOR TO APPLYING FINISH COAT.

7. WALL COVERINGS INDICATED SHALL BE FURNISHED BY OWNER. CONTRACTOR TO PROVIDE WALL SURFACES THAT HAVE BEEN TAPED, FLOATED AND SANDED TO PROPERLY RECEIVE WALL COVERINGS.





LAP BUILDING WRAP HEAD

SELF-ADHERED

SELF-ADHERED

FLASHING TAPE, LAP

FLASHING TAPE, LAP

FLEXIBLE

SELF-ADHERED

OVER SILL TAPE

WINDOW NAIL FLANGE

OVER JAMB TAPE

FLASHING

HEAD —

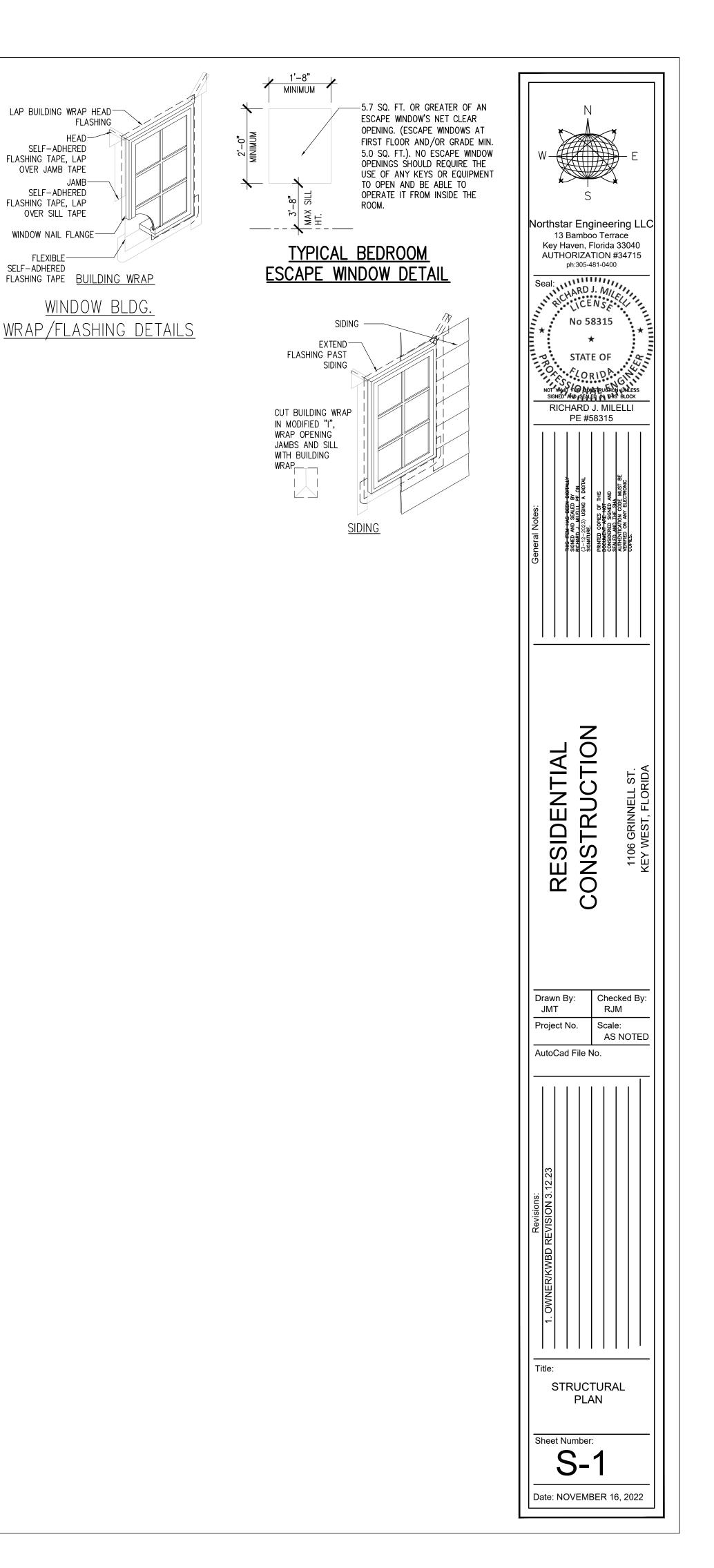
JAMB-

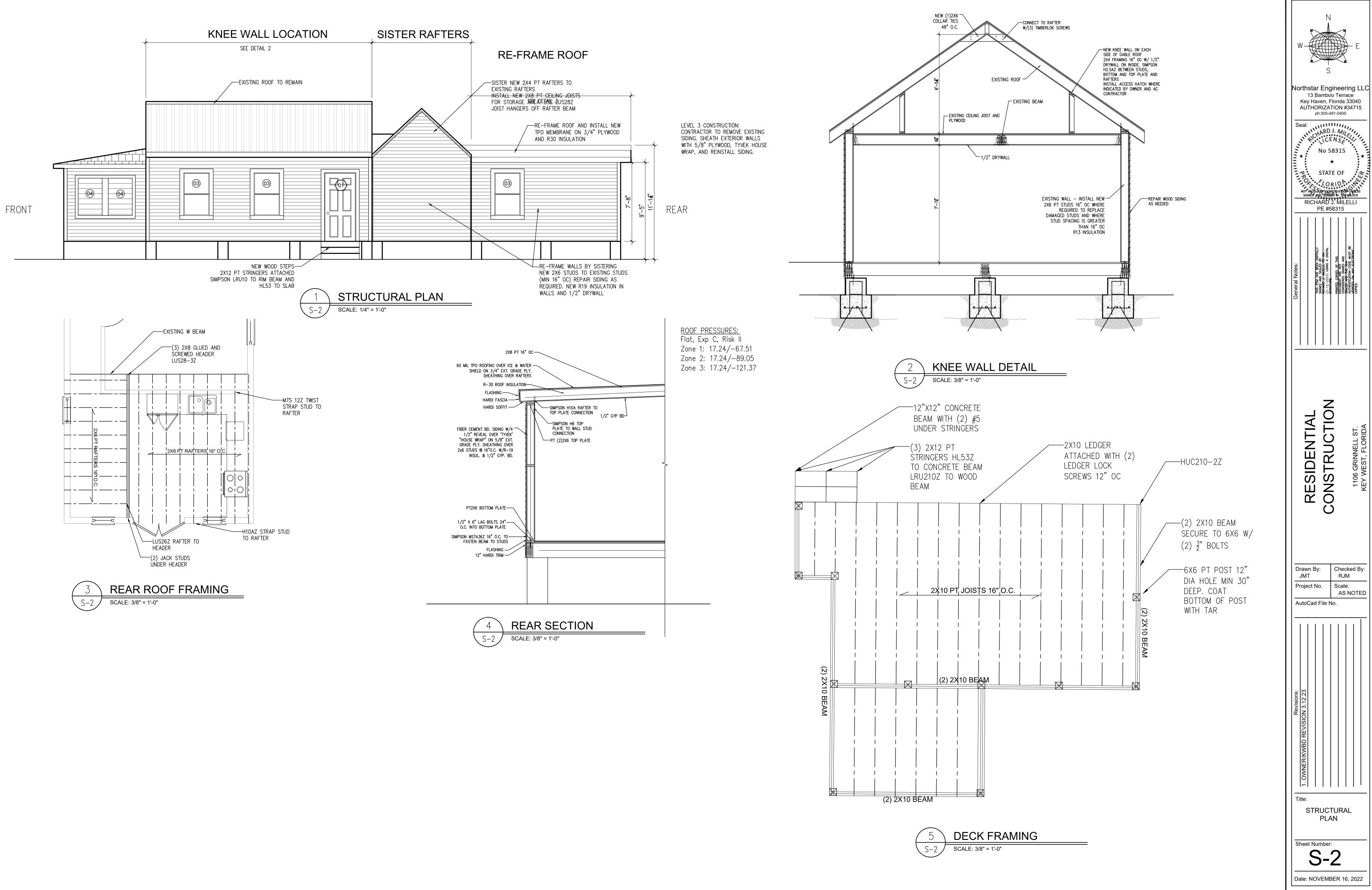


HEADER DETAIL

SCALE: NOT TO SCALE







NOTICING

HARC POSTING AFFIDAVIT

STATE OF FLORIDA: COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared <u>GARY BUREH</u> Field

depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address:

	1000	SKINEI SI	on th
day of	MAY	, 20,2,3.	

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on <u>Tves DAY MAY 23</u>, 20<u>23</u>.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is H = 023 - 000

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant: Date: <u>SIG</u>23 Address: <u>800 Simostor ST</u> City: <u>KeywesT</u> State, Zip: <u>FL 33040</u>

The forgoing	instrument	was acknowledge	d before me	on this	b day of
N	IAT	, 20 <u>23</u> .			

By (Print name of Affiant)	GARY	BURCHFielD	who is
personally known to me or h	as produce	ed	as
identification and who did ta	ke an oath		

NOTARY PUBLIC

Sign Name: ALLANDA ALLAND Print Name: ALLANDA ALLAND Notary Public - State of Florida (seal) My Commission Expires: V. M.

*	ALEXANDRA NICOLE ALBURY MY COMMISSION # HH 230886 EXPIRES: June 4, 2026
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PROPERTY APPRAISER INFORMATION



Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID Account# Property ID Millage Group Location Address Legal Description	00031510-000000 1032298 1032298 10KW 1106 GRINNELL St, KEY WEST KW G G WATSON SUB I-209 PT LOT 3 SQR 5 TR 13 OR230-193/94 OR2442-1707 OR2759-78 OR2834-1734/35 OR2872-2385/89
Neighborhood Property Class Subdivision Sec/Twp/Rng Affordable Housing	(Note: Not to be used on legal documents.) 6097 SINGLE FAMILY RESID (0100) 05/68/25 No



Owner

FORTIN THOMASL 1106 Grinnell St Key West FL 33040

Valuation

ed Values	2019 Certified	2020 Certified Values	2021 Certified Values	2022 Certified Values		
\$49,025	1	\$78,908	\$80,004	\$94,576	Market Improvement Value	+
\$11,916	1	\$11,916	\$11,916	\$2,568	Market Misc Value	-
\$346,826	\$:	\$354,001	\$354,001	\$432,934		- T
\$407,767	\$4	\$444,825	\$445,921	\$530.078		-
\$407,767	\$	\$417,145	\$422,985			-
(\$25,000)	(\$	(\$25,000)	(\$25,000)			-
\$382,767	\$:	\$392,145	\$397,985	\$403.124	School Taxable Value	
\$407, \$407, (\$25,0	\$4 \$4 (\$	\$444,825 \$417,145 (\$25,000)	\$354,001 \$445,921 \$422,985 (\$25,000)	\$432,934 \$530,078 \$428,124 (\$25,000)	Market Land Value Just Market Value Total Assessed Value School Exempt Value	

Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2021	\$354.001	\$80,004	\$11,916	\$445,921	\$422,985	\$25,000	\$397,985	\$22,936
2020	\$354.001	\$78,908	\$11.916	\$444,825	\$417,145	\$25,000	\$392,145	\$27,680
2019	\$346.826	\$49,025	\$11,916	\$407,767	\$407,767	\$25,000	\$382,767	\$0
2018	\$352,717	\$49,829	\$11,916	\$414,462	\$414,462	\$0	\$414,462	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RESIDENTIAL DRY (010D)	2,345.00	Square Foot	0	0

Buildings

Building II Style Building T Gross Sq F Finished S Stories Condition Perimeter Functiona Economic Depreciat Interlor W	Type Ft Sq Ft I Obs Obs Lion % Valls	2463 1 STORY ELEV FOUNDA S.F.R R1/R1 1086 916 1 Filoor POOR 144 0 0 0 30 WALL BD/WD WAL	TION Sketch Area	Finished Area	Exterior Walls Year Built EffectiveYearBuilt Foundation Roof Type Roof Coverage Flooring Type Heating Type Bedrooms Full Bathrooms Half Bathrooms Grade Number of Fire Pl Perimeter	WD FRAME 1933 2001 WD CONC PADS GABLE/HIP METAL SFT/HD WD NONE with 0% NONE 2 2 2 0 450 0
Code		cription		0	0	
CPF	CO	VERED PARKING FIN	126			
FLA	FLO	OR LIV AREA	916	916	0	
OPU	OP	PR UNFIN LL	44	0	0	
TOTAL			1,086	916	0	

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page
9/24/2017	\$451,000	Warranty Deed	2138248	2872	2385
1/11/2017	\$100	Ouit Claim Deed	2106633	2834	1734
11/20/2009	\$200,000	Warranty Deed		2442	1707

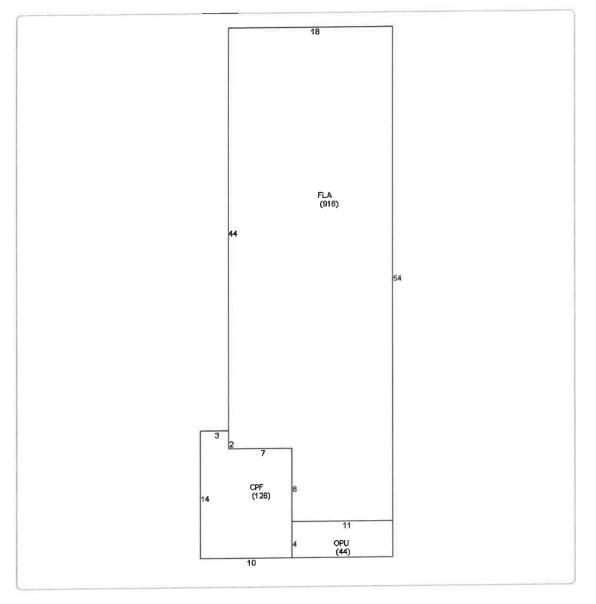
Permits

Number 🗢	Date Issued 🗢	Date Completed 🗢	Amount 🖨	Permit Type 🗢
21-2776	11/30/2021		\$500	Residential
20-3725	3/2/2021	1/26/2021	\$500	Residential
20-3726	3/2/2021		\$2,500	Residential
20-3727	3/2/2021		\$18,000	Residential
09-4115	12/1/2009	7/7/2010	\$5,000	Residential
9902085	6/21/1999	11/5/1999	\$1,100	Residential

View Tax Info

View Taxes for this Parcel

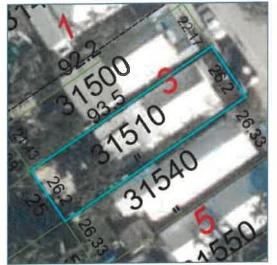
Sketches (click to enlarge)



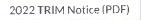
Photos



Мар



TRIM Notice



2022 Notices Only

No data available for the following modules: Yard Items.

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User Privacy Policy GDPR Privacy Notice

Last Data Upload: 3/27/2023, 4:06:41 AM

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