

# **Historic Architectural Review Commission**

# **Staff Report for Item 2**

**To:** Chairman Haven Burkee and Historic Architectural Review

**Commission Members** 

From: Casey Burtch

Historic Preservation Planner II

Meeting Date: May 23, 2023

**Applicant:** Gary Burchfield, Contractor

**Application Number:** H2023-0010

Address: 1106 Grinnell Street

# **Description of Work**

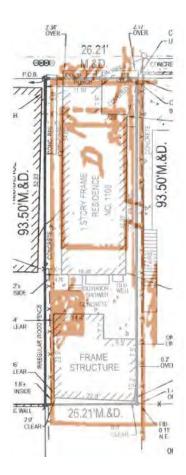
After the fact. Reconstruction of roof on rear non-historic addition. Changes to fenestration openings.

# **Site Facts**

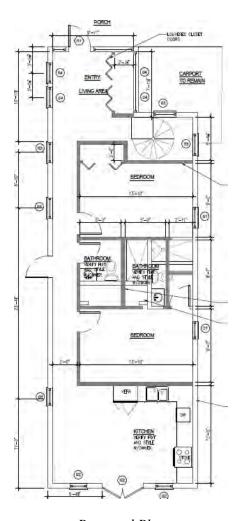
The site under review contains an existing one-story single-family building and is a historic contributing structure built in 1920. Both the 1948 and 1962 Sanborn Maps depict a structure further back on the property and a historic cistern. The current footprint and building configuration differ from the Sanborn Map and encroaches on to the city right of way. The most up to date survey provided shows an additional structure on the rear of the property which no longer exists. Some items on the property have been demolished but staff believe the addition at the rear of the historic structure is non-historic.



The house under review circa 1965.



1962 Sanborn Map & Current Survey



Proposed Plan



Pre Demolition Rear Elevation



Photo of Current Condition



Proposed Rear Elevation

# **Guidelines Cited on Review**

- Building Exteriors Wood (page 24), specifically guideline 1.
- Roofing (page 26), specifically guidelines 2, 3, and 4.
- Windows (pages 29-i 29-j), specifically guidelines A. 6 and 7; B. 4
- Guidelines for Additions (pages 37a-37k) specifically guidelines 1, 6, 12, 13, first sentence of guideline 14, 19, 20, 22, 25, and 30.
- Decks, patios, hot tubs, spas, pools, and related equipment (page 39a), specifically guideline 1.

# **Staff Analysis**

A Certificate of Appropriateness under review is for renovations to a non-historic addition, which includes the reconstruction of the roof, walls, and new fenestration openings. The plans also propose a wood rear deck, less than 30" from grade.

All new construction materials include wooden structural elements, hardiplank for siding, aluminum windows and doors, and 5 v-crimp for roofing finish.

# **Consistency with Guidelines Cited Guidelines**

It is the staff's opinion that the proposed design conforms with cited guidelines. As proposed the roof will be the same form as originally built. The new proposed design fits within the character of surrounding single-family homes. The scale, mass and proportions of the new construction are in keeping with similar land use structures within the area and the building elevation changes on the rear will not overshadow the existing historic context.

# APPLICATION

# RECEIVED

HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS 8463.05 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE Rev 10/02/2022



# City of Key West 1300 White Street Key West, Florida 33040

HARC COA#	REVISION #	INITIAL & DATE
2023-0010		TK
FLOOD ZONE	ZONING DISTRICT	BLDG PERMIT #

# A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL

ADDRESS OF PROPOSED PROJECT:	1106 GRINNEIL S						
NAME ON DEED:	THOMAS FORTIN	PHONE NUMBER 305) 783-8131					
OWNER'S MAILING ADDRESS:	1106 GRINNELL ST	EMAIL TEORTINE SOUTHARD					
	Keywest FL 33040	energy					
APPLICANT NAME:	GARY RUACHFIRIN	PHONE NUMBER 305) 797 - 777 8 CON					
APPLICANT'S ADDRESS:	CARY THE CARPENTER	EMAILINFORGARYTHE					
		NFL 33040 CARPENTER, C					
APPLICANT'S SIGNATURE:	Beesimor (or one .	DATE 3/27/3					
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	TO AN APPROVED CERTIFICATE OF APPROPRIATEN						
FLORIDA STATUTE 837.06: WHOEVER KN	OWINGLY MAKES A FALSE STATEMENT IN WRITING AN	ID WITH THE INTENT TO MISLEAD A PUBLIC					
SERVANT IN THE PERFORMANCE OF H	IIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A 775.083. THE APPLICANT FURTHER HEREBY ACKNOV	MISDEMEANOR OF THE SECOND-DEGREE					
PUNISHABLE PER SECTION 775.082 OR	L BE THE SCOPE OF WORK THAT IS CONTEMPLATE	D BY THE APPLICANT AND THE CITY. THE					
APPLICANT FURTHER STIPULATES THA	IT SHOULD FURTHER ACTION BE TAKEN BY THE CI	TY FOR EXCEEDING THE SCOPE OF THE					
DESCRIPTION OF WORK, AS DESCRIBED	HEREIN, AND IF THERE IS CONFLICTING INFORMATION	ON BETWEEN THE DESCRIPTION OF WORK					
AND THE SUBMITTED PLANS, THE AFOR	EMENTIONED DESCRIPTION OF WORK SHALL BE CONT	ROLLING.					
PROJECT INCLUDES: REPLACEMENT		ELEVATION OF A STRUCTURE					
PROJECT INVOLVES A CONTRIBUTING	STRUCTURE: YES PARTIAL INVOLVES A	ISTORIC STRUCTURE: YES V NO					
DRO JECT INVOLVES A STRUCTURE TH	AT IS INDIVIDUALLY LISTED ON THE NATIONAL REGI	STER: YES NO V					
PROJECT INVOLVES A STRUCTURE THE	AT TO MEDIATE LIGHTS OF THE MATTER AT THE SAME						
DETAILED PROJECT DESCRIPTION	ON INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SC	QUARE FOOTAGE, LOCATION, ETC.					
GENERAL: REPLACE A	II DEORS - WINDOWS O	N STRUCTURE					
REDAIR FRAMING A	S needed Due to DAMAG	e/ROT/BUSS.					
Denous & Re- NC	TAIL SIDING. MAJORITY OF	HISTORIC SIDING SAVED					
WILL BO ATTACHED A	T FRONT Sections of HOM						
MAIN BUILDING ADDED PLY	WOOD + TYVEC BON ENT						
4'x20' PORTION OF							
TO MEET HEIGHT OF NEW STRUCTURAL BEAM.							
1º Meet Height	81 Jaco S Macional D						
DEMOLITION (PLEASE FILL OUT AND	ATTACH DEMOLITION APPENDIX):						

# APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS CITY\_HARC@CITYOFKEYWEST-FL.GOV

ACCESSORY STRUCTUR	E(S):			
PAVERS:			FENCES:	
DECKS:			PAINTING: TO BE PAIN	HW ASTE
SITE (INCLUDING GRADIN	IG, FILL, TREES, ETC):		POOLS (INCLUDING EQUIPMENT):	
ACCESSORY EQUIPMENT	(GAS, A/C, VENTS, ETC	);	OTHER:	
OFFICIAL USE ONLY:		HARC COM	IMISSION REVIEW	EXPIRES ON:
EETING DATE:	APPROVEDNO	T APPROVED .	DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
EETING DATE:	APPROVEDNO	T APPROVED .	DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
EETING DATE:	APPROVEDNO	TAPPROVED .	DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
EASONS OR CONDITIONS:				
TAFF REVIEW COMMENTS:				
:				
IRST READING FOR DEMO:			SECOND READING FOR DEMO:	
IARC STAFF SIGNATURE AND E	ATE:		HARC CHAIRPERSON SIGNATURE AND DATE:	

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.

# HARC CERTIFICATE OF APPROPRIATENESS: DEMOLITION APPENDIX



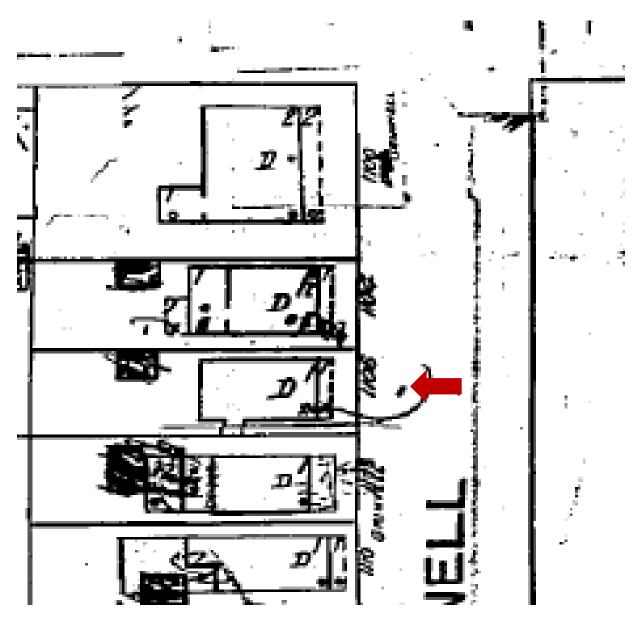
INITIAL & DATE	
BLDG PERMIT#	

ADDRESS OF PROPOSED PROJECT: 1106 GRINNELL ST
PROPERTY OWNER'S NAME: THOMAC FORTIN
ADDRESS OF PROPOSED PROJECT:  PROPERTY OWNER'S NAME:  APPLICANT NAME:  GARY BURCHFIELD (GARY THE CARPENTER)
I hereby certify I am the owner of record and that the work shall conform to all applicable laws of this jurisdiction. By receiving a Certificate of Appropriateness, I realize that this project will require a Building Permit approval PRIOR to proceeding with the work outlined above and that a final inspection is required under this application. I also understand that any changes to an approved Certificate of Appropriateness must be submitted for review.
PROPERTY OWNER'S SIGNATURE  THOMAS FOR DATE AND PRINT NAME
DETAILED PROJECT DESCRIPTION OF DEMOLITION
CRITERIA FOR DEMOLITION OF CONTRIBUTING OR HISTORIC STRUCTURES:
Before any Certificate of Appropriateness may be issued for a demolition request, the Historic Architectural Review Commission must find that the following requirements are met (please review and comment on each criterion that applies):
(1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration or it does not meet any of the following criteria:
(a) The existing condition of the building or structure is irrevocably compromised by extreme deterioration.
(2) Or explain how the building or structure meets the criteria below:
(a) Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction.

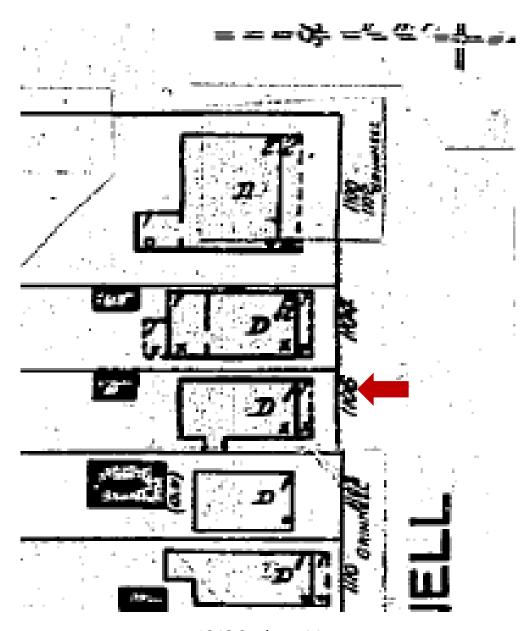
Nothing in t	his application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as rovided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.
(b)	Is not specifically associated with events that have made a significant contribution to local, state, or national history.
(c)	Has no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state or nation, and is not associated with the life of a person significant in the past.
(d)	Is not the site of a historic event with significant effect upon society.
(e)	Does not exemplify the cultural, political, economic, social, or historic heritage of the city.
(f)	Does not portray the environment in an era of history characterized by a distinctive architectural style.
(g)	If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif.
(h)	Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and does not exemplify the best remaining architectural type in a neighborhood.

(i)	Has not yielded, and is not likely to yield, information important in history,
*	CRITERIA FOR DEMOLITION OF NON-CONTRIBUTING OR NON-HISTORIC STRUCTURES:
Commissi	ving criteria will also be reviewed by the Historic Architectural Review Commission for proposed demolitions. The on shall not issue a Certificate of Appropriateness that would result in the following conditions (please review and on each criterion that applies):
(1) Removii	ng buildings or structure that are important in defining the overall historic character of a district or neighborhood so that the er is diminished.
	REFRAMED REAR 4' X20' PORTION OF SHED ROOF
(2) Removii	ng historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space.
(3) Removii	ng an historic building or structure in a complex; or removing a building façade; or removing a significant later addition that is not in defining the historic character of a site or the surrounding district or neighborhood.
	NOT HISTORIC
(4) Removi	ng buildings or structures that would otherwise qualify as contributing.
	NOT CONTRIBUTING
-	

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.



1962 Sanborn Map



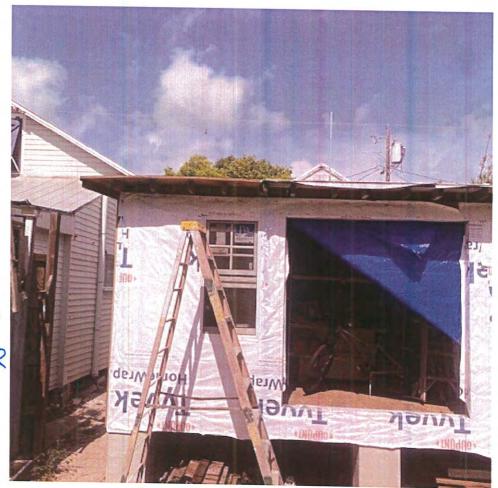
1948 Sanborn Map

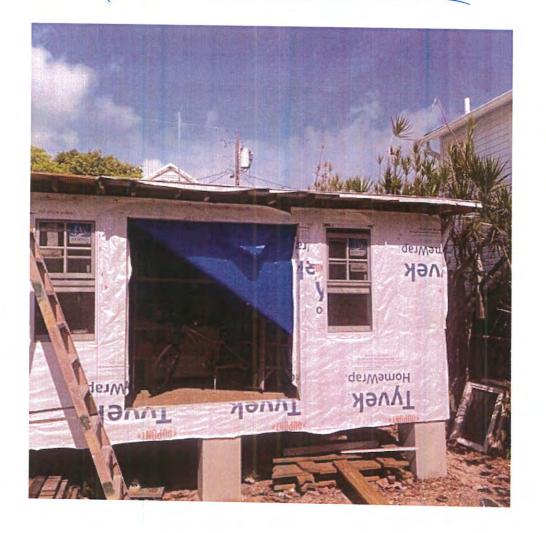


# PROJECT PHOTOS



LEFT SIDE REAR SHOWING EXISTING ROOFLING



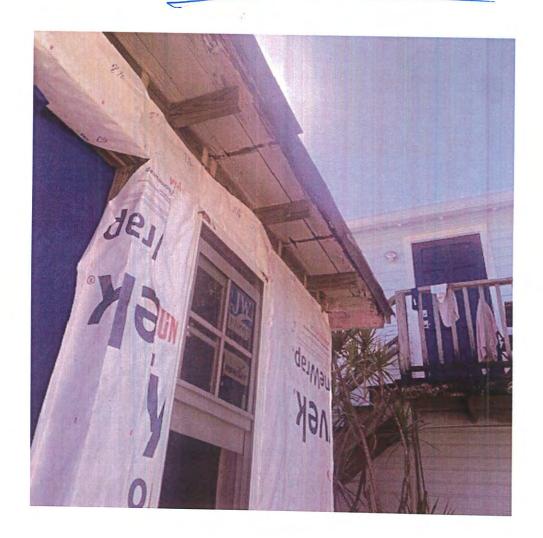


RigHT Side REAR SHOWING Existing Roofline



REAR 010 Side PAINTED ONIY SAME PITCH AS New LEFT 5: De

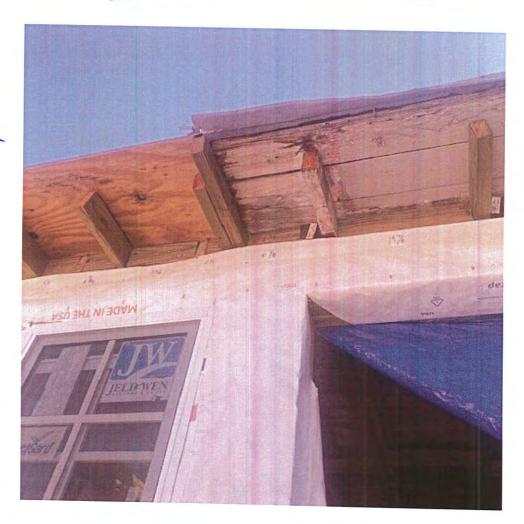
# 1106 GRinnell



REAR ROOFINE ORIGINAL SOFFITT

# 1106 GRINNE 11

Rear Roofline WHERE OLD US New Meet

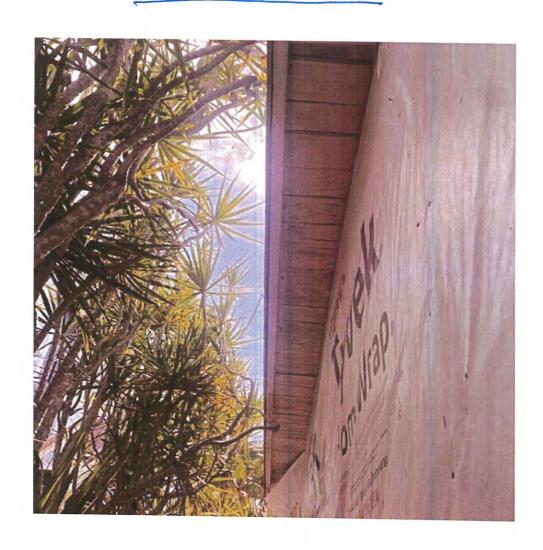


REAR ROOF LEFT SiDE NEW PIYWOOD TGRACE

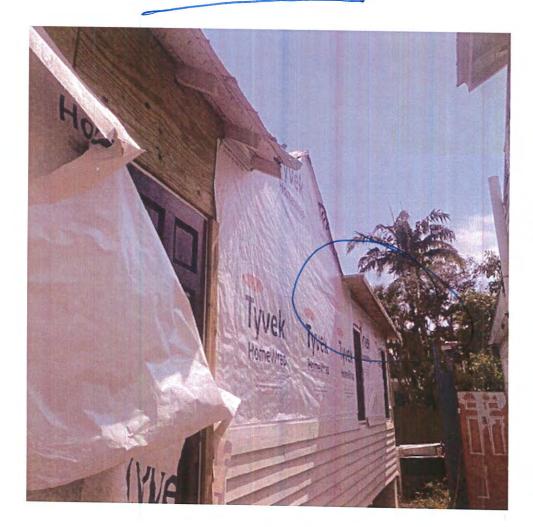


# 1106 GRINNE 11

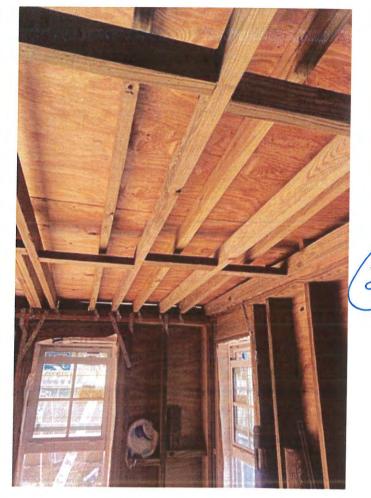
LEFT SIDE REAR ROOF SOFFITT

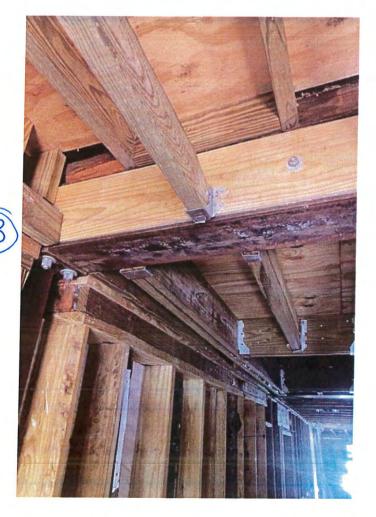


RigHT SiDR REAR ROOF SOFFITT



MATCHES LEFT SiDe New New

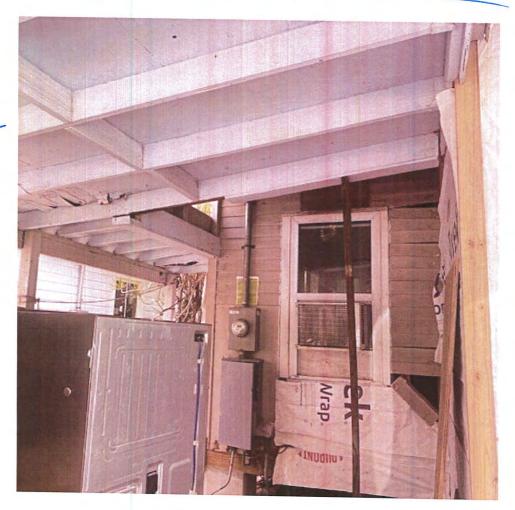




1106 GRINNEll REAR Ceiling AREA SHOWING:

1) WHERE OID ROOF of MODIFIED ROOF SECTIONS MEET 2) ENTIRE MODIFIED AREA

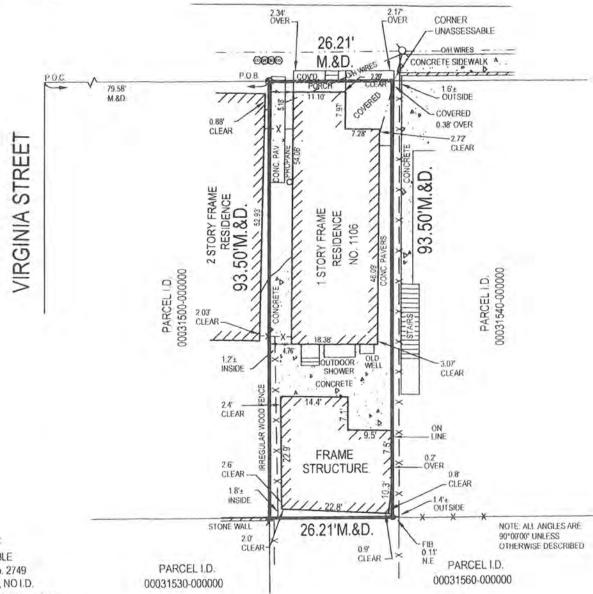
3 METAL STRUCTURAL



CARPORT



# GRINNELL STREET (50' R/W)



### MONUMENTATION:

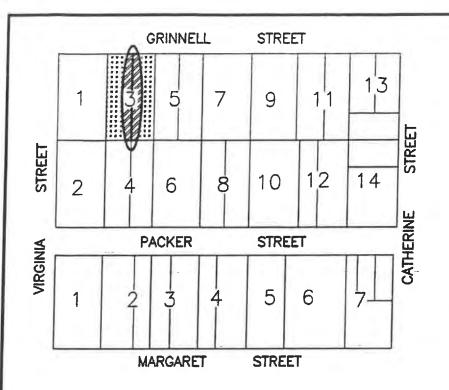
- A = FPK, UNLEGIBLE
- Δ = SPK, P.L.S. No. 2749
- = FIB/FIP, 1/2" Ø, NO I.D.
- @ = FIB, 1/2" Ø, P.L.S. No. 2749

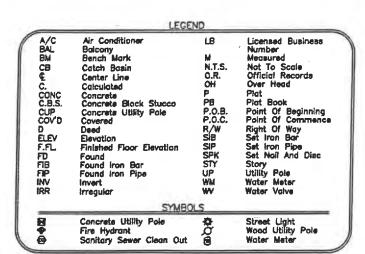
# Thomas L. Fortin 1106 Grinnell Street, Key West, Fl. 33040

BOUNDARY	SURVEY		Dwg. No. 17-349
Scale 1"= 20"	Ref.	Flood Panel No. 1517 K	Dwn. By F.H.H.
Date: 12/17/95	119-38 File	Flood Zone X	Flood Elev
	REVISIONS AN	ID/OR ADDITIONS	
7/16/15: Updated, loc	cate SE boundary line	& improvements	
9/25/17: Updated, mir	nor changes, owner, o	pert's.	
8/28/19: Updated, mir	nor changes rear of pr	operty	
datamcsm/drawnings	s/keywest/block127/11	106grinnell	

# MONROE COUNTY SURVEYING & MAPPING STATE OF FLORIDA LB 8236

1100 Truman Avenue Key West, FL 33040 PH (305) 534-4668 (Corporate Office) PH (305)293-0466 (Key West Office) FAX (305) 531-4589





OCATION

Squares 4 & 5, Tract 13

City of Key West

### SURVEYOR'S NOTES:

North arrow based on assumed meridian Reference Bearing: R/W Riviera Drive 3.4 denotes existing elevation Elevations based on N.G.V.D. 1929 Datum Bench Mark No.: Basic Elevation: 14.324' Title search has not been performed on said or surrounding properties. Field Work performed on: 7/15/15

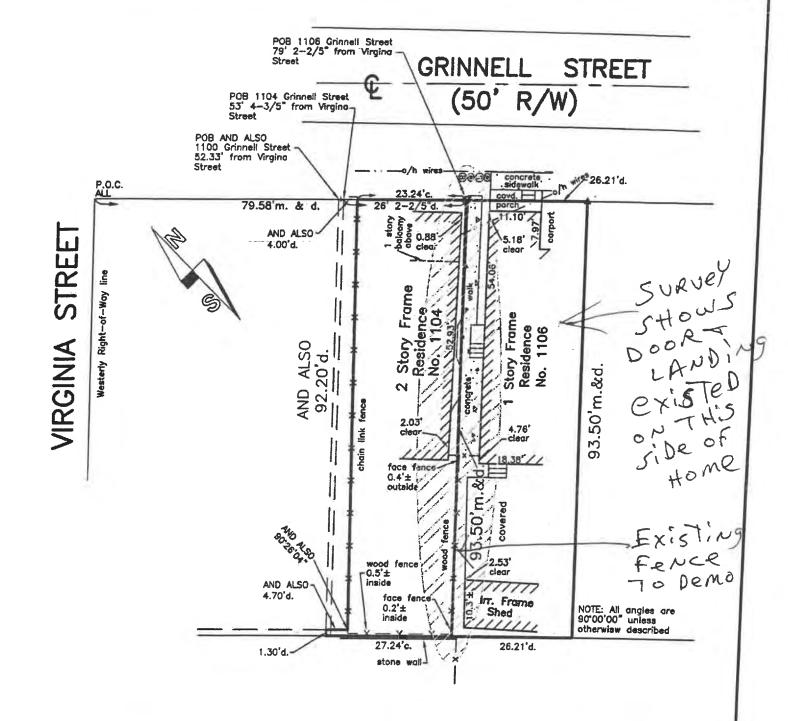
### MONUMENTATION:

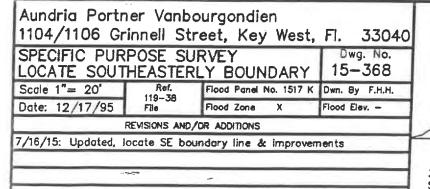
• Set 1/2" Iron Pipe, P.L.S. No. 2749  $\triangle$  = Set P.K. Nail, P.L.S. No. 2749

▲ = Found P.K. Nail

Found 1/2" Iron Pipe

This SPECIFIC PURPOSE SURVEY is to illustrate the Southeasterly/ Northwesterly property line and improvements between 1104 Grinnell Street and 1106 Grinnell Street.





fred\drawnings\keywest\block127/1104/1106grinnell

ISLAND SURVEYING INC.

**ENGINEERS PLANNERS** 

3152 Northside Drive Suite 201 Key West, Fl. 33040 (305) 293-0466 Fax. (305) 293-0237 fhildeb1@bellsouth.net L.B. No. 7700

SURVEYORS

CERTIFICATION: I HEREBY CERTIFY that the attached Specific Purpose Survey, Property Line is true and correct to the best of my knowledge and belief; that it meets the minimum technical standards adopted by the Florida Board of Land Surveyors, Chapter 5J-17 Florida Statute Section 172.027, and the American Land Title Association, and that there are no visible encroachments unless shown hereon.

FREDERICK H. HILDEBRANDT Professional Land Surveyor & Mapper No. 2749 Professional Engineer No. 36810 State of Florida

NOT VALID UNLESS EMBOSSED WITH RAISED SEAL & SIGNATURE

# PROPOSED DESIGN

# SITE DATA

SITE ADDRESS: 1106 GRINNELL ST. KEY WEST, FL 33040 RE: 00031510-000000

ZONING: HMDR (HISTORIC MEDIUM DENSITY RESIDENTIAL)

FLOOD ZONE: X F.I.R.M.- COMMUNITY#12087C; MAP & PANEL #1516 SUFFIX K; DATE:02-18-05

SECTION/TOWNSHIP/RANGE: 5-68-25 LEGAL DESCRIPTION: KW G G WATSON SUB I-209 PT LOT 3 SQR 5 TR 13

SETBACKS: FRONT 10 FT; SIDE 5 FT; STREET SIDE 7.5 FT REAR 15 FT OCCUPANCY: R-3 RESIDENTIAL SINGLE FAMILY

TYPE OF CONSTRUCTION: VB

# **DESIGN DATA**

THE WORK DEPICTED HEREIN WAS DESIGNED TO MEET THE REQUIREMENTS OF THE 2020 FLORIDA BUILDING CODE AND THE LATEST EDITIONS OF THE FLORIDA MODEL ENERGY CODE, FIRE CODE, LIFE SAFETY CODE AND THE NATIONAL ELECTRIC CODE.

THE FOLLOWING LOADINGS WERE USED:

DESIGN LOADS: ASCE 7-16 WIND LOAD: 180 mph; 3 sec gust; EXPOSURE C; ROOF LIVE LOAD 20 PSF; DEAD LOAD 15 PSF; FLOOR LL 40 PSF, DECK LL 40 PSF SOIL BEARING CAPACITY ASSUMED 2000LBS PER SQ.FT.

FEMA FLOOD DESIGN PER ASCE 24-14

SHEET S-2 - STRUCTURAL PLAN

COMPLETION OF WORK.

# INDEX OF DRAWINGS

SHEET CS-1 - COVER SHEET AND SITE PLANS SHEET A-1 - FLOOR PLAN AND ELEVATIONS SHEET A-2 - EXISTING ELEVATIONS SHEET MEP-1 - MECHANICAL, ELECTRICAL, PLUMBING PLAN SHEET S-1 - STRUCTURAL PLAN

# GENERAL NOTES

1. THESE PLANS ARE FOR THE CONSTRUCTION AT THE LOCATION SO DESIGNATED HEREIN.

2. THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR, EQUIPMENT AND SUPERVISION NECESSARY TO PROVIDE THE WORK COMPLETE AND READY FOR USE.

3. THERE SHALL BE NO DEVIATION FROM THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. 4. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BEFORE BID. CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK SITE AND REPORT ANY DISCREPANCIES, DIFFERENCES OR CONDITIONS THAT ARE UNSATISFACTORY OR UNSAFE.

5. NOTIFY THE ENGINEER OF RECORD IMMEDIATELY OF ANY DISCREPANCIES, DIFFERENCES, UNSATISFACTORY OF UNSAFE CONDITIONS. ANY MODIFICATIONS OR CHANGES MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER AND ENGINEER OF RECORD SHALL NOT BE ALLOWED. ANY REWORK, RESTORATION OR OTHER IMPACT AS A RESULT OF NOT OBTAINING SUCH PRIOR APPROVAL WILL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COST

OR COMPENSATION FROM THE OWNER. 6. THE CONTRACTOR SHALL PROVIDE FOR THE SAFETY, PREVENTION OF INJURY OR OTHER LOSS AT THE JOB TO ALL PERSONS EMPLOYED IN THE WORK, PERSONS VISITING THE WORK AND THE GENERAL PUBLIC. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE, DUE TO THE WORK, TO MATERIALS OR EQUIPMENT

AND OTHER PROPERTY AT THE SITE OR ADJACENT THERETO. 7. NO RESEARCH AS TO THE PRESENCE OF UNDERGROUND UTILITIES HAS BEEN INCLUDED ON OR PERFORMED FOR THIS PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING SUNSHINE UTILITY LOCATE SERVICE PRIOR TO ANY CONSTRUCTION WITHIN ANY PUBLIC RIGHT-OF-WAY OR OTHER AREAS WHERE UNDERGROUND UTILITIES MAY BE

PRESENT (I.E. IN AND AROUND UTILITY EASEMENTS, ETC.) 8. THE GENERAL CONTRACTOR SHALL PROVIDE AN ON-SITE DUMPSTER IN A LOCATION COORDINATED WITH THE OWNER FOR THE DISPOSAL OF REMOVED MATERIAL AND CONSTRUCTION DEBRIS. THE DUMPSTER SHALL BE EMPTIED AT APPROPRIATE INTERVALS TO PREVENT OVERFLOW AND UNSIGHTLY CONDITIONS.

9. THE CONTRACTOR SHALL PERFORM ALL WORK IN STRICT CONFORMANCE WITH THE PLANS, 2020 FLORIDA BUILDING CODE, LOCAL CODES AND ORDINANCES, MANUFACTURER RECOMMENDATIONS AND ACCEPTABLE TRADE PRACTICES. ANY CONFLICT BETWEEN THESE REQUIREMENTS AND THE MOST STRINGENT REQUIREMENTS SHALL GOVERN THE

10. SHOP DRAWINGS OF ALL PREFABRICATED STRUCTURAL FLOOR AND ROOF SYSTEMS AND MECHANICAL SYSTEMS SHALL BEAR THE SEAL OF A FLORIDA PROFESSIONAL ENGINEER AS REQUIRED BY THE 2020 FLORIDA BUILDING CODE AND SHALL BE SUBMITTED TO THE ENGINEER OF RECORD BY THE CONTRACTOR FOR APPROVAL PRIOR TO

FABRICATION AND INSTALLATION. 11. THE CONTRACTOR SHALL NOT SCALE DRAWINGS, ANY INFORMATION THAT THE CONTRACTOR CANNOT OBTAIN FROM DIMENSIONS, DETAIL OR SCHEDULE SHALL BE OBTAINED FROM THE ENGINEER OF RECORD.

12. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES TO PREVENT ANY CONFLICTS. 13. THE CONTRACTOR SHALL FURNISH ALL SUBCONTRACTORS WITH A COMPLETE SET OF PLANS. ALL CHANGES SHALL BE NOTED ON THE DRAWINGS AND (2) COMPLETE AS-BUILT SETS SHALL BE DELIVERED TO THE OWNER AFTER

NOTE: STRUCTURE TO HAVE A RESIDENTIAL SPRINKLER SYSTEM WHICH WILL BE DESIGNED AND PERMITTED BY OTHERS

2.34'

over

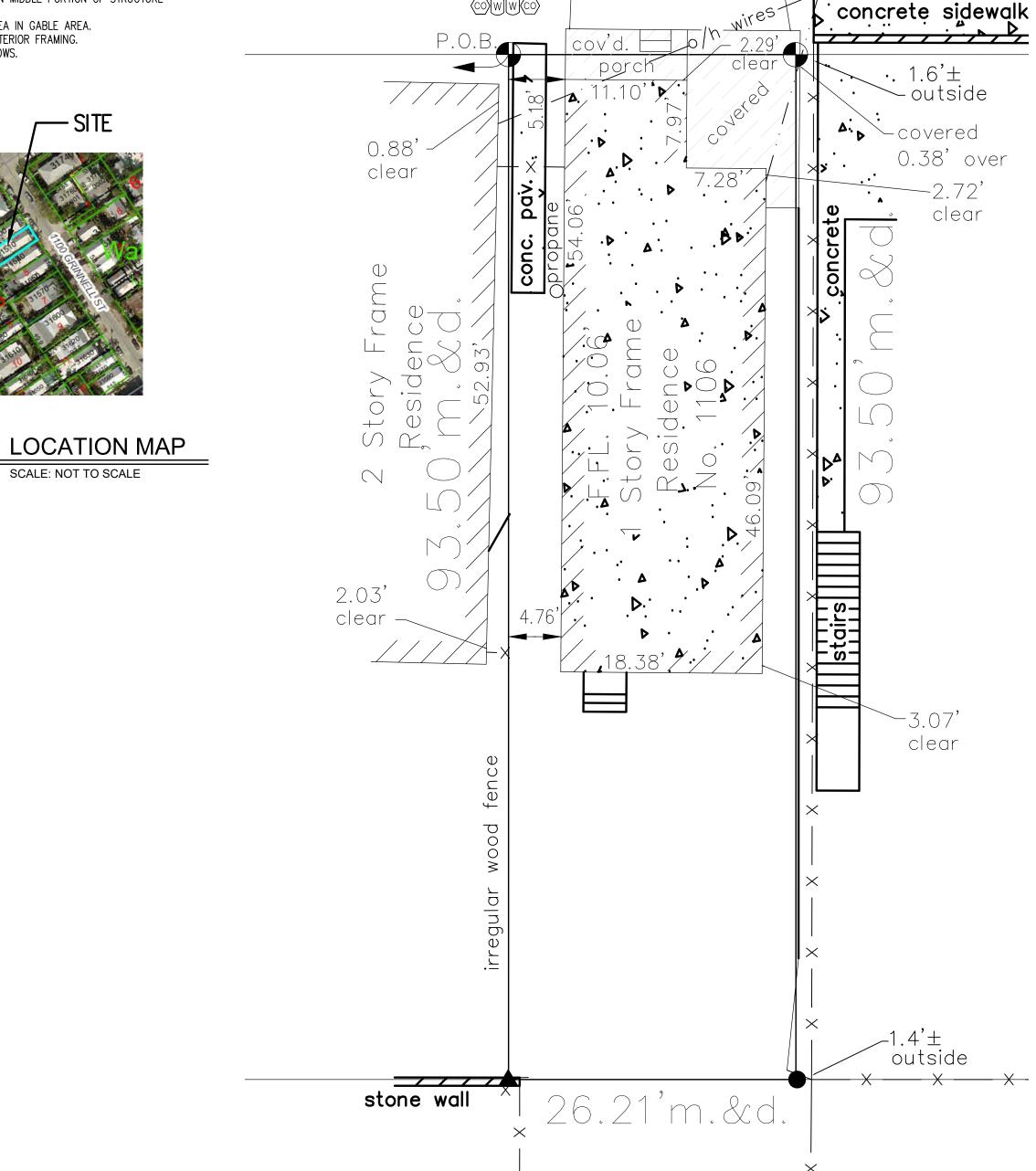
# SCOPE OF WORK

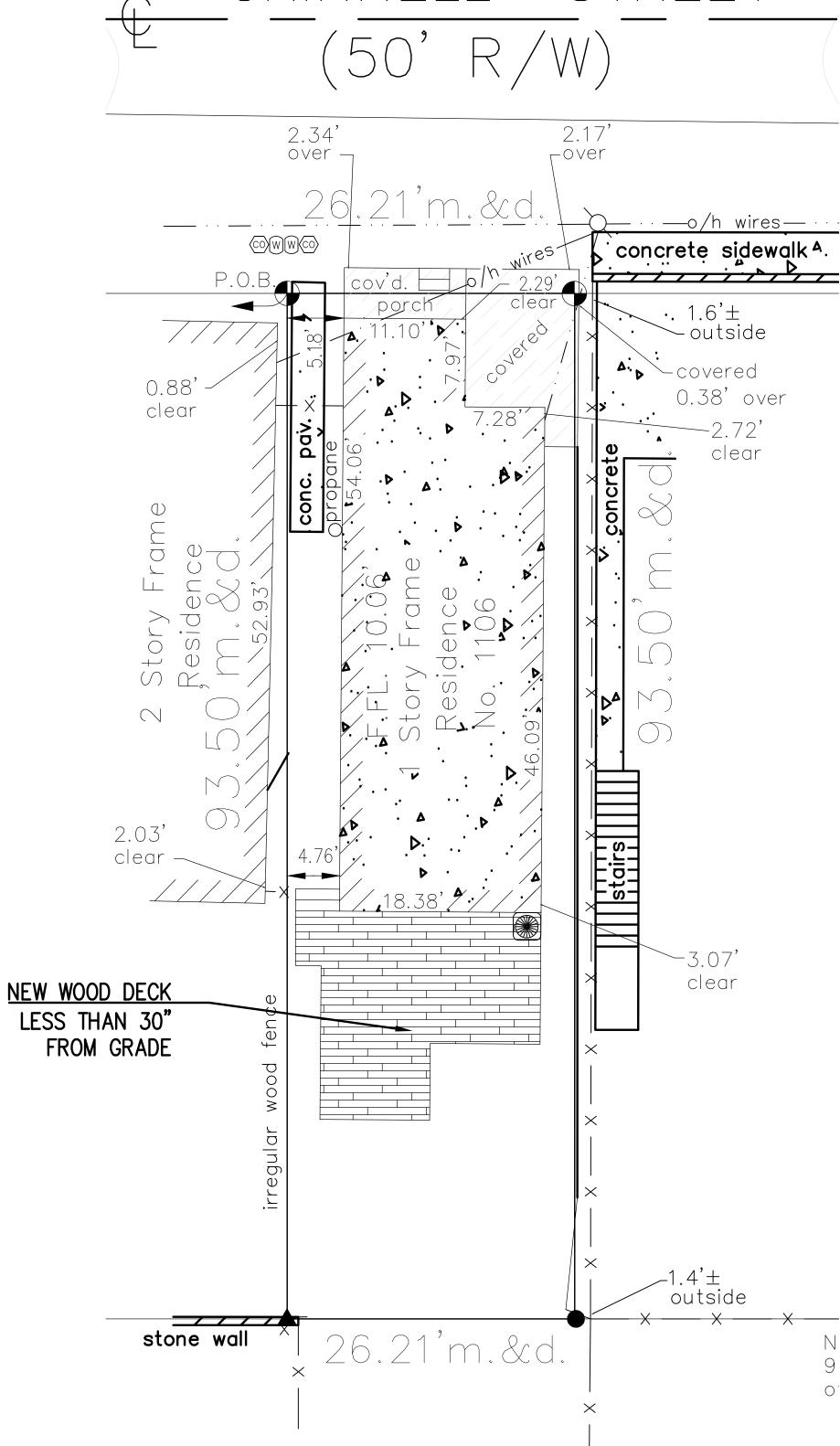
- INTERIOR REMODEL
- NEW ELECTRIC, MECHANICAL, AND PLUMBING RE-FRAME REAR PORTION OF STRUCTURE
- NEW KNEE WALLS IN MAIN PORTION OF STRUCTURE . SISTER RAFTERS IN MIDDLE PORTION OF STRUCTURE
- NEW REAR DECK
- NEW STORAGE AREA IN GABLE AREA. 8. SHEATHING OF EXTERIOR FRAMING.
- 9. DOORS AND WINDOWS.

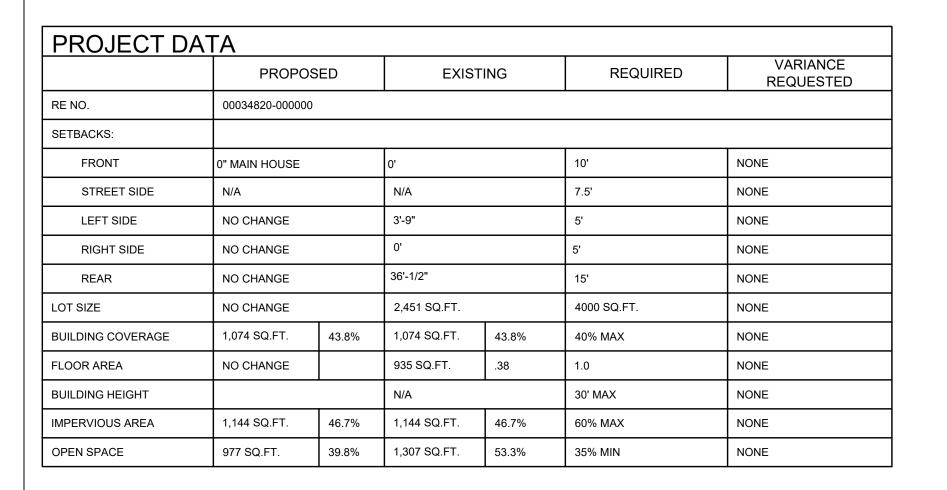








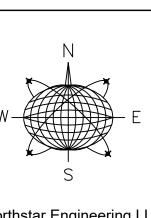












Northstar Engineering LL0 13 Bamboo Terrace Key Haven, Florida 33040 **AUTHORIZATION #34715** ph:305-481-0400

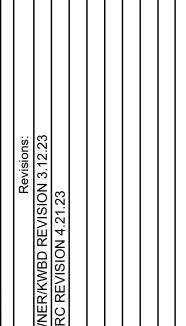
No 58315

NOT VALID FOR A PRISTRUCTION UNLESS SIGNED AND SEALED IN THIS BLOCK RICHARD J. MILELLI PE #58315

TION

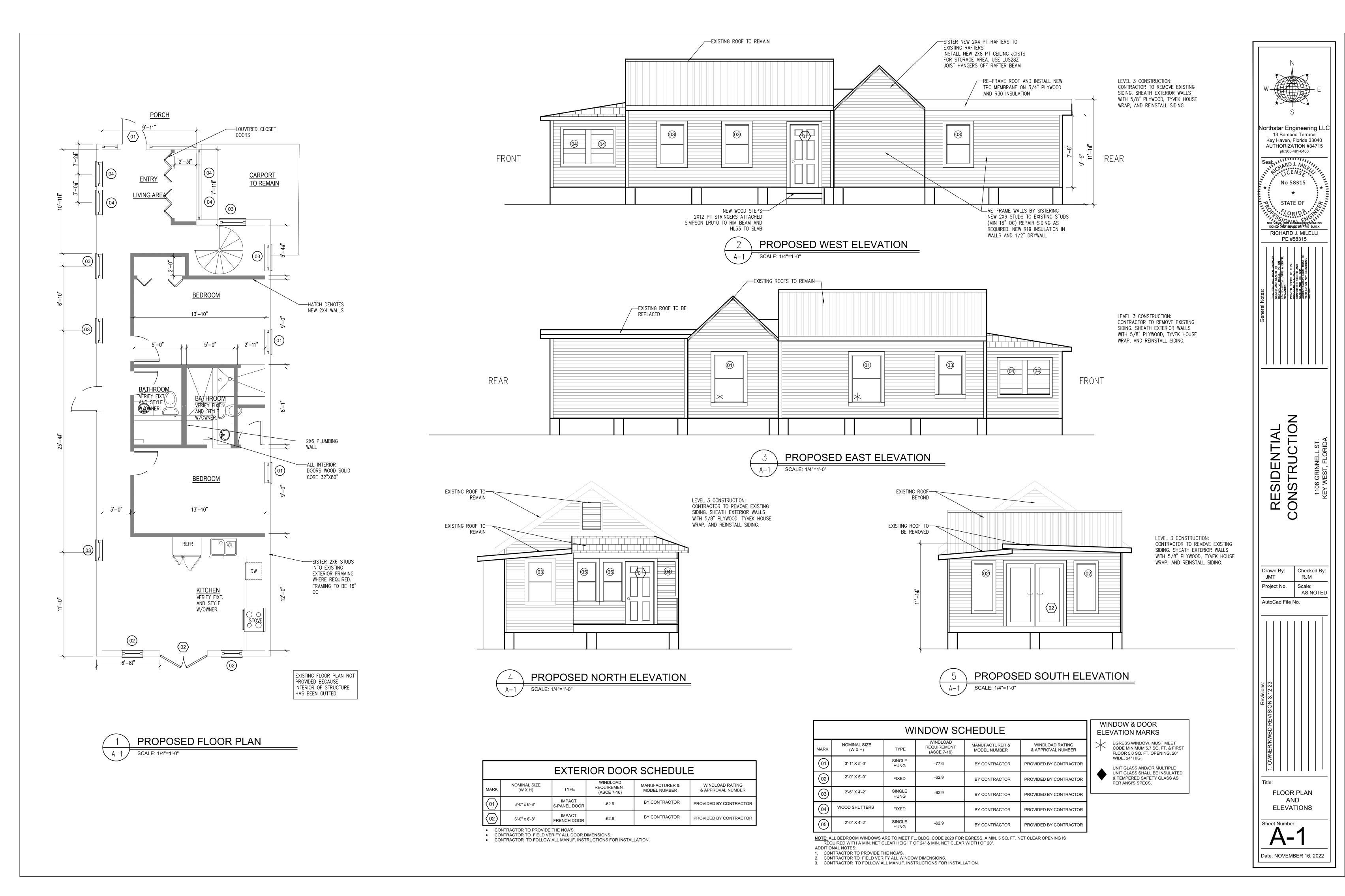
RESIDE CONSTR

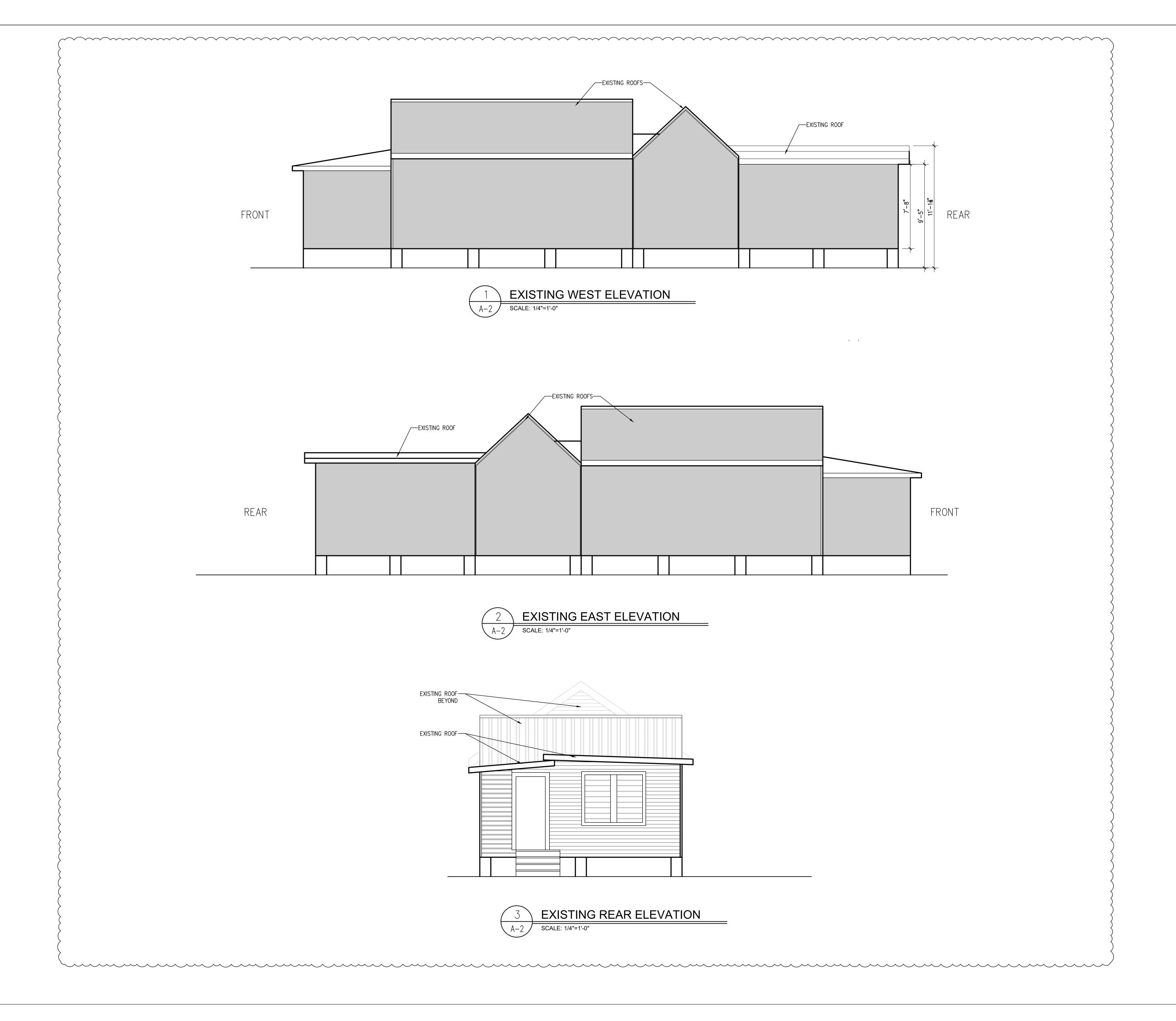
Drawn By: Checked By: Project No. AS NOTED AutoCad File No.

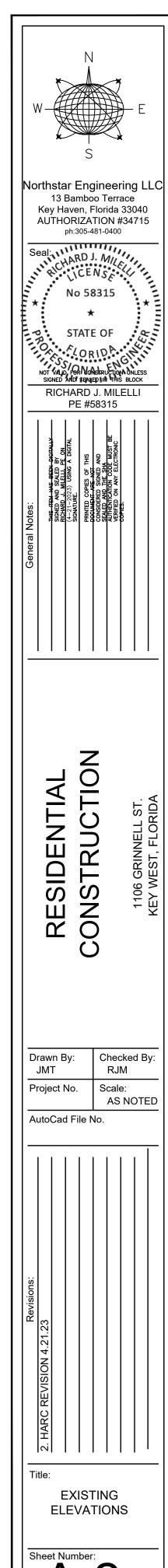


**COVER SHEET** AND SITE PLANS

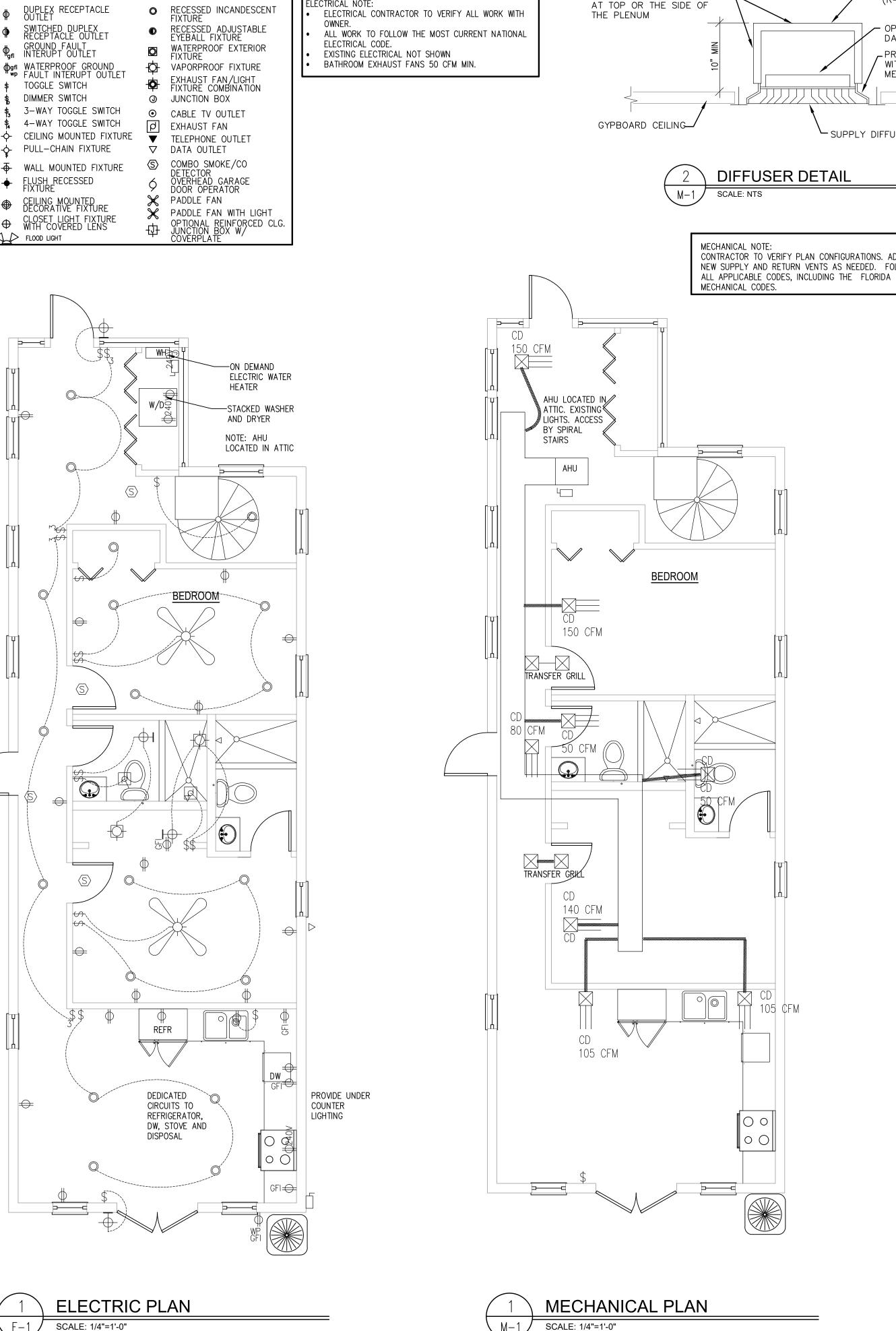
Date: NOVEMBER 16, 2022







Date: NOVEMBER 16, 2022



ELECTRICAL SYMBOL LIST

- FIBERGLASS PLENUM FLEXIBLE DUCT CONNECTION— THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL, EQUIPMENT AND SUPERVISION NECESSARY TO (R-6 MIN.)PROVIDE THE WORK COMPLETE AND READY FOR USE. THE NEW WORK SHALL INCLUDE COMPLETE HOT AND COLD WATER SYSTEMS AND VENT, WASTE AND DRAIN SYSTEMS IN ACCORDANCE WITH ALL APPLICABLE OPPOSED BLADE 2. ALL PLUMBING WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE 2020 PLUMBING CODE, THE ENERGY CONSERVATION CODE AND ALL APPLICABLE LOCAL ORDINANCES PROVIDE 1 1/2" INSULATION 3. CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS AND TESTING WITH VAPOR BARRIER ON ALL 4. CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR ONE YEAR. METAL SURFACE (R-6 MIN.) 5. PLUMBING DRAWINGS (PLANS, DIAGRAMS, ETC.) ARE DIAGRAMMATIC AND SHOULD NOT BE SCALED. THE DRAWINGS DO NOT SHOW EVERY BEND, OFFSET, ELBOW AND OTHER FITTINGS WHICH MAY BE REQUIRED FOR PROPER INSTALLATION IN THE SPACE ALLOCATED NOR AS REQUIRED TO COORDINATE WORK WITH THAT OF OTHER TRADES. ANY WORK NOT SHOWN ON THE DRAWINGS BUT CONSIDERED NECESSARY FOR THE PROPER COMPLETION OF THE WORK SHALL BE PROVIDED WITHOUT ADDITIONAL CHARGE TO THE OWNER. 5. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER WORK UNDER THIS CONTRACT. SUPPLY DIFFUSER . THE OWNER WILL NOT BE HELD LIABLE FOR ANY CHANGES THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER OR FIELD CHANGES THAT ARISE FROM CONTRACTOR ERROR OR OMISSION OF MATERIAL OR POOR WORKMANSHIP. 8. THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING MAIN, WATER AND SEWER CONNECTIONS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL NOTIFY AND RECEIVE CLEARANCE FROM THE APPROPRIATE UTILITY COMPANIES PRIOR TO **FXCAVATING** 9. VERIFY ALL DIMENSIONS AND CLEARANCES AT THE SITE AND IN THE BUILDING PRIOR TO FABRICATION AND INSTALLATION. IO. THE CONTRACTOR SHALL SATISFACTORILY REPAIR AND/OR REPLACE EXISTING WORK, FEATURES AND EQUIPMENT DAMAGED AS A RESULT OF HIS WORK. SURFACES AND FINISHES SHALL BE RESTORED TO MATCH ADJACENT SURFACES AND FINISHES. CONTRACTOR TO VERIFY PLAN CONFIGURATIONS. ADD 1. THE CONTRACTOR SHALL INSPECT EXISTING CONDITIONS PRIOR TO BID AND BECOME FAMILIAR WITH THE NEW SUPPLY AND RETURN VENTS AS NEEDED. FOLLOW SCOPE OF WORK. NO EXTRAS WILL BE ALLOWED FOR THE CONTRACTORS FAILURE TO COMPLY WITH THIS ALL APPLICABLE CODES, INCLUDING THE FLORIDA 12. PLUMBING FIXTURES SHALL BE SELECTED BY THE OWNER AND INSTALLED BY THE CONTRACTOR. (PLUMBING FIXTURES INDICATED ON DRAWING ARE FOR REFERENCE ONLY, FIXTURES OR EQUAL QUALITY, AND CRAFTSMANSHIP MAY BE USED AS DIRECTED). 13. ALL FIXTURES SHALL BE PROTECTED FROM WATER HAMMER WITH AIR CHAMBER SIZED IN ACCORDANCE WITH P.D.I. STANDARDS. (JOSAN OR EQUAL) 14. PROVIDE CONTROL VALVES TO ALL RISERS, BRANCHES, GROUPS OF FIXTURES AND EACH PIECE OF EQUIPMENT. CONTROL VALVES SHALL BE CAST BRASS OR BRONZE GATE VALVES. 15. PROVIDE FULLY ACCESSIBLE CLEANOUTS ON SANITARY PIPING AT THE BASE OF EACH SOIL AND WASTE PIPE AND AT EVERY CHANGE OF DIRECTION. 16. PROVIDE MINMUM PITCH OF  $4\!\!\!/^{"}$  PER FOOT FOR ALL HORIZONTAL BRANCHES AND SEWER TRADES. ALL WATER PIPING SHALL BE TYPE M COPPER WITH WROUGHT COPPER SOLDERED JOINT FITTINGS. 18. PROVIDE DIELECTRIC FITTINGS FOR JOINING DISSIMILAR METALS. 19. SANITARY DRAIN PIPING WITHIN THE BUILDING AND BELOW THE GROUND SHALL BE SCHEDULE 40 PVC. 20. WATER HEATER SHALL BEAR LABEL INDICATING COMPLIANCE WITH ASHRAE STD. 90. WATER HEATER SHALL BE EQUIPPED WITH A DRAIN PAN WITH 2" MIN. SIDES AND 2" CLEARANCE ON ALL SIDES. PROVIDE 34" DRAIN OUTLET LOCATED 32" ABOVE BOTTOM OF PAN. P&T RELIEF VALVE AND DRAIN PAN PIPING SHALL BE TYPE M COPPER. 21. UNDERGROUND PIPING SHALL BE PROTECTED WITH A COAT OF BITUMINOUS COMPOUND. 22. ALL FLOOR DRAINS SHALL HAVE TRAP PRIMERS TO PROTECT TRAP SEAL. 23. ALL VENTS THROUGH ROOF SHALL MAINTAIN MINIMUM 10' HORIZONTAL CLEARANCE FROM ANY MECHANICAL AIR INTAKE. 24. ALL PIPING SHALL BE SUPPORTED RIGIDLY. 25. ALL CUTTING AND NOTCHING REQUIRED FOR THE INSTALLATION OF PLUMBING WORK SHALL BE ACCOMPLISHED IN AN APPROVED MANNER. APPROVAL SHALL BE OBTAINED FROM THE ENGINEER OF RECORD PRIOR TO CUTTING OR DRILLING STRUCTURAL MEMBERS UNLESS SPECIFICALLY ADDRESSED HEREIN. 26. WATER USAGE FOR PLUMBING FIXTURES SHALL NOT EXCEED THE FOLLOWING: WATER CLOSETS: 1.6 GALLONS PER FLUSH SHOWERS: 2.5 GALLONS PER MINUTE FAUCETS: 2.0 GALLONS PER MINUTE 27. HOSE BIBS SHALL BE PROTECTED BY APPROVED BACK-SIPHONAGE BACKFLOW PREVENTERS. 28. TEST ALL WATER PIPING AT 100 PSI HYDROSTATIC PRESSURE A MINMUM OF 2 HOURS. 29. TEST ALL SOIL, WASTE AND VENT PIPING WITH A 10' HEAD OF WATER. WATER LEVEL TO REMAIN PROVIDE FLEXIBLE LINE FOR REFRIGERATOR ICE MAKER UNCHANGED FOR 2 HOURS MINMUM. 30. THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF DRAWINGS TO INDICATE ALL CHANGES MADE TO THE PLUMBING DESIGN. THE AS-BUILT DRAWINGS SHALL BE DELIVERED TO THE OWNER AFTER KITCHEN SINK DW COMPLETION OF WORK. CONNECT TO HOME'S EXIST. WATER SUPPLY CLEANOUT IN RIGHT OF WAY WATER METER IN RIGHT OF DIAGRAM WASTE DIAGRAM N.T.S N.T.S 5. P.V.C. WASTE LINES BELOW GRADE. 6. PROVIDE 1/2" COLD WATER SUPPLIES TO 1. SHUT-OFFS AT ALL FIXTURES AND BRANCHES 2. ABOVE GRADE WATER PIPING, CPVC. 3. BELOW GRADE WATER PIPING, CPVC. 7. PROVIDE 1/2" HOT & COLD WATER SUPPLIES 4. P.V.C. WASTE LINES ABOVE GRADE. TO ALL OTHER FIXTURES UNLESS NOTED

> Volts: 120/240, Single Phase, 3W MTG: QO Load Center (42 Place) BUS: 200A Main: Flush Load: M.L.O. Load Description CKT No. Load Description Hot Water Heater Hot Water Heater Washing Machine Refrigerator - Main Microwave - Kitchen Dishwasher Laundry Kitchen Bath #1 Kitchen Outdoor Lights / Rec (\*\*) Gen Lighting / Rec (\*\*\*) Gen Lighting / Rec (\*\*\*) Gen Lighting / Rec (\*\*\*) Gen Lighting / Rec (\*\*\* Gen Lighting / Rec (\*\*\*) Gen Lighting / Rec (\*\*\*) Gen Lighting / Rec (\*\*\*) Total "A" 19250 Total "C" 15450 1. "-" is part of the 3.0W / SQFT Load General Lighting / Red 2. (\*\*\*) AFCI Type Breaker (All bedroom, living room, laundry circuits) 35600 Total Load (VA) 3. (\*\*) HACR Type Beaker Total Amps 4. EMT conduit

ELECTRICAL NOTES

- THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR, EQUIPMENT AND SUPERVISION NECESSARY
  TO PROVIDE THE WORK COMPLETE AND READY TO USE.
   ALL DEVICES, EQUIPMENT, MATERIAL AND LABOR SHALL LBE PROVIDED BY THE CONTRACTOR UNLESS
- NOTED OTHERWISE.

  3. ALL ELECTRICAL EQUIPMENT AND DEVICES SHALL BE MOUNTED AS PER EQUIPMENT AND DEVICE MANUFACTURER RECOMMENDATIONS.
- MANUFACTURER RECOMMENDATIONS.
  ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC) AND ALL OTHER APPLICABLE CODES AND STANDARDS.
- ELECTRICAL CODE (NEC) AND ALL OTHER APPLICABLE CODES AND STANDARDS.

  NO PIPE, CONDUIT OR JUNCTION BOX SHALL BE INSTALLED IN STRUCTURAL SLABS, COLUMNS OR BEAMS UNLESS SPECIFICALLY SHOWN ON STRUCTURAL DRAWINGS.

  THE CONTRACTOR IS RESPONSIBLE FOR EVALUATING EXISTING CONDITIONS AT THE SITE AND WITHIN
- THE BUILDING PRIOR TO BID.

  7. THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANY FOR NEW SERVICE AND ANY SPECIAL REQUIREMENTS. SECONDARY SERVICE OVERHEAD FEEDER BY KEYS. ELECTRICAL
- CONTRACTOR SHALL COORDINATE SPLICE LOCATION WITH KEYS SERVICE REQUIREMENTS.

  8. ELECTRICAL DRAWINGS (PLANS, DIAGRAMS, ETC.) ARE DIAGRAMMATIC AND SHOULD NOT BE SCALED. THE DRAWINGS DO NOT SHOW EVERY BEND, OFFSET, ELBOW AND OTHER FITTINGS WHICH MAY BE REQUIRED FOR PROPER INSTALLATION IN THE SPACE ALLOCATED OR AS REQUIRED TO COORDINATE WORK WITH THAT OF OTHER TRADES. ANY WORK NOT SHOWN BUT CONSIDERED NECESSARY FOR PROPER COMPLETION OF THE WORK SHALL BE PROVIDED WITHOUT ADDITIONAL CHARGES TO THE
- 9. ALL WORK SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER.
  10. ALL MAERIALS AND EQUIPMENT TO BE INSTALLED SHALL BE NEW AND FREE OF DEFECTS. ALL ELECTRICAL EQUIPMENT SHALL COMPLY WITH NATIONAL ELECTRICAL MANUFACTURERS' ASSOCIATION
- (NEMA) STANDARDS AND SHALL BE UL LABELED.

  11. THE CONTRACTOR SHALL SATISFACTORILY REPAIR AND/OR REPLACE EXISTING WORK, FEATURES AND FOUNDATION OF THE CONTRACTOR SHALL SATISFACTORILY REPAIR AND FOUNDATION OF THE PROPERTY O
- EQUIPMENT DAMAGED AS A RESULT OF HIS WORK. SURFACES AND FINISHES SHALL BE RESTORED TO MATCH ADJACENT AREAS.

  12. ALL CUTTING AND NOTCHING REQUIRED FOR THE INSTALLATION OF ELECTRICAL WORK SHALL BE

ACCOMPLISHED IN AN APPROVED MANNER. APPROVAL SHALL BE OBTAINED FROM THE ENGINEER

- PRIOR TO CUTTING OR DRILLING STRUCTURAL MEMBERS UNLESS SPECIFICALLY ADDRESSED HEREIN.

  13. EXISTING ELECTRICAL WORK, FEATURES AND EQUIPMENT INDICATED AND/OR REQUIRED TO BE REMOVED SHALL BE PROPERLY DISPOSED BY THE CONTRACTOR INCLUDING ABANDONED RACEWAYS,
- WRING, BOXES, SWITCHES AND OTHER ELECTRICAL ITEMS NOT PLANNED TO REMAIN IN USE.

  14. ALL DEVICE BOXES SHALL BE INSTALLED FLUSH AND CONDUITS RUN CONCEALED IN FINISHED AREAS EXCEPT AS SPECIFICALLY SHOWN OR NOTED OTHERWISE.
- 15. ALL CONDUITS INSTALLED INTERIOR SHALL BE EMT. ALL CONDUITS INSTALLED EXTERIOR SHALL BE GALVANIZED RIGID METAL CONDUIT.
   16. ALL WIRE SIZE SHALL BE #12 UNLESS OTHERWISE NOTED ON DRAWINGS. CONDUCTIORS #10 AND
- 16. ALL WIRE SIZE SHALL BE #12 UNLESS OTHERWISE NOTED ON DRAWINGS. CONDUCTIORS #10 AND SMALLER SHALL BE SOLID COPPER. CONDUCTORS #8 AND LARGER SHALL BE STRANDED COPPER. UNLESS NOTED OTHERWISE, CONDUCTOR INSULATION SHALL BE DUAL RATED AT THHN/THWN.

  17. ALL MATERIAL SHALL BE UL APPROVED.
- ALL MATERIAL SHALL BE UL APPROVED.
   A TYPEWRITTEN PANEL TALLY SHALL BE AFFIXED TO THE PANEL DOOR AFTER COMPLETION OF WORK THAT REFLECTS ALL CHANGES AND ADDITIONS.
   CONTRACTOR TO PROVIDE COMPUTER PRINTED ON WHITE WRAPAROUND PAPER WITH CLEAR PLASTIC
- PROTECION FOR TAIL FOR ALL WIRE MARKERS. MARKER SHALL STATE PANELBOARD NAME AND CIRCUIT NUMBER ON ALL WIRES IN JUNCTION AND PULL BOXES AND IN EQUIPMENT TERMINAL BOXES.

  20. CONTRACTOR TO PROVIDE PUNCH TAPE LABELS ON ALL WIRING DEVICES FOR IDENTIFICATION.
- SHALL BE 1/2" BLACK TAPE WITH WHITE RAISED LETTERS. TAPE LABELS SHALL STATE PANELBOARD NAME AND CIRCUIT NUMBER.
  21. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE SET OF RECORD DRAWINGS TO
- THE OWNER AT THE END FOR THE CONSTRUCTION.

  22. ALL BRANCH CIRCUITS SHALL BE PROPERLY PHASE BALANCED WITHIN 10%.

  23. ALL FLOOR PENETRATIONS SHALL BE SEALED WITH A FIRE SEAL SIMILAR TO 'OZ' FLAMESEAL.
- 23. ALL FLOOR PENEIRATIONS SHALL BE SEALED WITH A FIRE SEAL SIMILAR TO 02 FLAMESEAL.

  24. ALL NON—POWER RELATED WIRING IN CEILING A/C PLENUM RUNNING WITHOUT CONDUIT SHALL BE TEFLON COATED CLASSIFIED FOR USE IN PLENUMS.
- 25. ALL OUTLETS, SWITCHES AND COVER PLATES SHALL HAVE WHITE FINISH OR OTHER COLOR SELECTED BY OWNER AND LEVITON 5350/5252 SERIES OR EQUAL.
   26. ALL BRANCH CIRCUITS SHALL BE EQUIPPED WITH A GREEN EQUIPMENT GROUNDING CONDUCTOR
- SIZED IN ACCORDANCE WITH NEC 250.95.

  27. ALL EMPTY CONDUITS SHALL BE PROVIDED WITH NYLON PULL STRINGS.
- 28. FUSES SHALL BE DUAL ELEMENT, TIME DELAY UNLESS OTHERWISE NOTED.
   29. ALL LUMINAIRES SHALL BE PROPERLY SUPPORTED IN ACCORDANCE WITH CEILING MANUFACTURER RECOMMENDATIONS IF APPLICABLE AND LOCAL REQUIREMENTS. MOUNTING DEVICES MUST BE
- CAPABLE OF SUPPORTING CEILING FAN FIXTURES.

  30. ALL RECESS CANS SHALL BE IC RATED, AND CONTROLLED BY DIMMER SWITCHES.
- 31. ALL CABLES SHALL BE RUN WITHOUT SPLICES UNLESS OTHERWISE NOTED.
  32. PROVIDE REQUIRED CONNECTION FOR GARAGE DOOR OPENER(S), KITCHEN APPLIANCES, AND
- 32. PROVIDE REQUIRED CONNECTION FOR GARAGE DOOR OPENER(S), KITCHEN APPLIANCES, AND MECHANICAL EQUIPMENT.
   33. ALL BATHROOM, GARAGE AND EXTERIOR RECEPTACLE OUTLETS AND KITCHEN RECEPTACLE OUTLETS
- WITHIN 6' OF WATER SOURCE SHALL BE GFI PROTECTED. ALL EXTERIOR RECEPTACLE OUTLETS SHALL
  BE WATER—PROOF PROTECTED. ALL BEDROOM RECEPTACLE OUTLETS SHALL BE ARC FAULT
  PROTECTED IN ACCORDANCE WITH NEC 210–12.
- THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF DRAWINGS TO INDICATE ALL CHANGES MADE TO THE ELECTRICAL DESIGN. THE AS—BUILT DRAWINGS SHALL BE DELIVERED TO THE OWNER AFTER COMPLETION OF THE WORK.

  ALL\_SMOKE\_DFTECTORS\_SHALL\_BF\_WIRED\_IN\_TANDEM.

# 35. ALL SMOKE DETECTORS SHALL BE MECHANICAL NOTES

BE "WIRE HOLD" TYPE WG OR EQUAL.

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2020 MECHANICAL CODE, FLORIDA ENERGY EFFICIENCY CODE AND ALL LOCAL ORDINANCES.

2. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT, SUPERVISION, PERMITS, FEES AND INSPECTIONS NECESSARY TO PROVIDE THE WORK COMPLETE AND READY FOR USE.

3. CONTRACTOR SHALL VERIFY SPACE CONDITIONS AND DIMENSIONS AND SHALL COORDINATE WORK WITH ALL OTHER TRADES PRIOR TO FABRICATING DUCTWORK OR INSTALLING EQUIPMENT

OR PIPING.

4. PRIMARY DUCTWORK SHALL BE CONSTRUCTION OF ONE AND HALF—INCH THICK (R—6 MINIMUM)
FIBERGLASS DUCTBOARD WITH REINFORCED ALUMINUM FOIL FACED COVERING FABRICATED AND

FIBERGLASS DUCTBOARD WITH REINFORCED ALUMINUM FOIL FACED COVERING FABRICATED AN INSTALLED PER SMACNA RECOMMENDATIONS.

5. ALL VENTILATION AND EXHAUST DUCTWORK SHALL BE OF GALVANIZED SHEET METAL

CONSTRUCTION PER SMACNA RECOMMENDATIONS.

6. REFRIGERANT PIPING SHALL BE TYPE "L" COPPER TUBING SIZED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. INSULATED SUCTION AND CONDENSATE PIPING WITH 1/4" THICK FOAM PLASTIC OF FIRE RETARDANT TYPE 25/30 MAXIMUM SMOKE DEVELOPED AND FLAME SPREAD RATING RESPECTIVELY PER TESTS IN MFPA-255. FINISH WHERE EXPOSED WITH TWO COATS OF ACRYLIC LACQUER IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

7. ALL EQUIPMENT, MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF

ONE YEAR FROM THE DATE OF ACCEPTANCE. COMPRESSORS SHALL CARRY A FIVE-YEAR

FACTORY GUARANTEE.

8. AIR CONDITION SYSTEM SHALL BE BALANCED TO OBTAIN COMFORT CONDITIONS IN ALL AREAS WITHOUT DRAFTING

9. THERMOSTATS SHALL BE HEAT/COOL TYPE WITH FAN AND SYSTEM SELECTOR SWITCH ON SUB BASE. MOUNT FIVE FEET ABOVE FINISHED FLOOR WHERE SHOWN.

10. ALL DUCT ELBOWS GREATER THAN FORTY FIVE (45) DEGREES SHALL BE FITTED WITH

TURNING VANES.

11. PROVIDE READY ACCESSIBILITY TO DAMPERS AND OTHER PARTS OF THE SYSTEM REQUIRED TO BE REACHED FOR MAINTENANCE AND OPERATIONS.

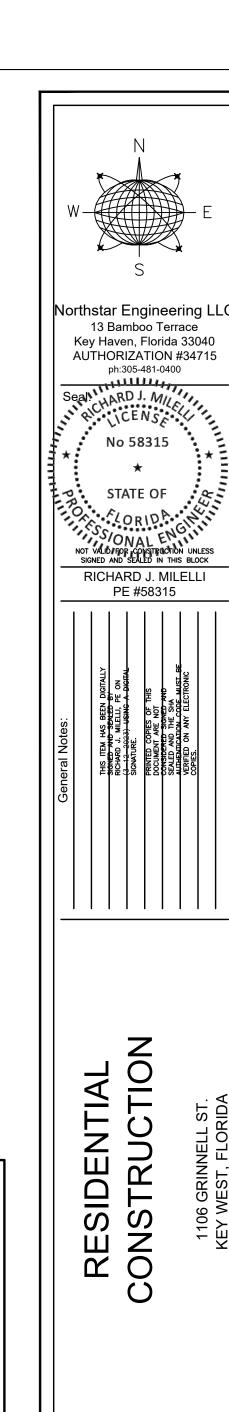
12. VERIFY ALL VOLTAGES WITH ELECTRICAL CONTRACTOR BEFORE ORDERING EQUIPMENT.

13. VIBRATION ISOLATION SHALL BE PROVIDED FOR ALL EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS.

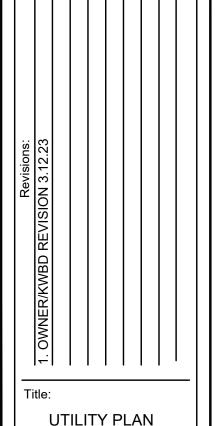
14. ALL OUTSIDE EQUIPMENT SHALL BE SECURED TO WITHSTAND FORCES GENERATED BY 150

MPH WINDS.

15. FLEXIBLE DUCT SHALL BE FACTORY FABRICATED ROUND DUCTWORK COMPOSED OF CORROSION—RESISTANT REINFORCING WITH HELIX PERMANENTLY BONDED AND ENCLOSED IN POLYESTER FILM THEN COVERED WITH 1–1/2 INCH THICK 1/4 PCF (R–6 MINIMUM) DENSITY FIBERGLASS INSULATION BLANKET SHEATHED IN A VAPOR BARRIER OF ALUMINUM METALIZED POLYESTER FILM LAMINATED TO GLASS MESH, ELASTOMER BACK COATED. THE DUCT SHALL COMPLY WITH MFPA BULLETIN 90—A AND BE LISTED A CLASS 1 AIR DUCT. UL 181 DUCT SHALL



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**WOOD AND FRAMING NOTES:** 

EXCEPT WHERE NOTED OTHERWISE, ALL FRAMING LUMBER SHALL BE SOUTHERN PINE, MC 19%, NO. 2 DENSE, AS GRADED BY THE SOUTHERN PINE INSPECTION BUREAU.

2. ALL TIMBER CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION AFTC. 3. ALL WOOD SHALL BE PRESSURE TREATED WITH CHEMICALS TO PROTECT FROM INSECTS AND DECAY. ALLOW TO DRY AFTER TREATMENT. PROVIDE CONNECTORS AND FASTENERS COMPATIBLE WITH PRESSURE TREATED WOOD FRAMING. PROVIDE SEPARATION BARRIER SUCH AS BUILDING PAPER FOR NON-COMPATIBLE COMPONENTS SUCH AS ALUMINUM WINDOW FRAMES.

4. ALL WOOD CONNECTIONS SHALL HAVE SIMPSON STRONG—TIE CO. OR EQUAL CONNECTORS. ALL CONNECTORS SHALL BE INSTALLED WITH MANUFACTURER RECOMMENDED FASTENERS BEFORE LOADING. 5. CUTTING AND NOTCHING OF FLOOR JOISTS SHALL CONFORM TO THE FOLLOWING:

A. NOTCH DEPTH IN THE TOP OR BOTTOM OF THE JOISTS AND BEAMS SHALL NOT EXCEED ONE-SIXTH OF HE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED IN THE MIDDLE ONE—THIRD OF THE SPAN. (INCLUDING BIRDS MOUTH CUTS).

B. NOTCH DEPTH AT THE ENDS OF THE MEMBER SHALL NOT EXCEED ONE-FOURTH THE DEPTH OF THE MEMBER. C. THE TENSION SIDE OF BEAMS, JOISTS AND RAFTERS OF FOUR INCHES OR GREATER NOMINAL THICKNESS

SHALL NOT BE NOTCHED, EXCEPT AT ENDS OF MEMBERS. D. HOLES BORED OR CUT INTO JOISTS SHALL NOT BE CLOSER THAN TWO INCHES TO THE TOP OF BOTTOM OF THE JOISTS. THE DIAMETER OF THE HOLE SHALL NOT EXCEED ONE—THIRD THE MEMBER DEPTH. 6. HOLES BORED IN BEARING WALL STUDS SHALL NOT EXCEED ONE—THIRD OF STUD.

7. PROVIDE BLOCKING BETWEEN ALL JOISTS 2 X 6 OR GREATER AT INTERVALS NOT TO EXCEED 8 FEET AND AT

8. PROVIDE SOLID BLOCKING AT MID HEIGHT ON CENTER BETWEEN STUDS. (MINIMUM) 9. ALL WALL STUDS SHALL BE SPF NO. 2 DENSE GRADE OR BETTER.

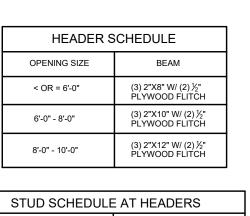
10. SEE PLANS FOR WALL STUD SIZE AND SPACING. 1. ALL STUD BEARING WALLS SHALL BE PROVIDED WITH 2 CONTINUOUS TOP PLATES AND CONTINUOUS BOTTOM PLATES WITH A MINIMUM OF ONE ROW OF HORIZONTAL BRIDGING AT MID-HEIGHT OF WALL UNLESS NOTED OTHERWISE. SPLICES OF TOP PLATE SHALL OCCUR OVER STUD. SPLICES SHALL BE STAGGERED A MINIMUM OF

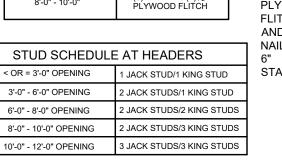
FOUR FEET 12. ALL LINTEL'S OVER ALL FRAMED OPENINGS SHALL BE AS SHOWN BELOW, UNLESS NOTED OTHERWISE. (2) - 2 X 6 FOR INTERIOR OPENINGS UP TO 4'-0", (3) 2 X 6 FOR EXTERIOR OPENINGS UP TO 4'-0" (2) - 2 X 8 FOR INTERIOR OPENINGS UP TO 6'-0", (3) 2 X 8 FOR EXTERIOR OPENINGS UP TO 6'-0" (2) - 2 X 10 FOR INTERIOR OPENINGS UP TO 8'-0", (3) 2 X 10 FOR EXTERIOR OPENINGS UP TO 8'-0" (2) - 2 X 12 FOR INTERIOR OPENINGS UP TO 10'-0", (3) 2 X 12 FOR EXTERIOR OPENINGS UP TO 10'-0" 3. EXTERIOR WALL STUDS SHALL BE STRAPPED TO ROOF TRUSSES OR RAFTERS WITH SIMPSON CONNECTORS OR

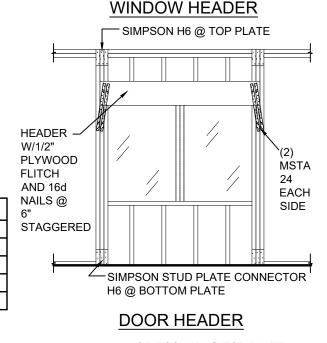
EQUAL. PROVIDE 3 STUDS (MIN.) FOR GIRDER TRUSS AND BEAM BEARING POINTS. 14. WHERE WOOD JOISTS/BEAMS ETC. FRAME INTO OTHER MEMBERS INSTALL SIMPSON "LUS" SERIES GALVANIZED

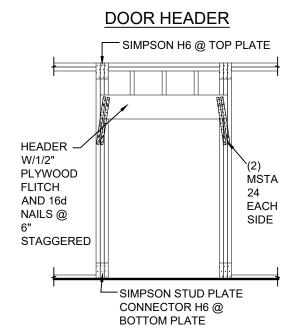
15. PLYWOOD DECKING SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS OF THE AMERICAN PLYWOOD ASSOCIATION (APA). PLYWOOD SHEATHING SHALL BE APA STRUCTURAL I, IDENTIFIED WITH APA GRADE-TRADEMARK AND SHALL MEET THE REQUIREMENTS OF US PRODUCT STANDARD PSI OR APA PRP-108. ALL PLYWOOD WITH AN EDGE EXPOSED TO THE EXTERIOR SHALL BE EXTERIOR GRADE. FLOOR DECKING SHALL BE  $rac{3}{4}$ " MINIMUM AND GLUED AND FASTENED TO FLOOR FRAMING. ROOF DECKING SHALL BE 58" MINIMUM AND NAILED WITH 8D NAILS @ 6" IN THE FIELD AND 4" ALONG THE EDGES.

16. FINISH CARPENTRY SHALL INCLUDE TRIM, FRAMES, PANELING AND CABINETRY. PROFILES AND PLASTIC LAMINATE ARE TO BE AS SELECTED BY THE OWNER OR NOTED ON THE DRAWINGS. CABINETS SHALL BE CUSTOM OR PREMIUM GRADES AS NOTED OR DETERMINED BY THE OWNER. PARTICLE OR PRESS BOARD SHALL NOT BE USED. SELECT GRADE SOUTHERN YELLOW PINE SHALL BE USED AS A QUALITY STANDARD FOR TRIM, FRAMES AND BASE UNLESS OTHERWISE NOTED. ALL WORK SHALL BE PERFORMED BY SKILLED FINISH CARPENTERS. 17. WOOD SHELVING SHALL BE 3" PLYWOOD WITH EDGE BANDING AND PAINTED.











# **DOOR & WINDOW NOTES**

ALL DOORS AND WINDOWS SHALL BE RATED TO WITHSTAND PRESSURES ASSOCIATED WITH 180 MPH WINDS IN ACCORDANCE WITH ASCE 7-16. DOORS AND WINDOWS SHALL BE MANUFACTURED UNITS DESIGNED AND INSTALLED TO ALLOW A MAXIMUM OF 0.5 CFM INFILTRATION PER LINEAL FOOT OF OPERABLE SASH CRACK AND A MAXIMUM 0.5 CFM PER SF OF EXTERIOR DOOR AREA. UNITS SHALL BE GASKETED. WEATHER-STRIPPED OR OTHERWISE SEALED. 2. PROVIDE ONE EGRESS SIZED WINDOW IN EACH BEDROOM UNLESS THERE IS A SECOND EXIT SUCH AS A SLIDING GLASS OR SIDE HINGED DOOR TO THE EXTERIOR. EGRESS WINDOWS SHALL

HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE FLOOR LEVEL AND MUST HAVE A MINIMUM NET CLEAR OPENING OF 20" WIDTH AND A NET CLEAR OPENING AREA OF NO LESS THAN 5.7 SF. 3. ALL EXTERIOR DOORS SHALL BE SOLID CORE, 1—¾" THICK, WEATHER—PROOF TYPE. ALL INTERIOR DOORS SHALL BE 1-3" THICK. UNITS SHALL BE GLAZED OR RAISED PANEL BOTH SIDES. UNITS SHALL HAVE PATTERNS OR DIVIDED LITES UNLESS OTHERWISE NOTED. UNITS SHALL BE OF THE SIZE AND TYPE INDICATED ON THE DRAWINGS WITH SURFACES PREPARED TO ACCEPT PAINT OR OTHER FINISH AS SPECIFIED. DOORS SHALL MEET NWMA STANDARD TOLERANCES FOR EACH

4. FURNISH AND INSTALL COMPLETE HARDWARE SETS; SCHLAGE, YALE OR EQUAL. ANSI GRADE 2 OR BETTER FOR HEAVY RESIDENTIAL/MEDIUM COMMERCIAL USE. FINISH AND STYLE TO BE SELECTED BY THE OWNER. ALL EXTERIOR HARDWARE TO BE SALT RESISTANT.

5. ALL SLIDING GLASS DOORS AND SHOWER ENCLOSURES SHALL HAVE TEMPERED GLASS. 5. WOOD OPERATING AND FIXED WINDOWS SHALL BE EQUIPPED WITH SALT RESISTANT HARDWARE AND REMOVABLE SCREENS. ALL UNITS SHALL BE DOUBLE—GLAZED (UNLESS OTHERWISE NOTED ON THE DRAWINGS) WITH TRUE DIVIDED LITES OR PATTERN INDICATED ON THE DRAWINGS. 7. WINDOW UNITS SHALL DISPLAY LABELS INDICATING COMPLIANCE WITH THE STATE OF FLORIDA MODEL ENERGY CODE, SECTION 502.4. FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION. 8. PROVIDE CLEAR GLAZING, GASKETED OR OTHERWISE SEALED. PROVIDE SAFETY GLASS AS

REQUIRED AND/OR SHOWN ON THE DRAWINGS. 9. FASTEN DOOR AND WINDOW FRAMES IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND/OR PRODUCT APPROVAL DETAILS. PROVIDE SEPARATION BARRIER WITH DOOR AND WINDOW FRAMES THAT ARE INSTALLED AGAINST NON-COMPATIBLE PRESSURE-TREATED WOOD

# THERMAL & MOISTURE PROTECTION

PROVIDE INSULATION AS SHOWN ON THE DRAWINGS AND AS FOLLOWS:

FACED MINERAL FIBER BLANKET/BATT INSULATION: PROVIDE THERMAL INSULATION PRODUCED BY COMBINING MINERAL FIBERS OF TYPE DESCRIBED BELOW WITH THERMOSETTING RESINS TO COMPLY WITH ASTM C-665 FOR TYPE III, CLASS A (BLANKETS WITH REFLECTIVE VAPOR-RETARDER MEMBRANE FACING WITH FLAME SPREAD OF 25 OR LESS), FOIL-SCRIM-KRAFT ON

FOIL-SCRIM-POLYETHYLENE VAPOR-RETARDER MEMBRANE ON ONE FACE, AS FOLLOWS: MINERAL FIBER TYPE: FIBERS MANUFACTURED FROM GLASS.

SURFACE BURNING CHARACTERISTICS: MAXIMUM FLAME SPREAD VALUE OF 25 AND MAXIMUM SMOKE DEVELOPED VALUE OF 50.

3. FLANGED UNITS: PROVIDE BLANKETS/BATTS FABRICATED WITH FACING THAT INCORPORATES 4" WIDE FLANGES ALONG THE EDGES TO ATTACH TO FRAMING MEMBERS. GLASS-FIBER-REINFORCED POLYISOCYANURATE CLOSED-CELL FOAM CORE AND ALUMINUM FOIL FACING LAMINATED TO BOTH SIDES AND COMPLYING WITH FS HH-1-1972 /1, CLASS 2, AGED, R

VALUES OF 8 AND 7.2 AT 40 AND 75 DEGREES FAHRENHEIT, RESPECTIVELY AND FOLLOWS:

. SURFACE BURNING CHARACTERISTICS: MAXIMUM FLAME SPREAD VALUE OF25 AND MAXIMUM SMOKE DEVELOPED VALUE OF 50. . THICKNESS 1" FOR SPECIFICATION CRITERIA (SEE DRAWINGS FOR REQUIRED THICKNESS OR R VALUE AT EACH LOCATION.) COMPLY WITH MANUFACTURER RECOMMENDATIONS FOR INSTALLATION. SEAL ALL JOINTS AS REQUIRED.

INSULATION SHALL BE R-30 MINIMUM IN ATTIC SPACES. FLASHING SHALL BE GALVANIZED AND INCLUDE BASE FLASHING, STOPS, BUILT-IN VALLEYS, GUTTERS, SCUPPERS, AND MISCELLANEOUS METAL ACCESSORIES. USE ZINC—COATED, COMMERCIAL QUALITY ASTM A-526 G90 HOT-DIPPED GALVANIZED, 24 GAGE STEEL UNLESS OTHERWISE NOTED. SHAPES SHALL MATCH EXISTING PROFILES OF FLASHING AND STOPS. SHOP-FABRICATE TO THE MAXIMUM EXTENT POSSIBLE. COMPLY WITH DETAILS SHOWN AND APPLICABLE REQUIREMENTS OF SMACNA "ARCHITECTURAL SHEET METAL MANUAL" AND MANUFACTURER RECOMMENDATIONS.

. PROVIDE SEALANTS AS FOLLOWS: SILICONIZED ACRYLIC CAULK - 25 YR, PAINTABLE, NON-STAINING, MILDEW RESISTANT. FOR INTERIOR AND EXTERIOR USE, FOR WOOD AND MASONRY, AS A FILLER FOR CRACKS, VOIDS AND HOLES IN PREPARATION FOR PAINT OR OTHER

B. POLYSEAMSEAL ALL-PURPOSE ADHESIVE CAULK, PAINTABLE, NON-STAINING, MILDEW RESISTANT. FOR INTERIOR AND EXTERIOR USE AS A FILLER AND JOINT SEAL AT TILE, TUB AND

COUNTERS. C. SILICONE RUBBER SEALANT — FS TT-S-001543, CLASS A, ONE-PART NON-SAG LOW MODULES SILICONE RUBBER SEALANT. FOR INTERIOR AND EXTERIOR USE IN WORKING JOINTS WHERE SOME MOVEMENT IS ANTICIPATED, FOR WOOD, MASONRY, METAL AND GLASS. PROVIDE BACKER ROD DEPTH CONTROL IN ALL JOINTS GREATER THAN  $\frac{1}{4}$ ".

PROVIDE GYPSUM DRYWALL ON ALL WALLS UNLESS OTHERWISE NOTED AND AS FOLLOWS: A. STEEL FURRING CHANNELS, ASTM C-645, WITH FLANGE EDGES BENT BACK 90 DEGREES AND DOUBLED OVER TO FORM  $\frac{3}{16}$ " MINIMUM LIP. MINIMUM THICKNESS OF BASE (UNCOATED) METAL, GALVANIZED FINISH-TYPICAL AND MINIMUM DEPTH AS FOLLOWS; THICKNESS IS 0.0329 INCH, DEPTH

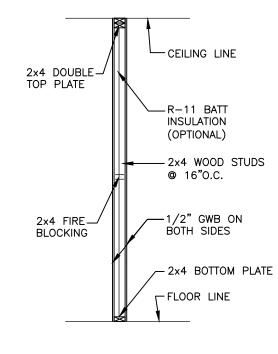
B. GYPSUM BOARD, THICKNESS (UNLESS OTHERWISE INDICATED), ASTM C-840 AND ASTM :-36. USE TYPE X FOR FIRE RESISTANCE-RATED ASSEMBLIES. PROVIDE TAPERED EDGES. USE WATER-RESISTANT GYPSUM BOARD, ASTM C-630 WHERE INDICATED FOR ALL AREAS SUBJECT TO MOISTURE, PROVIDE GALVANIZED METAL TRIM ACCESSORIES COMPLYING WITH ASTM C-1047. PROVIDE TAPE AND THREE COATS SPACKLE, SCREW GYPSUM BOARD TO METAL FRAMING. C. AT FIRE RATED WALL ASSEMBLIES, TYPE X SHALL BE INSTALLED CONTINUOUS PAST ANY INTERSECTING PARTITIONS. SHEET INSTALLATION LAYERING, PENETRATIONS, AND TREATMENT OF RECESSED ELECTRICAL BOXES, ETC. SHALL BE IN ACCORDANCE WITH ASSEMBLY GUIDELINES. 2. CERAMIC TILE SHALL BE FURNISHED AND INSTALLED WHERE INDICATED. TILE GROUTING PRODUCTS SHALL BE AS MANUFACTURED BY AMERICAN OLEAN, DAL—TILE CORPORATION OR APPROVED EQUAL. FLOOR TILE SHALL BE 12X12 UNGLAZED FLOOR TILE,  $\frac{5}{16}$ ", CUSHION EDGE AND NON-SLIP SURFACE. WALL TILE SHALL BE 4X4, \(\frac{5}{16}\), CUSHION EDGE. PROVIDE ALL TRIM AND ACCESSORIES NECESSARY TO PROVIDE A COMPLETE INSTALLATION INCLUDING BULLNOSE, COVE, BASE, BEADS, ETC. USE BONSAL MULTIPURPOSE PREMIUM THIN-SET GROUT W/ LATEX ADDITIVE B-730 OR EQUAL (ANSI A118.4). USE MOISTURE RESISTANT,  $\frac{7}{16}$ " THICK CONCRETE BACKER BOARD UNDER ALL TILE.

3. EXISTING WOOD FLOOR RESTORATION: REMOVE ALL EXISTING CARPET, LINOLEUM AND OTHER EXISTING FLOORING MATERIALS INCLUDING GLUE, ADHESIVES, ETC. REPLACE ALL ROTTED OR TERMITE DAMAGED BOARDS. (NOTIFY ENGINEER OF RECORD PRIOR TO CONTINUING IF ROTTED OR DAMAGED WOOD IS ENCOUNTERED.) SAND EXISTING FLOORING SMOOTH WITH SANDING MACHINE USING A MINIMUM OF COARSE MEDIUM AND FINE SANDING LAYERS. FILL ALL HOLES AND GAPS WITH ZAR LATEX PATCHING COMPOUND, COLOR TINT TO MATCH EXISTING. HOLES OR VOIDS OVER 1" IN DEPTH SHALL BE FILLED IN SUCCESSIVE LAYERS OF  $\frac{1}{4}$ " EACH, ALLOW DRYING BETWEEN APPLICATIONS. SAND SMOOTH AND STAIN FILL MATERIAL AS REQUIRED TO MATCH EXISTING. APPLY 2) COATS OF ZAR QUICK DRY GLOSS PRIMER/SEALER POLYURETHANE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. (LIGHTLY SAND BETWEEN COATS) APPLY (2) FINISH COATS OF ZAR GLOSS POLYURETHANE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. (SAND LIGHTLY BETWEEN COATS)

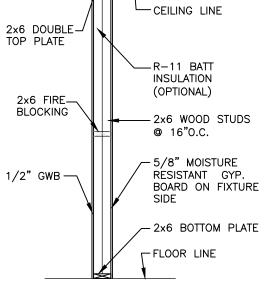
4. CARPETING AND PADDING SHALL BE SELECTED BY OWNER AND INSTALLED BY CONTRACTOR. PROVIDE \$25 PER SQUARE YARD ALLOWANCE FOR PURCHASE DELIVERY AND INSTALLATION OF NEW CARPETING AND PADDING.

5. PROVIDE PAINTING FOR ALL EXPOSED INTERIOR AND EXTERIOR SURFACES UNLESS NOTED OTHERWISE OR INDICATED TO REMAIN NATURAL. ALL SURFACES TO BE PAINTED OR OTHERWISE FINISHED SHALL BE PROPERLY PREPARED AND PRIMED PRIOR TO PAINTING OR OTHERWISE FINISHING. IF A SURFACE IS NOT SPECIFICALLY INDICATED TO BE PAINTED, MATCH ADJACENT SURFACES. PAINTING IS NOT REQUIRED ON PREFINISHED ITEMS, FINISHED METAL SURFACES, CONCEALED SURFACES, OPERATING PARTS AND LABELS. (DO NOT PAINT OVER UL, FACTORY MUTUAL, OR OTHER CODE-REQUIRED LABELS OR EQUIPMENT NAME, IDENTIFICATION, PERFORMANCE B. POLYISOCYANURATE BOARD INSULATION: PROVIDE RIGID, CELLULAR THERMALINSULATION WITH | DATA OR NOMENCLATURE PLATES.) PROVIDE SAMPLES OF EACH COLOR, TEXTURE AND FINISH TO BE APPLIED. RESUBMIT UNTIL ALL COLORS, TEXTURES AND FINISHES ARE APPROVED BY OWNER. 6. REMOVE AND REPLACE ALL ROTTED OR DAMAGED WOOD AND REPLACE WITH SIMILAR WOOD TO MATCH EXISTING SURFACES. USE PRESSURE TREATED WOOD. SPLICE NEW BOARDS INCONSPICUOUSLY AND STAGGER JOINTS AS REQUIRED. SCRAPE LOOSE PAINT OFF EXISTING WOOD SURFACES, SAND SMOOTH AND APPLY PRIMER. CAULK ALL SEAMS, JOINTS AND HOLES PRIOR TO APPLYING FINISH COAT.

7. WALL COVERINGS INDICATED SHALL BE FURNISHED BY OWNER. CONTRACTOR TO PROVIDE WALL SURFACES THAT HAVE BEEN TAPED, FLOATED AND SANDED TO PROPERLY RECEIVE WALL COVERINGS.



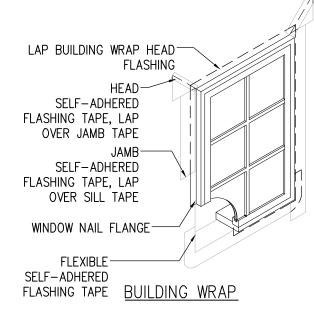
2×4 WALL



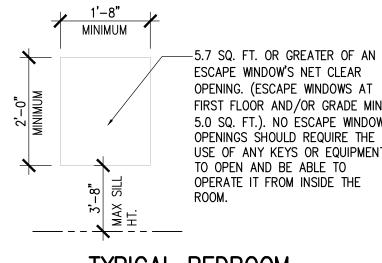
INTERIOR WALL DETAIL

SCALE: NOT TO SCALE



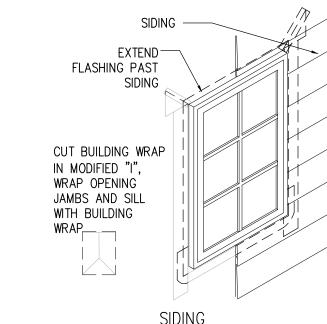


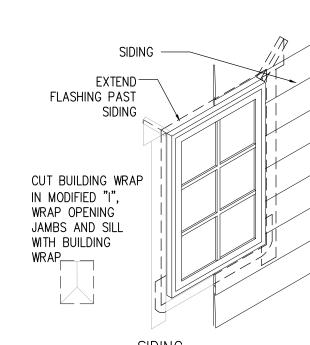
WINDOW BLDG WRAP/FLASHING DETAILS



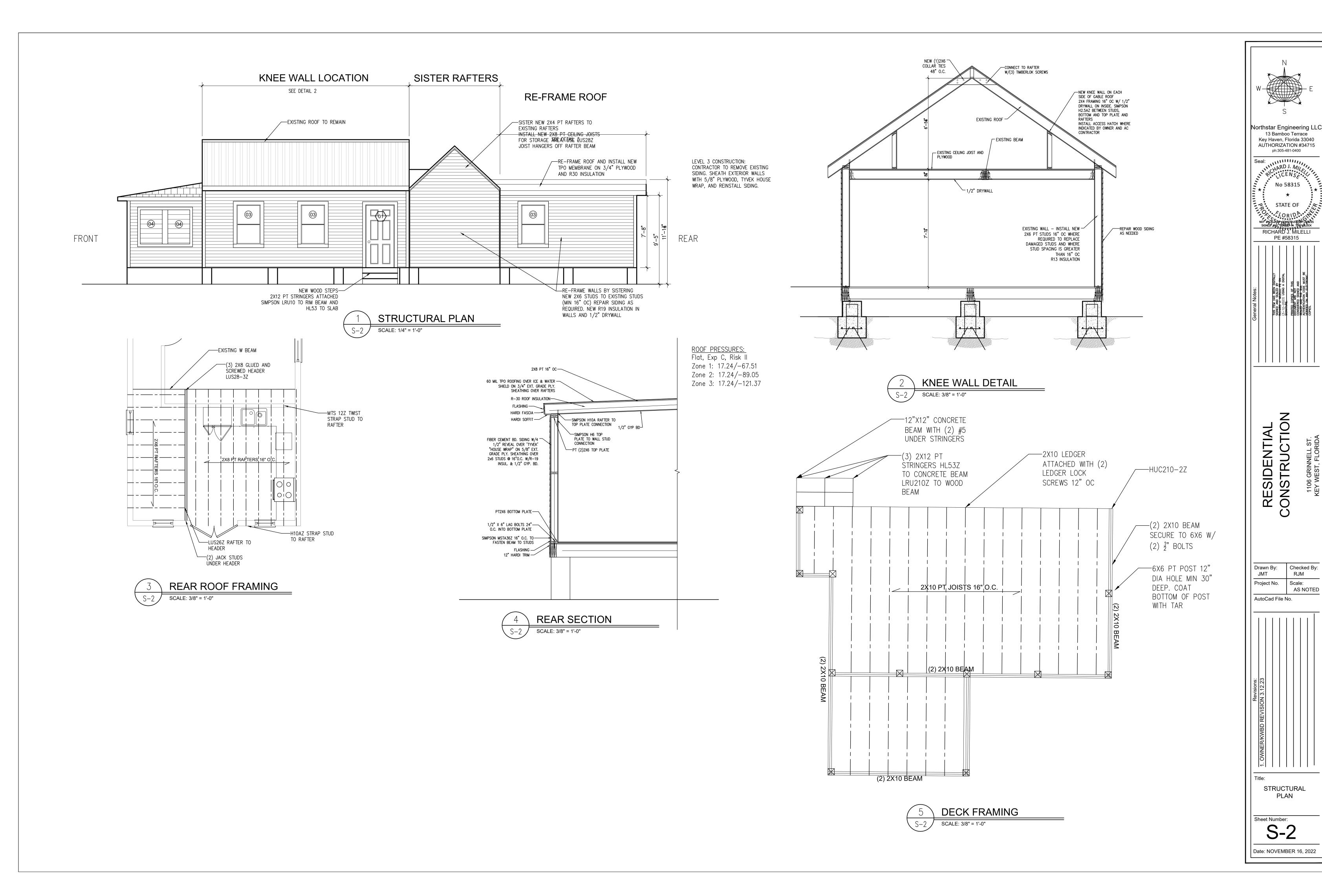
ESCAPE WINDOW'S NET CLEAR OPENING. (ESCAPE WINDOWS AT FIRST FLOOR AND/OR GRADE MIN. 5.0 SQ. FT.). NO ESCAPE WINDOW OPENINGS SHOULD REQUIRE THE USE OF ANY KEYS OR EQUIPMENT TO OPEN AND BE ABLE TO OPERATE IT FROM INSIDE THE

# TYPICAL BEDROOM









# HARC POSTING AFFIDAVIT

STATE OF FLORIDA: COUNTY OF MONROE:
BEFORE ME, the undersigned authority, personally appeared GARY BURGH Fie
depose and says that the following statements are true and correct to the best of his/her knowledge and belief:
1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address:
16 day of <u>MAY</u> , 20 <u>23</u> .
This legal notice(s) contained an area of at least 8.5"x11".
The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on Tuesday MAY 23 20, 2023.
The legal notice(s) is/are clearly visible from the public street adjacent to the property.
The Certificate of Appropriateness number for this legal notice is $\frac{H + 023 - 0010}{1000}$
2. A photograph of that legal notice posted in the property is attached hereto.  Signed Name of Affiant:
Address: 800 Simonton ST
City: KeywesT State, Zip: FL 33040
The forgoing instrument was acknowledged before me on this $\frac{16}{6}$ day of $\frac{1}{6}$ , $\frac{1}{6}$ .
By (Print name of Affiant) <u>GARY BURCHFIELD</u> who is personally known to me or has produced as dentification and who did take an oath.
Sign Name: Alexandra Nicole Albury Notary Public - State of Florida (seal) My Commission Expires: Alexandra Nicole Albury My Commission Expires: Alexandra Nicole Albu

DANGER

CONSTRUCTION AREA

TRESPASSING

Public Meeting Notice

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# PROPERTY APPRAISER INFORMATION



### Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

# Summary

Parcel ID

00031510-000000

Account# Property ID 1032298 1032298

Millage Group Location Address 10KW 1106 GRINNELL St, KEY WEST

Legal Description

KW G G WATSON SUB I-209 PT LOT 3 SQR 5 TR 13 OR230-193/94 OR2442-1707

OR2759-78 OR2834-1734/35 OR2872-2385/89

(Note: Not to be used on legal documents.)

Neighborhood Property Class

6097 SINGLE FAMILY RESID (0100)

Subdivision Sec/Twp/Rng

05/68/25 No

Affordable Housing



### Owner

FORTIN THOMAS L 1106 Grinnell St Key West FL 33040

### Valuation

	2022 Certified Values	2021 Certified Values	2020 Certified Values	2019 Certified Values
+ Market Improvement Value	\$94,576	\$80,004	\$78,908	\$49,025
+ Market Misc Value	\$2,568	\$11,916	<b>\$11</b> ,916	\$11,916
+ Market Land Value	\$432,934	\$354,001	\$354,001	\$346,826
= Just Market Value	\$530,078	\$445,921	\$444,825	\$407,767
■ Total Assessed Value  ■ Total Assessed Value	\$428,124	\$422,985	\$417,145	\$407,767
- School Exempt Value	(\$25,000)	(\$25,000)	(\$25,000)	(\$25,000)
= School Taxable Value	\$403,124	\$397,985	\$392,145	\$382,767

### **Historical Assessments**

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2021	\$354,001	\$80,004	\$11.916	\$445,921	\$422,985	\$25,000	\$397,985	\$22,936
2020	\$354,001	\$78,908	\$11.916	\$444,825	\$417,145	\$25,000	\$392,145	\$27,680
2019	\$346.826	\$49,025	\$11,916	\$407,767	\$407,767	\$25,000	\$382,767	\$0
2018	\$352,717	\$49,829	\$11,916	\$414,462	\$414,462	\$0	\$414,462	\$O

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

### Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RESIDENTIAL DRY (010D)	2,345.00	Square Foot	0	0

### **Buildings**

 Building ID
 2463

 Style
 1 STORY ELEV FOUNDATION

 Building Type
 S.F.R. - R1/R1

Depreciation % 30 Interior Walls WALL BD/WD WAL Exterior Walls WD FRAME Year Built 1933 EffectiveYearBuilt 2001

Foundation WD CONC PADS
Roof Type GABLE/HIP
Roof Coverage METAL
Flooring Type SFT/HD WD
Heating Type NONE with 0% NONE

 Bedrooms
 2

 Full Bathrooms
 2

 Half Bathrooms
 0

 Grade
 450

 Number of Fire Pl
 0

Code	Description	Sketch Area	Finished Area	Perimeter
CPF	COVERED PARKING FIN	126	0	0
FLA	FLOOR LIV AREA	916	916	0
OPU	OP PR UNFIN LL	44	0	0
TOTAL		1,086	916	0

### Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page
	\$451,000	Warranty Deed	2138248	2872	2385
9/24/2017	\$100	Ouit Claim Deed	2106633	2834	1734
1/11/2017	\$200,000	Warranty Deed		2442	1707

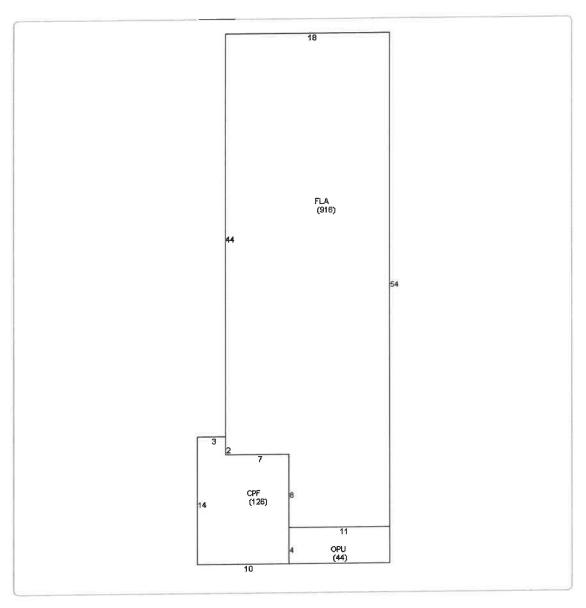
### **Permits**

Number +	Date Issued ♦	Date Completed <b>♦</b>	Amount <b>♦</b>	Permit Type 🕏	
21-2776	11/30/2021		\$500	Residential	
20-3725	3/2/2021	1/26/2021	\$500	Residential	
20-3726	3/2/2021		\$2,500	Residential	
20-3727	3/2/2021		\$18,000	Residential	
09-4115	12/1/2009	7/7/2010	\$5,000	Residential	
9902085	6/21/1999	11/5/1999	\$1,100	Residential	

### View Tax Info

View Taxes for this Parcel

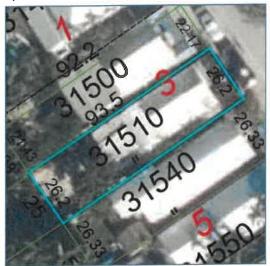
Sketches (click to enlarge)



# **Photos**



# Мар



### **TRIM Notice**

2022 TRIM Notice (PDF)

2022 Notices Only

# No data available for the following modules: Yard Items.

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Schneider GEOSPATIAL

Developed by

Last Data Upload: 3/27/2023, 4:06:41 AM

Version 2.3.254