

Application

DEVELOPMENT PLAN AND CONDITIONAL USE APPLICATION

City of Key West Planning Department
1300 White Street, Key West, FL 33040
(305) 809-3720



RECEIVED
MAR 15 2019
BY: NLH

Development Plan & Conditional Use Application

Applications will not be accepted unless complete

Development Plan

Major
Minor

Conditional Use

Historic District

Yes
No

Please print or type:

- 1) Site Address 5220, 5224, 5228 & 5230 College Rd.
- 2) Name of Applicant William P Horn, PA
- 3) Applicant is: Owner Authorized Representative
(attached Authorization and Verification Forms must be completed)
- 4) Address of Applicant 915 Eaton Street, Key West, FL 33040
- 5) Applicant's Phone # 305-296-8302 Email william@wphornarchitect.com
- 6) Email Address: owen@owntrepanier.com
- 7) Name of Owner, if different than above City of Key West
- 8) Address of Owner PO Box 1409 Key West, FL 33045
- 9) Owner Phone # 305-809-3888 Email jscholl@cityofkeywest-fl.gov
- 10) Zoning District of Parcel CM RE# 00072080-002200
00072082-002100
- 11) Is Subject Property located within the Historic District? Yes No
If Yes: Date of approval _____ HARC approval # _____
OR: Date of meeting _____
- 12) Description of Proposed Development and Use. Please be specific, list existing and proposed buildings and uses, number of dwelling units, parking, restaurant seats, vehicles proposed, etc. If there is more than one use, describe in detail the nature of each use (Give concise description here and use a separate sheet if necessary).

Multifamily Residential - 104 Affordable Units

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13) Has subject Property received any variance(s)? Yes No

If Yes: Date of approval _____ Resolution # _____

Attach resolution(s).

14) Are there any easements, deed restrictions or other encumbrances on the subject property?

Yes No

If Yes, describe and attach relevant documents.

There appears to be an FKAA easement associated with the parcel

-
- A. For both *Conditional Uses* and *Development Plans*, provide the information requested from the attached **Conditional Use and Development Plan** sheet.
 - B. For *Conditional Uses* only, also include the **Conditional Use Criteria** required under Chapter 122, Article III, Sections 122-61 and 122-62 of the Land Development Regulations (see attached copy of criteria).
 - C. For *Major Development Plans* only, also provide the **Development Plan Submission Materials** required under Chapter 108, Article II, Division 7, Sections 108-226 through 108-248 of the Land Development Regulations (see attached copy of criteria) and any additional information as determined by the Planning Staff.
 - D. For both *Conditional Uses* and *Development Plans*, one set of plans MUST be signed & sealed by an Engineer or Architect.

Please note, development plan and conditional use approvals are quasi-judicial hearings and it is improper to speak to a Planning Board member or City Commissioner about the project outside of the hearing.

Major Development Plan

5220, 5224, 5228, & 5230 College Rd

(RE# 00072080-002200, 00072082-002100,
00072082-002200, 00072080-002400)



Summary:

The City of Key West proposes to redevelop the combined parcels totaling 2.66 acres into a 104-unit affordable housing project possibly utilizing the City's pending "Workforce Affordable Housing Initiative". The initiative has its roots in the State's effort to provide enhanced workforce housing in the Keys as a result of the tremendous impacts on affordable housing resulting from Hurricane Irma in September 2017.

Background:

The properties are currently developed in an ad-hoc manner, previously housing various community organizations. The City of Key West, as the property owner, worked with the previous lessees for the logical and reasonable relocation from the properties to minimize inconveniences to the patrons the organizations, as well as the organizations themselves.



This project will be the first of its kind to be developed in the City since the recently approved Article XII of the Land Development Regulations, entitled "Workforce Affordable Housing Initiative". This article will implement Comprehensive Plan Objective 1-1.17, authorizing the City to accept 300 "Affordable-Early Evacuation Pool" BPAS units. The text amendments to the LDRs and Comprehensive Plan are a result of the State's Workforce Housing Initiative approved by the State of Florida Administration Commission in 2018. Additionally, the property was rezoned to the new High-Density Residential College Road (HDR-1) zoning category in 2017.

The workforce housing shortage in Key West was greatly exacerbated by Hurricane Irma, and in the months and years since, businesses and the community in general have continued to struggle.

This site will be designed with access to multi-modal transportation such as bus and bicycle routes as well as the Overseas Heritage Trail. As such, the project will conform to

Comprehensive Plan Policies 1-1.3.2, 1-1.9.2, 1-1.12.3, 2-1.1.3, 2-1.4.2; 2-1.4.4, and 7-1.3.3.

The project places an emphasis on the ability of its residents to utilize alternative transportation such as bicycles and public transportation. Bicycle trails allowing for riders to access the entire City, as well as the Overseas Heritage Trail are easily accessible from the site. Additionally, the site is within walking distance of bus stops/shelters for the main City bus routes and the Lower Keys Shuttle.

Analysis:



The following is an analysis of the proposed project pursuant to major development plan approval criteria.

Existing development is depicted in attached surveys and plans, including:

- Name of Development
- Name of Owner/ Developer
- Scale
- North arrow
- Preparation and revision dates
- Location/ street address
- Size of site
- Buildings
- Structures
- Parking
- FEMA flood zones
- Topography
- Easements
- Utility locations
- Existing vegetation
- Existing storm water
- Adjacent land uses
- Adjacent buildings
- Adjacent driveways

Proposed development is depicted in attached plans prepared by licensed engineers, including:

- Buildings
- Setbacks
- Parking
- Driveway dimensions and material
- Utility locations
- Garbage and recycling
- Signs
- Lighting
- Project Statistics
- Building Elevations
- Height of buildings
- Finished floor elevations
- Height of existing and proposed grades
- Drainage plan
- Landscape Plan

Title block (Sec. 108-227)

Name of development: College Road Workforce Housing
Property Owner: City of Key West
Developer: City of Key West
Scale: Architectural: 1.0" = 20.0'
Preparation and revision dates: As noted on plans
Location: 5220, 5224, 5228 and 5230 College Road

Key persons and entities (Sec. 108-228) involved in this project are as follows:

Owner: City of Key West
Authorized Agent: William P. Horn, Architect, PA
Architect: William P. Horn, Architect, PA
Biologist: Terramar Environmental
Engineer: Alan Perez, Perez Engineering
Landscape Architect: Ladd Roberts
Land Planner: Trepanier & Associates, Inc.
Surveyor: Florida Keys Land Surveying

Project Description (Sec. 108-229):

The project is proposed to be developed in one (1) phase.

Other Project Information (Sec. 108-230):

1. This is a single-phased proposal:
2. The target date for commencement shall immediately follow entitlement approvals.
3. Expected date of completion is within 2 years of commencement.
4. The proposed development plan is contained herewith.
5. Proposed Development Plan: One Phase
6. Project is not a planned unit development.
7. The project will comply with federal flood insurance regulations.
8. This project is located adjacent to an environmentally sensitive area. All necessary environmental permits will be secured.

Residential Developments (Sec. 108-231):

This is an affordable housing development project, to be developed by the City of Key West Housing Authority. Rentals will be mixed among varying affordable housing types (low income), (median income), (middle income) and (moderate income).

Intergovernmental Coordination (Sec. 108-232):

Coordination will occur through the Development Review Process of the City of Key West and the FDEP ERP process.

Schedule of Approval Process:

The following development approval schedule and process is anticipated:

Concurrency Facilities and Other Utilities or Services (Sec. 108-233):

Levels of Service – The impacts of the proposed project are generally summarized as follows:

- Please see the attached trip generation/LOS analysis performed by KBP Consulting for the full analysis.
- The project proposes 125 automobile parking spaces, of which 95 are regular spaces, 22 are compact spaces and eight are ADA-compliant spaces. Because the requirement for on-site parking spaces is 208, a parking space variance is submitted concurrently with this Major Development Plan. Seventy-five bicycle spaces are proposed, where only 21 spaces are required (10% of required vehicle parking spaces, or 208) bike/scooter spaces.
- The potable water flow for the development is estimated to be **19,344 gal/day**.
- The wastewater flow for the new development is anticipated to be **20,800 gal/day**.
- The recyclable waste LOS for the development is anticipated to be **104 lbs/day**.
- The solid waste LOS for the new development is anticipated to be **553.28 lbs/day**.

College Road Housing Project...	start	end
City of Key West Development Approval	03/15/19	09/19/19
DRC Approval	03/15/19	04/25/19
Architectural Design/ No Life Safety	03/15	04/01
Prelim. Site Drainage and Utilities Si...	03/15	04/01
Submission to DRC	03/15	03/15
DRC Meeting	04/25	04/25
Tree Commission Approval	03/15/19	07/09/19
Landscape Design Removal & Initial	03/15	03/19
Submission to Tree Commission (R...	03/20	03/20
Tree Commission Hearing (Removal...	04/09	04/09
Landscape Design Conceptual	03/15	04/23
Submission to Tree Commission (Co...	04/24	04/24
Tree Commission (Conceptual Appr...	05/13	05/13
Landscape Design Final	04/24	06/18
Submission to Tree Commission (Fin...	06/19	06/19
Tree Commission (Final Approval)	07/09	07/09
Planning Board Approval	03/15/19	07/03/19
Planning Board Submittal Package	03/15	04/15
Variance Application Submission	04/15	04/15
Planning Board Meeting	06/20	06/20
Planning Board Appeal Period	06/20	07/03
City Commission Approval	08/06/19	09/19/19
City Commission Hearing	08/06	08/06
City Commission Appeal Period	08/06	09/04
DEO Appeal Period	08/06	09/19
Major Development Approval	09/19	09/19
Design Development	05/20/19	08/05/19
Construction Documents	08/06/19	10/28/19
Permitting and Bid Phase	10/29/19	12/23/19
Construction Administration	12/24/19	12/21/20

- The expected impacts to Storm water LOS is as depicted on the stormwater management plans.
- The impacts to the Recreation LOS is expected to be **acceptable** based on Comp Plan Policy 7-1.1.9, inclusive of all three (3) types of parks identified; urban open spaces, neighborhood, and community.
- The team will coordinate with FKAA to ensure the water pressure and flow will be adequate for fire protection for the type of construction proposed.
- No adverse impacts to the quality of receiving waters are anticipated before, during or after construction.
- Changes to the existing storm water management system is depicted on the attached plans.

Appearance, design, and compatibility (Section 108-234):

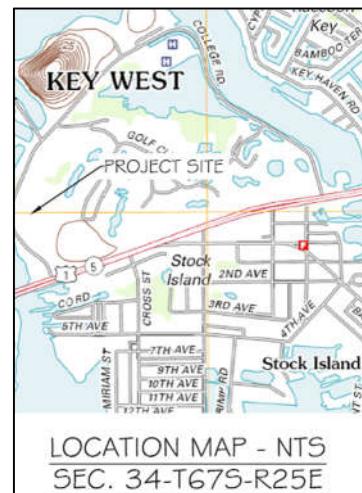
This development plan satisfies criteria established in Chapter 102; Articles III, IV and V of Chapter 108; Section 108-956; and Article II of Chapter 110 of the Key West City Code in the following manner:

- Chapter 102 – This property is located outside the Historic District and does not impact the district.
- Articles III, IV and V of Chapter 108 – As demonstrated by the site plan, trip generation analysis, and the site data calculations, the project complies with the requirements of the Articles.
- Chapter 110 – As demonstrated in this application, the proposed development complies with the resource protection requirements of Chapter 110.

(a) Compliance. This development plan complies with the requirements set forth in the Key West City Code as they pertain to Concurrency Management, Outdoor Displays and Nuisances, Resource Protection, Signs, and Articles I and III to IX of Chapter 108 of the Key West City Code.

(b) Vicinity Map.

(c) Land Use Compatibility. The project site is located in the newly created High Density Residential College Road (HDR-1) zoning district. The purpose of the HDR-1 District is to accommodate high density affordable housing at 40 dwelling units per acre. The area surrounding the site consists of the C-FW, C-UH, PS and



the CM Districts. The subject property is adjacent to land owned by the City of Key West and leased to entities such as the Florida Keys Aqueduct Authority (FKAA) for critical infrastructure.

(d) Historic and archeological resource protection. The site is not affected by the Historic District. Any archeological resources will be protected as required.

(e) Subdivision of Land. No subdivisions are anticipated.

Legal Description:

Please see attached survey



Flood Zone:

According to the 2005 FEMA Flood Insurance Map, the property is located within the AE-9, AE-10 and AE-11 as depicted below.

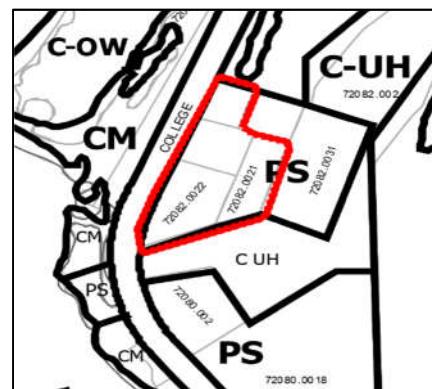


Future Land Use Map Designation ("FLUM"):

The property's FLUM designation is Public Service (PS), as depicted on the below map.

Zoning ("HDR-1")

According to the City of Key West Zoning Map, the property is zoned High Density Residential College Road ("HDR-1").



Appearance of Site and Structures (Sec. 108-236):

Attached site plan complies with Sections 108-278 through 108-288 of the Key West City Code. (See below.)

Site Plan (Sec. 108-237):

Site plan of proposed development drawn consistently with Sec. 108-237 is attached.

Architectural Drawings (Sec. 108-238):

All architecture or engineering designs were prepared and sealed by a professional architect or engineer registered in the state pursuant to F.S. Ch. 471 and 481, respectively, consistent with the provisions of this Section.

Site Amenities (Sec 108-239):

The attached site plan includes existing and proposed amenities which are required to comply with appearance, design and compatibility regulations outlined in chapter 102; articles III, IV and V of this chapter; section 108-956; and article II of chapter 110.

Site Survey (Sec 108-240):

Survey of the site is attached.

Soil Survey (Sec 108-241):

Soil surveys are not anticipated as part of this project.

Environmentally Sensitive Areas (Sec. 108-242):

This project is located adjacent to environmentally sensitive areas. The project will comply with any and all requirements of the Environmental Resource Permit (ERP) process.

Land clearing, excavation and fill, tree protection, landscaping and irrigation plan (Sec. 108-243):

All proposed clearing, excavation and landscaping is depicted on attached plans. A Landscape Waiver request is being submitted concurrently with this Major Development Plan application. The 35% landscape requirement (40,608.56 SF) is requested to be reduced to 22.1% (25,618.8%) due to site constraints.

On-site and off-site parking and vehicular, bicycle, and pedestrian circulation (Sec. 108-244):

On-site vehicular parking:

The project consists of 104 one-bedroom affordable housing units, six (6) of which are fully ADA compliant. According to the LDC, two (2) parking spaces are required for each unit, thus a total of 208 parking spaces are required. A total of 125 parking spaces are proposed, of which 95 are regular parking spaces, 22 are compact parking spaces and eight (8) are ADA-compliant parking spaces. A parking variance application is concurrently submitted with this Major Development Plan application to petition the City to reduce the

amount of parking spaces required based upon the fact that the project is perfectly position to take advantage of pedestrian, bicycle and public transit options for traveling to and from work, leisure activities and daily routines. Moreover, 75 bicycle spaces are proposed in an effort to meet the objectives of being a multi-modal transportation focused project. This is discussed further in the "Bicycle and Pedestrian Circulation" section below.

Offsite Parking:

There is no proposal for offsite parking related to this project.

Vehicular Circulation:

The onsite parking lot will be developed to comply with the parking requirements of the City and includes proper striping and wheel stops as well as the creation of adequate turn-around for general vehicular movement and emergency vehicles.

Bicycle and Pedestrian Circulation:

This site is being developed as a multi-modal workforce housing project consistent with the multi-modal transportation and dense urban development pattern goals of the Comprehensive Plan Policy 1-1.3.2, Policy 1-1.9.2, Policy 1-1.12.3, Policy 2-1.1.3, Policy 2-1.4.2; Policy 2-1.4.4, and Policy 7-1.3.3.

The project places a high emphasis and importance on bicycle and pedestrian movement to the greater City including the N. Roosevelt promenade, bike paths, and the Overseas Heritage Trail which provides access to the entire lower Keys region. Additionally, the site is located within close proximity to bus stops allowing access to City and Lower Keys Shuttle routes.

City of Key West LDRs call for the required bicycle parking spaces to be provided at ten percent (10%) of required parking spaces. The total number of vehicular parking spaces required is 208, thus 21 bicycle spaces are required. However, the project calls for providing 75 bicycle spaces, an excess of 54 spaces. The project development team feels that increasing the availability of bicycle parking access and reasonably reducing the number of vehicular parking, combined with the proximity of bus stops and prevalence of bussing options for residents will help fulfill the objectives of a multi-modal affordable workforce housing project.

Housing (Sec 108-245):

As previously stated, this project will be the first affordable housing project under the City's new "Workforce Affordable Housing Initiative". The initiative has its roots in the State's effort to provide enhanced workforce housing in the Keys as a result of the tremendous impacts on affordable housing resulting from Hurricane Irma in September

2017. The project will be allotted 104 BPAS units out of the 300 units the City is receiving from the State.

Economic Resources (Sec 108-246):

(a) Ad Valorem Estimates

a. Existing:

- 1) Taxable Value: \$ 0.00
- 2) Millage Rate: 9.0102
- 3) Ad Valorem Taxes: \$ 0.00

b. Redevelopment

- 1) Taxable Value: \$ 0.00
- 2) Millage Rate: 10.5345
- 3) Ad Valorem Taxes: \$ 0.00

(b) Construction expenditure: \$50,930,669.02

Special Considerations (Sec 108-247):

The proposal complies with the goals, objectives and policies of the comprehensive plan as demonstrated by:

- The creation of more affordable housing opportunities [Objective 1-1.3; Policy 1-1.4; Policy 1-1.16.1; Policy 1-1.16.2; Goal 3-1; Policy 3-1.1.]
- The project promoted multi-model transportation and dense urban development patterns [Policy 1-1.3.2, Policy 1-1.9.2, Policy 1-1.12.3, Policy 2-1.1.3, Policy 2-1.4.2; Policy 2-1.4.4; Policy 7-1.3.3]
- As demonstrated by the concurrency analysis there are no conflicts with the existing public facilities, such as potable water, sanitary sewer treatment or transportation.

Construction Management Plan and Inspection Schedule (Sec 108-248):

The proposed development is a single-phase project. Construction is proposed to progress steadily based on Key West LDRs, and Florida Building Code. Construction is expected to commence as soon as possible.

Truman Waterfront Port Facilities (Sec 108-249):

This project is not located at the Truman Waterfront Port

SITE PLAN

Scope (Sec 108-276):

This site plan conforms to all necessary and applicable sections of land development regulations.

Site Location and Character of Use (Sec. 108-277):

As depicted, the site has sufficient size, adequate specifications, and infrastructure to accommodate the proposed uses in the manner proposed. As described in detail above, this site is designed as a multi-modal development, placing equal importance on the bicycle and pedestrian as on the automobile. This development furthers the goals of the City's plans as detailed in this report.

Appearance of Site and Structures (Sec. 108-278):

This application's development plan exhibits harmonious overall design characteristics in compliance with the performance standards stipulated in sections 108-278 through 108-288.

Location and screening of mechanical equipment, utility hardware and waste storage areas (Section 108-279):

All mechanical equipment and utility hardware will be appropriately screened. All waste storage areas will be screened from adjacent properties.

Front-end loaded refuse container requirements (Sec. 108-280):

The refuse container will be located in such a manner to facilitate convenient access.

Roll-off Compactor Container location requirements (Sec. 108-281):

A roll-off container is not proposed as part of the operation of the development.

Utility lines (Section 108-282):

The proposed project will require installation of new utility services. Installation will be coordinated with appropriate utility agency and in accordance with Section 108-282.

Commercial and manufacturing activities conducted in enclosed buildings (Section 108-283):

No new commercial activities are proposed for this development.

Exterior Lighting (Section 108-284):

All proposed lighting shall be shielded and lighting sources shall be arranged to eliminate glare from roadways and streets and shall direct light away from properties lying outside the district. Shielding of lighting elements shall be accomplished by using directional fixtures or opaque shades.

Signs (Section 108-285):

All new signage proposed will adhere to Section 108-285.

Pedestrian sidewalks (Section 108-286):

The project, as proposed, complies with this section of the LDC. Refer to plans for precise placement of sidewalks and concrete paths that align with existing sidewalks on adjacent sites.

Loading docks (Section 108-287):

No loading docks are required or proposed.

Storage Areas (Section 108-288):

Storage areas if developed for use of tenants in each unit and will be located at the rear of the principle structure per code section 108-288.

Land Clearing, Excavation, and Fill (Sec 108-289):

Land clearing is for demolition of existing structures as well as some canopy and understory trees. Any protected trees and/or landscaping and subsequent landscape infill will be reviewed and approved by the City's Urban Forester and the Tree Commission.

Open Space, Screening, Buffers and Landscaping (Article V and VI) of Chapter 108:

Landscaping will be enhanced as depicted on the plans. However, due to site constraints, a Landscape Waiver is concurrently submitted with this Major Development Plan application.

Sec. 108-517. - Waivers or modifications.

An application for waiver or modification to the standards of this ordinance is hereby filed with the city planning office.

Waiver/ Modification request:

1. Sec. 108-346(b). Residential open space – Modify the minimum requirement from 35% to 27%.

The purpose of this request is to allow the development of this parcel to nearly its full capacity for affordable housing.

2. Sec. 108-413(b). Requirements along street frontage - Modify the minimum width of required landscaping from 30ft to 10ft; and the minimum number of plant units required per 100 linear feet of property line or right-of-way from 120 plant units per 100 linear feet to 40 plant units per 100 linear feet.

The purpose of this request is to allow the development of this parcel to nearly its full capacity for affordable housing.

3. Sec. 108-414(b). Size and composition of interior landscaping – Modify the total number of required trees from 1 tree per 100 sq. ft. to 0.29 tree per 100 sq. ft.

The purpose of this request is to allow the development of this parcel to nearly its full capacity for affordable housing.

This waiver or modifications is not contrary to the intent of this subdivision and a literal enforcement of the standards of this subdivision would be impracticable and would not violate the following criteria:

1. Public interest; adjacent property. The waiver or modification will not have a significant adverse impact on the public interest, or on adjacent property.
2. Not discriminatory. The waiver or modification is not discriminatory, considering similar situations in the general area.
3. Superior alternatives. The development will provide an alternative landscape solution which will achieve the purposes of the requirement through clearly superior design.
4. Protection of significant features. The waiver or modification is necessary to preserve or enhance significant existing environmental or cultural features, such

as trees, scenic areas, historic sites or public facilities, related to the development site.

5. Deprivation of reasonable use. Strict application of the requirement would effectively deprive the owner of reasonable use of the land due to its unusual size, shape, topography, natural conditions, or location.
 - a. The effect upon the owner is not outweighed by a valid public purpose in imposing the requirement in this case; and
 - b. The unusual conditions involved are the result of actions of the developer or property owner which occurred after the effective date of the ordinance from which this section derives.
6. Technical impracticality. Strict application of the requirement would be technically impractical based on the goals of the property owner.

Off-street parking and loading (Article VII):

Please see "On-site and off-site parking and vehicular, bicycle, and pedestrian circulation (Sec. 108-244)" above for a complete discussion regarding parking

Storm water and Surface Water Management (Article VIII):

The site, as part of the redevelopment process, will come into full compliance with the requirements of storm water and surface water management article of the LDC. Therefore, the redevelopment will improve nearshore water quality. An Impervious Surface Ratio (ISR) Variance application for 77.9% (90,406 SF) from the allowable 60% (69,614.68 SF) is concurrently submitted with this Major Development Plan application.

Flood Hazard Areas (Division 4 - Sections 108-821 through 108-927):

The proposed project is located in the AE 9, AE 10, & AE 11 flood zones

Utilities (Article IX):

Concurrency Analysis:

Concurrency Facilities and Other Utilities or Services (Sec. 108-233):

The City's Comprehensive Plan directs the City to ensure that facilities and services needed to support development are available concurrent with the impacts of new development.

The following specific issues are outlined:

- Roads/Trip Generation
- Sanitary Sewer
- Recyclables
- Potable Water
- Solid Waste
- Drainage

Policy 2-1.1.1- Transportation

The maximum predicted potential trip generation of the current land uses is less than the maximum predicted potential trip generation from the proposed land uses. Please refer to the trip generation/LOS analysis performed by KBP Consulting.

The LOS analysis concludes that overall trip generation from the site will be expected to increase by approximately 270 trips per day as part of the proposal. The traffic study takes a conservative approach and does not include trips associated with the existing marina approval.

Notwithstanding the proposed trip generation, Policy 2-1.1.3: Dense Urban Land Area effectively eliminates the transportation concurrency requirement in favor of a prioritization of safety and function of existing roads and multi-modal transportation improvements (i.e. transit, air, boat, bicycles, pedestrianism, mixed-use development)

Policy 2-1.1.3: Dense Urban Land Area. The City of Key West is a substantially developed dense urban land area and is thereby exempted from transportation concurrency requirements for roadways. The City recognizes that its development characteristics make substantive expansion of capacity of the roadway system prohibitive. The City will therefore prioritize improving the safety and function of existing roads and multi-modal transportation improvements (i.e. transit, air, boat, bicycles, pedestrianism, mixed-use development) as its primary strategies for addressing current and projected transportation needs.

Policy 4-1.1.2.C – Potable Water

Based on the City of Key West adopted level of service the potable water demand is anticipated to increase (pursuant to Policy 4-1.1.2.C, the potable water LOS for residential development is 100 gal/capita/day and non-residential is 650 gal/acre/day). The proposed development is anticipated to impact the LOS by 19,344 gal/day (104 units x 2 pp/unit = 208 x 93 = 19,344 gal/day).

Water demand is expected to be **19,344 gallons per day.**

Summary Response: The anticipated potable water flow is calculated by subtracting the impacts of the existing development from the proposed development. An estimated daily impact of 1,729 gallons per day currently exists. The proposed redevelopment will impact the LOS by approximately 19,344 gallons per day. Therefore, it is anticipated that a net

increase of 17,615 gallons per day of potable water will be realized ($19,344 - 1,729 = 17,615$); however, negative impacts are not expected on this public facility as a result of this proposal.

DESIGNATION	LOS	RES	NON-RES	TOTAL
Proposed	93/gal/capita/day	208	--	19,344 gallons
Existing	650 gal/acre/day	--	2.66 acre	1,729 gallons
			Net Impact	17,615 gallons

Potable water to the City of Key West is provided by the Florida Keys Aqueduct Authority (FKAA). The FKAA has the capacity to provide 23 million gallons per day to Monroe County as a result of: The South Florida Water Management District's issuance of Water Use Permit #13-0005, which allocates 17 million gallons per day in the dry season; 17.79 million gallons per day which can be withdrawn from the Biscayne Aquifer; and six million gallons per day provided by a reverse osmosis treatment plant in Florida City. As documented above, the City is meeting its Level of Service Standard for Potable Water. The City projects a slight permanent population decrease, and only a slight increase in its functional population and non-residential development during short and long-range planning periods, so the current capacity should remain adequate. Ongoing capital improvements will be necessary to maintain and improve standards and service delivery.

Policy 4-1.1.2.A - Sanitary Sewage

Based on the City of Key West adopted level of service the sanitary sewer demand is anticipated to increase by 19,044.4 gallons per day (pursuant to Policy 4-1.1.2.A, the sanitary sewer LOS for nonresidential development is 660 gal/acre/day and the sanitary sewer LOS for residential development is 100 gal/capita/day). The anticipated sanitary sewage flow is calculated by subtracting the impacts of the existing development from the proposed development.

The sanitary sewer flow is anticipated to be **20,800 gal/day**

Summary Response: The proposed redevelopment based on the LOS calculations in the comprehensive plan will increase the expected impact from the existing use of the property by 19,044.4 gallons per day; however, it is not expected that the proposal will result in excess capacity on this public facility.

DESIGNATION	LOS	RESIDENTIAL	NON-RES	TOTAL
Proposed	100/gal/capita/day	208 capita	--	20,800 gallons
Existing	660/gal/acre/day	--	2.66 acres	1,755.6 gallons
			Net Impact	19,044.4 gallons

The City contracts out the operation of the Richard A. Heyman Environmental Pollution Control Facility, its wastewater treatment plant (Plant), and the associated collection system to Operations Management International, Inc. (OMI). The Plant currently has the

capacity to treat 10 million gallons per day, exceeding the capacity required to achieve the existing Level of Service Standard by approximately seven million gallons per day. Actual daily flow is 4.5 million gallons per day. This is a reduction from eight (8) million gallons per day due to a 67 million dollars capital improvement to the City's wastewater treatment during the past short-term planning period, including \$56 million for collection system rehabilitation.

As documented above, the City is exceeding its Level of Service Standard for Wastewater. The City projects a slight permanent population decrease, and only a slight increase in its functional population and non-residential development, during the short and long-range planning periods, so the current capacity should remain adequate. Ongoing capital improvements and continuing conservation efforts will continue to maintain and improve service delivery.

Policy 4-1.1.2.D - Solid Waste

Based on the City of Key West adopted level of service the solid waste demand is anticipated to increase post development (pursuant to Policy 4-1.1.2.D, the solid waste LOS for nonresidential development is 6.37 lbs/capita/day and the solid waste LOS for residential development is 2.66 lbs/capita/day).

The solid waste impact is anticipated to be **553.28 lbs/day**

Summary Response: The proposed redevelopment will increase the expected impact from the existing use of the property by 394 pounds per day; however, it is not expected that the proposal will result in excess capacity on this public facility.

DESIGNATION	LOS	RES	NON-RES	TOTAL
Proposed	2.66 lbs/capita/day	208	--	553.28 lbs.
Existing	6.37 lbs/capita/day	--	25	159.25 lbs.
Net Impact				394 lbs.

The City currently contracts with Waste Management of Florida, Inc. to collect, transfer and dispose of solid waste and residential recyclables. Commercial recyclables and other non-franchised collection services such as construction and demolition debris and yard waste are available on the open market to all licensed haulers. The City owns and operates a solid waste transfer station on Rockland Key that received 45,402.10 tons of solid waste for disposal and 3,607 tons of recyclables in 2009/10. Waste Management disposes of the solid waste collected in Monroe County, including the City of Key West, at its Central Sanitary Landfill in Broward County. In 2009 Waste Management Inc. reported a reserve capacity of 17 years at this facility. There is therefore an estimated reserve capacity of 15 years as of the date of this report.

As documented above, the City is meeting its Level of Service Standard for solid waste. The City projects a slight permanent population decrease, and only a slight increase in its functional population and non-residential development, during the short and long-range planning periods, and the current capacity should remain adequate. Ongoing capital improvements will be necessary to improve standards and service delivery.

Policy 4-1.1.2. D - Recyclable Waste Generation Level of Service

Based on the City of Key West adopted level of service the recyclable waste demand is anticipated to increase at the completion of this single-phase residential development plan (pursuant to Policy 4-1.1.2. D, the recyclable waste LOS for nonresidential development is 0.25 lbs/capita/day) and the recyclable waste LOS for residential development is 0.50 lbs/capita/day). Per capital calculations are based upon 25 pre-redevelopment and 208 post development. The current recycling impacts are estimated at 6.25 lbs. per day, and the redevelopment is anticipated to generate 104 lbs per day, therefore a net increase of 97.75 lbs per day of recycling are anticipated.

The recyclable waste impact is anticipated to be **104 lbs/day**.

EXISTING/PROPOSED	LOS	MULTIPLIER	TOTAL
Proposed (residential)	.50 lbs./capita/day	208	104 lbs.
Existing (non-residential)	.25 lbs./capita/day	25	6.25 lbs.
Net Impact			97.75 lbs.

Policy 4-1.1.2. E- Drainage Facilities Level of Service

Please refer to the attached Drainage plans for pre and post-development analysis. The redevelopment will comply with all applicable Federal, state and local standards.

Existing Level of Service Standard

1. Post development runoff shall not exceed the pre-development runoff rate for a 25-year storm event, up to and including an event with a 24-hour duration.
2. Storm water treatment and disposal facilities shall be designed to meet the design and performance standards established in Chapter 62-25 Section 25.025, Florida Administrative Code, with treatment of the runoff from the first one inch of rainfall on-site to meet the water quality standards required by Chapter 62-302, Florida Administrative Code. Storm water facilities which directly discharge into "Outstanding Florida Waters" (OFW) shall provide an additional treatment pursuant to Section 62-25.025 (9), Florida Administrative Code.
3. Storm water facilities must be designed so as to not degrade the receiving water body below the minimum conditions necessary to assure the

suitability of water for the designated use of its classification as established in Chapter 62-302 Florida Administrative Code.

Warranty Deed

Prepared by: Paul Sawyer
575 Whitehead St.
Key West, Fla.

11712

Att 521 PAGE 593

THIS DEED, made this 26 day of January A.D. 1971, by

MONROE COUNTY, FLORIDA, a political subdivision of the State of Florida,
party of the first part, and THE CITY OF KEY WEST, FLORIDA, a municipal
corporation organized and existing under the laws of the State of Florida whose
Post Office address is City Hall, Key West, Florida, party of the second part,

WITNESSETH, that the said party of the first part, for and in consider-
ation of the sum of \$ 10.00 and other good and valuable consideration so
it in hand paid by the party of the second part, receipt whereof is hereby acknow-
ledged, has granted, bargained and sold to the party of the second part, its
successors and assigns forever, the following described land, lying and being
in Monroe County, Florida, to-wit:

On the Island of Stock Island in Monroe County, State of
Florida, and more particularly described by metes and
bounds as follows: Starting at an iron pin located at the
Northwest corner of the County Home premises, and run-
ning thence in a Northwesterly direction 116 feet to a pin;
thence at an angle to the right of 27 degrees and 17 minutes
for a distance of 52 feet to an iron pin (No. 4); thence
at an angle to the right of 23 degrees and 21 minutes a
distance of 600 feet to an iron pin (No. 5); thence running
120 feet in an opposite direction for a point of beginning,
which point of beginning is also the Southwesterly corner
of the premises leased to the Humane Society; thence at
right angles in a Southeasterly direction 200 feet to a
point; thence at right angles in a Southwesterly direction
200 feet; thence at right angles in a Northwesterly direc-
tion 200 feet; thence at right angles in a Northeasterly
direction 200 feet back to the point of beginning.

IN WITNESS WHEREOF, the said party of the first part has caused

these presents to be executed in its name by its Board of County Commissioners,
the day and year first aforesaid.

(SEAL)

Attest:

Lester Raden

Clerk of the Circuit Court of Monroe
County, Florida and ex officio Clerk of
the Board of County Commissioners of
Monroe County, Florida.

BOARD OF COUNTY COMMISSIONERS
OF MONROE COUNTY, FLORIDA

By Henry Sawyer

11712

RECORDED IN OFFICIAL RECORDS BOOK
MONROE COUNTY, FLORIDA
PAGE 521, LINE 593
CLERK OF CIRCUIT COURT
RECORDED MARCH 1971

Property Record Card

Disclaimer

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By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID	00072082-002200
Account#	8757883
Property ID	8757883
Millage Group	10KW
Location Address	5220 COLLEGE Rd, KEY WEST (FLORIDA EASTER SEAL SOCIETY INC)
Legal Description	(Note: Not to be used on legal documents.)
Neighborhood	31200
Property Class	CLUB (7700)
Subdivision	
Sec/Twp/Rng	34/67/25
Affordable Housing	No


Owner

[CITY OF KEY WEST](#)
PO BOX 1409
KEY WEST FL 33041

Valuation

	2018	2017	2016	2015
+ Market Improvement Value	\$470,681	\$481,722	\$525,858	\$538,273
+ Market Misc Value	\$23,551	\$23,697	\$23,988	\$20,986
+ Market Land Value	\$2,539,548	\$2,539,548	\$2,550,399	\$2,550,399
= Just Market Value	\$3,033,780	\$3,044,967	\$3,100,245	\$3,109,658
= Total Assessed Value	\$3,033,780	\$3,044,967	\$3,100,245	\$3,109,658
- School Exempt Value	(\$3,033,780)	(\$3,044,967)	(\$3,100,245)	(\$3,109,658)
= School Taxable Value	\$0	\$0	\$0	\$0

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL DRY (100D)	46,173.60	Square Foot	1660	200

Commercial Buildings

Style	OFF BLDG 1 STY-A / 17A			
Gross Sq Ft	3,519			
Finished Sq Ft	2,947			
Perimiter	0			
Stories	1			
Interior Walls				
Exterior Walls	C.B.S.			
Quality	400()			
Roof Type				
Roof Material				
Exterior Wall1	C.B.S.			
Exterior Wall2				
Foundation				
Interior Finish				
Ground Floor Area				
Floor Cover				
Full Bathrooms	2			
Half Bathrooms	0			
Heating Type				
Year Built	1950			
Year Remodeled				
Effective Year Built	1994			
Condition				
Code	Description	Sketch Area	Finished Area	Perimeter
CAN	CANOPY	544	0	0
FLA	FLOOR LIV AREA	2,947	2,947	0
OPF	OP PRCH FIN LL	28	0	0
TOTAL		3,519	2,947	0

Style	PRIVATE SCHOOL D / 72D
Gross Sq Ft	2,286
Finished Sq Ft	1,750
Perimiter	0
Stories	1
Interior Walls	
Exterior Walls	METAL SIDING
Quality	400()
Roof Type	

Roof Material

Exterior Wall1 METAL SIDING

Exterior Wall2

Foundation**Interior Finish****Ground Floor Area****Floor Cover**

Full Bathrooms 0

Half Bathrooms 2

Heating Type

Year Built 1999

Year Remodeled

Effective Year Built 1995

Condition

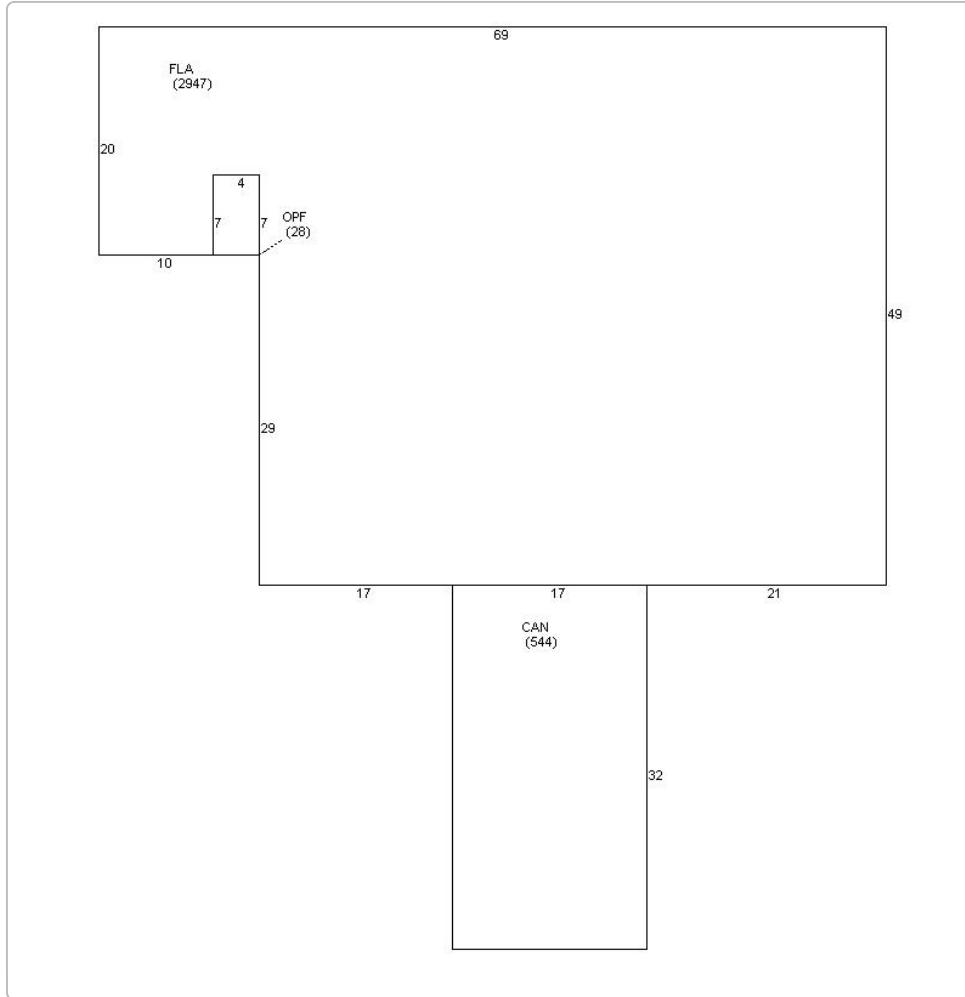
Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	1,750	1,750	0
OPU	OP PR UNFIN LL	536	0	0

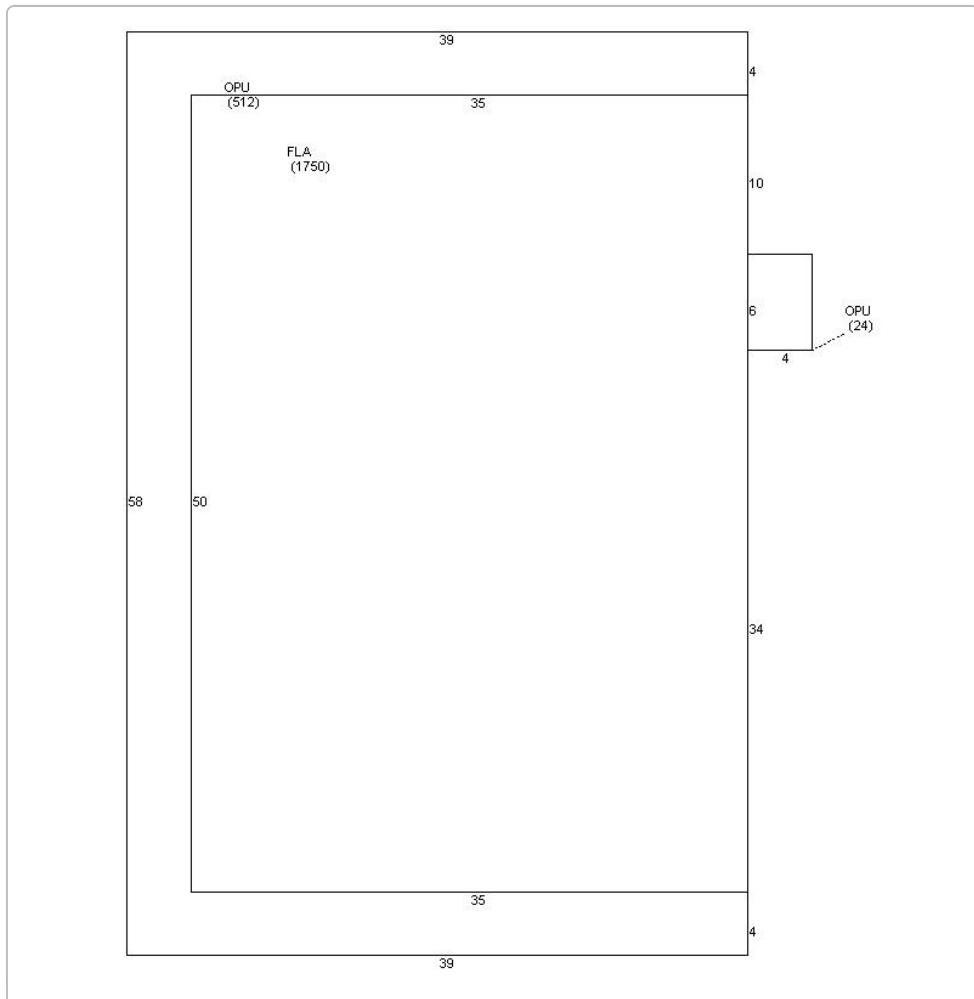
TOTAL 2,286 1,750 0**Yard Items**

Description	Year Built	Roll Year	Quantity	Units	Grade
WALL AIR COND	1964	1965	1	1 UT	1
WALL AIR COND	1964	1965	1	1 UT	2
ASPHALT PAVING	1964	1965	1	10816 SF	2
CH LINK FENCE	1964	1965	1	1728 SF	2
CONC PATIO	1964	1965	1	874 SF	2
LC UTIL BLDG	1964	1965	1	90 SF	1
TIKI	1990	1991	1	300 SF	1
UTILITY BLDG	2004	2005	1	288 SF	3

Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
07-0863	2/23/2007	12/27/2007	\$900	Commercial	UPGRADE TO 100 AMPS. FOR TRAILER OCCUPIED BY JACOBS HUMBERT
	10/4/2004	12/3/2004	\$5,864	Commercial	TED SHED

View Tax Info[View Taxes for this Parcel](#)**Sketches (click to enlarge)**



Photos



8757883 5220 COLLEGE RD 12/03/04

Map



TRIM Notice

Trim Notice

2018 Notices Only

No data available for the following modules: Buildings, Mobile Home Buildings, Exemptions, Sales.

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Summary

Parcel ID	00072082-002100
Account#	8757875
Property ID	8757875
Millage Group	10KW
Location Address	5224 COLLEGE Rd, KEY WEST
Legal Description	(MOSQUITO CONTROL DISTRICT LEASE) OR152-374 & CITY RES NO 02-124 <i>(Note: Not to be used on legal documents.)</i>
Neighborhood	31200
Property Class	MUNICIPAL (8900)
Subdivision	
Sec/Twp/Rng	34/67/25
Affordable Housing	No


Owner

CITY OF KEY WEST
PO BOX 1409
KEY WEST FL 33041

Valuation

	2018	2017	2016	2015
+ Market Improvement Value	\$1,922,184	\$1,922,184	\$1,922,184	\$1,922,184
+ Market Misc Value	\$21,054	\$21,054	\$21,054	\$18,587
+ Market Land Value	\$2,340,225	\$2,340,225	\$2,340,225	\$2,340,225
= Just Market Value	\$4,283,463	\$4,283,463	\$4,283,463	\$4,280,996
= Total Assessed Value	\$4,283,463	\$4,283,463	\$4,267,872	\$3,879,884
- School Exempt Value	(\$4,283,463)	(\$4,283,463)	(\$4,283,463)	(\$4,280,996)
= School Taxable Value	\$0	\$0	\$0	\$0

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL DRY (100D)	34,670.00	Square Foot	0	0

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
CH LINK FENCE	1969	1970	1	1106 SF	2
CONC PATIO	1975	1976	1	714 SF	2
RW2	1979	1980	1	342 SF	3
ASPHALT PAVING	1979	1980	1	7354 SF	2
LC UTIL BLDG	1985	1986	1	66 SF	1
CH LINK FENCE	2000	2001	1	1760 SF	2
TIKI	2001	2002	1	144 SF	1
COM CANOPY	2002	2003	1	360 SF	1

Permits

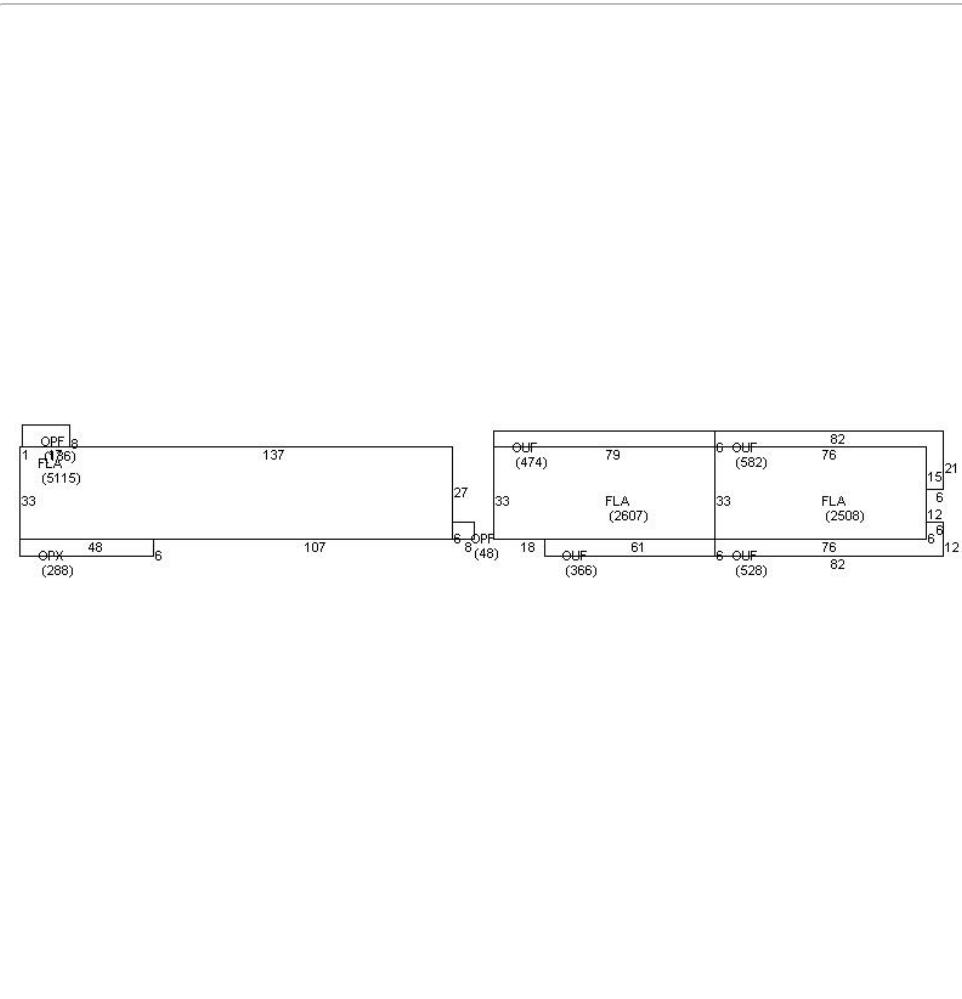
Number	Date Issued	Date Completed	Amount	Permit Type	Notes
14-4325	9/16/2014	1/7/2015	\$41,500	Commercial	REPAIR CONCRETE STAIRS AT MOSQUITO CONTROL DISTRICT BUILDING. N.O.C. EXEMPT
11-4478	12/9/2011		\$1,250	Commercial	TEMPORARY TRAILER FOR LAB FOR MOSQUITO BREEDING TRIALS. TRAILER WILL BE IN PLACE FOR 6 MONTHS AND WILL BE TIED DOWN. ELECTRICAL AND PLUMBING PERMITS TO BE PULLED. LEASE TO MOSQUITO CONTROL.
10-689	3/8/2010	4/9/2010	\$2,350	Commercial	REPLACE A 2.5 TON PACKAGE A/C ON ALUMINUM STAND
08-4126	11/6/2008		\$9,980	Commercial	REPLACE (4) 5 TON EXISTING AC UNITS
06-6797	12/21/2006	12/27/2007	\$2,200	Commercial	INSTALL ONE 1200 BTU MINI SPLIT A/C UNIT
05-0347	2/4/2005	12/27/2007	\$850	Commercial	INSTALL DEDUCT METER
02-1084	5/23/2002	8/15/2002	\$8,932	Commercial	ELITE ROOF
02-0386	3/15/2002	8/15/2002	\$2,850	Commercial	INSTALL FUEL TANK
01-3344	10/11/2001	11/21/2001	\$5,000	Commercial	ELECTRICAL UPDATE
01-1556	4/17/2001	11/21/2001	\$12,000	Commercial	OVERLAY/RESTRIPE PARKING
00-4386	12/14/2000	11/21/2001	\$2,376	Commercial	GUTTERS
00-2924	9/19/2000	8/15/2002	\$52,000	Commercial	ROOFING
00-1561	8/15/2000	11/21/2001	\$292,230	Commercial	ADDITION 2ND STORY
00-2236	8/9/2000	8/15/2002	\$1	Commercial	REPLACE A/C UNITS
00-0852	4/4/2000	7/13/2000	\$15,896	Commercial	STORM SHUTTERS
99-3192	2/9/2000	7/13/2000	\$15,000	Commercial	CHAIN LINK FENCE
98-3931	3/4/1999	10/28/1999	\$65,000	Commercial	DEMO/REPL WOOD BLDG W/CBS
97-2143	7/1/1997	8/19/1998	\$3,900	Commercial	REPLACE A/C

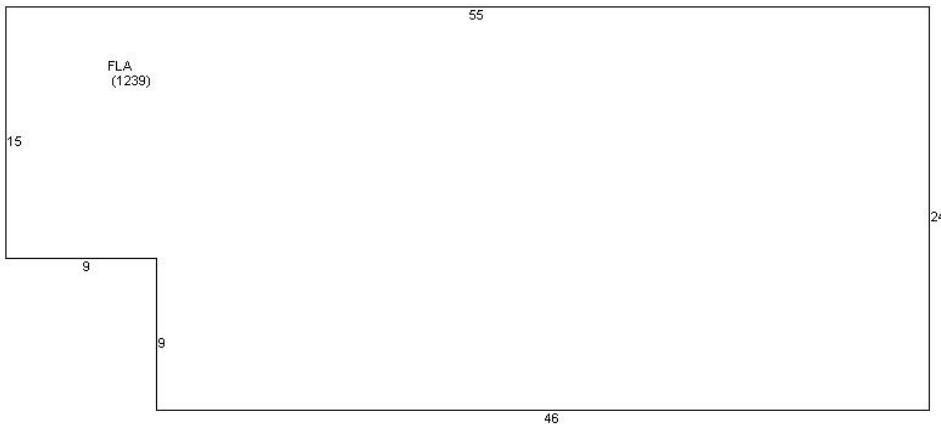
Number	Date Issued	Date Completed	Amount	Permit Type	Notes
					♦
97-1333	4/28/1997	8/19/1998	\$8,700	Commercial	ELECTRICAL
M95-0249	1/1/1995	3/1/1995	\$3,500		REPLACEMENT OF 10 TON AC
B933-444	12/1/1993	11/1/1994	\$1,000		CREATE NEW OFFICE SPACE

View Tax Info

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Sketches (click to enlarge)





Photos



Map



TRIM Notice

Trim Notice

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Summary

Parcel ID	00072080-002200
Account#	1076155
Property ID	1076155
Millage Group	10KW
Location Address	5228 COLLEGE Rd, KEY WEST
Legal Description	STOCK ISLAND PT LOT 1 LYING BETWEEN CER PALSY & HUMANE SOC OR521-593 <i>(Note: Not to be used on legal documents.)</i>
Neighborhood	31200
Property Class	MUNICIPAL (8900)
Subdivision	
Sec/Twp/Rng	27/67/25
Affordable Housing	No

**Owner**

CITY OF KEY WEST FLORIDA
PO Box 1409
Key West FL 33041

Valuation

	2018	2017	2016	2015
+ Market Improvement Value	\$28,791	\$28,791	\$28,791	\$30,485
+ Market Misc Value	\$5,962	\$5,962	\$5,962	\$5,183
+ Market Land Value	\$977,275	\$977,275	\$977,275	\$977,275
= Just Market Value	\$1,012,028	\$1,012,028	\$1,012,028	\$1,012,943
= Total Assessed Value	\$1,012,028	\$1,012,028	\$1,012,028	\$1,012,943
- School Exempt Value	(\$1,012,028)	(\$1,012,028)	(\$1,012,028)	(\$1,012,943)
= School Taxable Value	\$0	\$0	\$0	\$0

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL DRY (100D)	15,035.00	Square Foot	0	0

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
WALL AIR COND	1950	1951	1	1 UT	1
WATER FEATURE	1950	1951	1	1 UT	1
CONC PATIO	1950	1951	1	523 SF	2
LC UTIL BLDG	1964	1965	1	100 SF	1
LC UTIL BLDG	1964	1965	1	24 SF	1
FENCES	1964	1965	1	288 SF	2
CH LINK FENCE	1964	1965	1	369 SF	1
CH LINK FENCE	1964	1965	1	540 SF	2

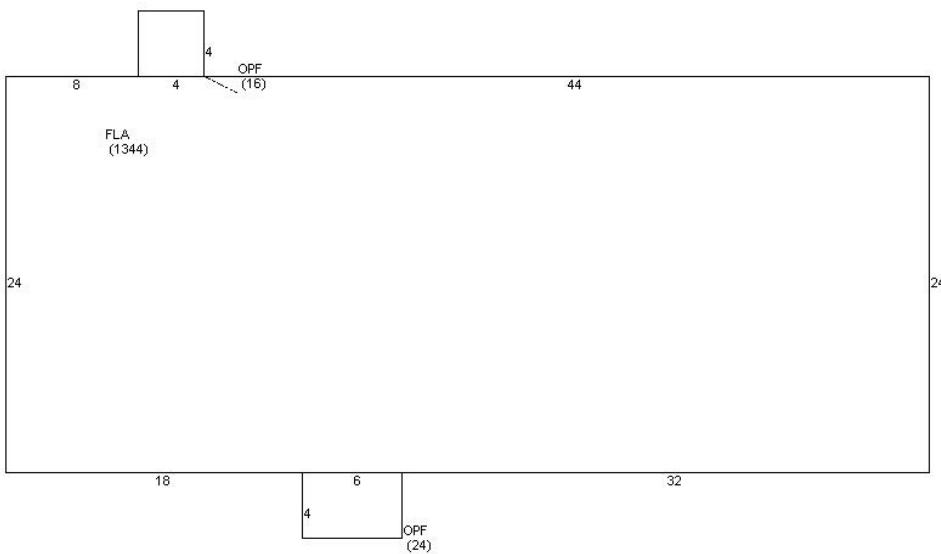
Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
07-2080-002	10/30/2007	11/5/2007	\$1,500		REPAIR OF METER CAN LUGS

View Tax Info

[View Taxes for this Parcel](#)

Sketches (click to enlarge)



Photos



Map



No data available for the following modules: Buildings, Commercial Buildings, Mobile Home Buildings, Exemptions, Sales, TRIM Notice.

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Summary

Parcel ID	00072082-002400
Account#	8757905
Property ID	8757905
Millage Group	10KW
Location Address	5230 COLLEGE Rd, KEY WEST (MONROE COUNTY ANIMAL SHELTER LEASE)
Legal Description	(Note: Not to be used on legal documents.)
Neighborhood	31200
Property Class	COUNTY (8600)
Subdivision	
Sec/Twp/Rng	27/67/25
Affordable Housing	No



Owner

[CITY OF KEY WEST](#)
PO BOX 1409
KEY WEST FL 33041

Valuation

	2018	2017	2016	2015
+ Market Improvement Value	\$203,655	\$203,655	\$203,655	\$209,086
+ Market Misc Value	\$53,672	\$53,672	\$53,672	\$47,043
+ Market Land Value	\$1,365,645	\$1,365,645	\$1,365,645	\$1,365,645
= Just Market Value	\$1,622,972	\$1,622,972	\$1,622,972	\$1,621,774
= Total Assessed Value	\$1,622,972	\$1,592,364	\$1,447,604	\$1,316,004
- School Exempt Value	(\$1,622,972)	(\$1,622,972)	(\$1,622,972)	(\$1,621,774)
= School Taxable Value	\$0	\$0	\$0	\$0

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL DRY (100D)	18,295.20	Square Foot	150	102.4

Commercial Buildings

Style	COUNTY BLDGS C / 86C			
Gross Sq Ft	700			
Finished Sq Ft	532			
Perimiter	0			
Stories	1			
Interior Walls				
Exterior Walls	C.B.S.			
Quality	350()			
Roof Type				
Roof Material				
Exterior Wall1	C.B.S.			
Exterior Wall2				
Foundation				
Interior Finish				
Ground Floor Area				
Floor Cover				
Full Bathrooms	0			
Half Bathrooms	0			
Heating Type				
Year Built	1978			
Year Remodeled				
Effective Year Built	1996			
Condition				
Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	532	532	0
OPF	OP PRCH FIN LL	168	0	0
TOTAL		700	532	0

Style	COUNTY BLDGS D / 86D
Gross Sq Ft	723
Finished Sq Ft	723
Perimiter	0
Stories	2
Interior Walls	
Exterior Walls	MIN WOOD SIDING
Quality	350()
Roof Type	
Roof Material	

Exterior Wall1	MIN WOOD SIDING			
Exterior Wall2				
Foundation				
Interior Finish				
Ground Floor Area				
Floor Cover				
Full Bathrooms	0			
Half Bathrooms	0			
Heating Type				
Year Built	1970			
Year Remodeled				
Effective Year Built	1982			
Condition				
Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	723	723	0
TOTAL		723	723	0

Style	COUNTY BLDGS D / 86D			
Gross Sq Ft	854			
Finished Sq Ft	126			
Perimiter	0			
Stories	1			
Interior Walls				
Exterior Walls	C.B.S.			
Quality	350()			
Roof Type				
Roof Material				
Exterior Wall1	C.B.S.			
Exterior Wall2				
Foundation				
Interior Finish				
Ground Floor Area				
Floor Cover				
Full Bathrooms	0			
Half Bathrooms	0			
Heating Type				
Year Built	1970			
Year Remodeled				
Effective Year Built	1980			
Condition				
Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	126	126	0
OPU	OP PR UNFIN LL	728	0	0
TOTAL		854	126	0

Style	COUNTY BLDGS D / 86D			
Gross Sq Ft	1,608			
Finished Sq Ft	255			
Perimiter	0			
Stories	1			
Interior Walls				
Exterior Walls	C.B.S.			
Quality	350()			
Roof Type				
Roof Material				
Exterior Wall1	C.B.S.			
Exterior Wall2				
Foundation				
Interior Finish				
Ground Floor Area				
Floor Cover				
Full Bathrooms	2			
Half Bathrooms	0			
Heating Type				
Year Built	1970			
Year Remodeled				
Effective Year Built	1980			
Condition				
Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	255	255	0
OPU	OP PR UNFIN LL	1,353	0	0
TOTAL		1,608	255	0

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
UTILITY BLDG	1969	1970	1	1526 SF	4
CH LINK FENCE	1969	1970	1	3075 SF	2
WALL AIR COND	1983	1984	1	2 UT	2
CH LINK FENCE	2001	2002	1	156 SF	1
CONC PATIO	2001	2002	1	1696 SF	2
CONC PATIO	2001	2002	1	80 SF	2
CONC PATIO	2004	2005	1	221 SF	3

Permits

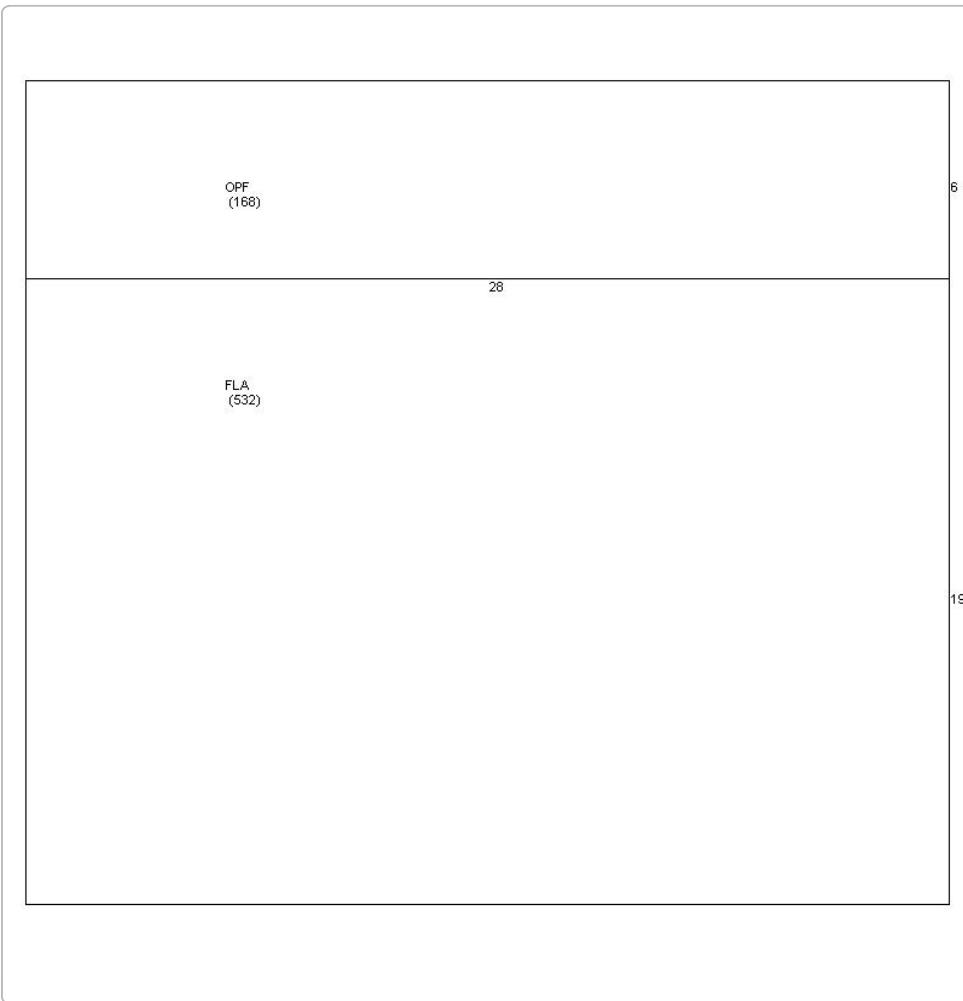
Number	Date Issued	Date Completed	Amount	Permit Type	Notes
14-0502	4/28/2014		\$0	Commercial	ADA ACCESSIBILITY UPGRADES, REWORKING EXISTING PARKING AND CURBING TO PROVIDE COMPLAINT ACCESS ROUTE AND RAMP SYSTEM TO FRONT ENTRANCE OF BUILDING. ADA ACCESSIBILITY CODE COMPLIANCY WILL REQUIRE NEW SIGNAGE, COMPLIANT PARKING AND COMPLIANT APPROACH OF ENTRANCE OF BUILDING.
12-2972	8/17/2012		\$6,000	Commercial	ADA COMPLIANT PARKING SPACE SIGNAGE & STRIPING. ADD ADA COMPLIANT HANDRAILS & EXTENSIONS. ADD ADA BUZZER NOT ENTRY.

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
12-2583	7/17/2012		\$5,000	Commercial	FRONT OFFICE REMOVE EXISTING ROOFING, INSTALL GRACE 26G EAVES DRIP, FLASHING, 26G VCRIMP, 26G RIDGE CAP. REPLACE 30LF OF GUTTER.
12-1754	5/15/2012		\$4,898	Commercial	replace a five ton package unit on the roof with existing power and curb.
08-4584	2/24/2008		\$200	Commercial	ANCHOR 2 SHEDS ON PROPERTY
03-3798	11/7/2003	12/3/2004	\$500	Commercial	17'X13X4 SLAB
03-3063	11/4/2003	11/19/2003	\$10,000	Commercial	2 A/C'S ON DOG RUNS
0103175	5/7/2002	8/15/2002	\$15,300	Commercial	DEMO SEPTIC/NEW GRAVITY S
0201076	5/7/2002	8/15/2002	\$1,000	Commercial	DEMO/RESTORE SIDEWALKS
0102547	7/23/2001	11/21/2001	\$500	Commercial	CONCRETE PAD
0001796	6/29/2000	11/21/2001	\$1,800	Commercial	NEW SERVICE FOR KENNELS
9700597	3/1/1997	6/1/1997	\$1,500	Commercial	PLUMBING

View Tax Info

[View Taxes for this Parcel](#)

Sketches (click to enlarge)



FLA
(558)

18

21

18

10

1

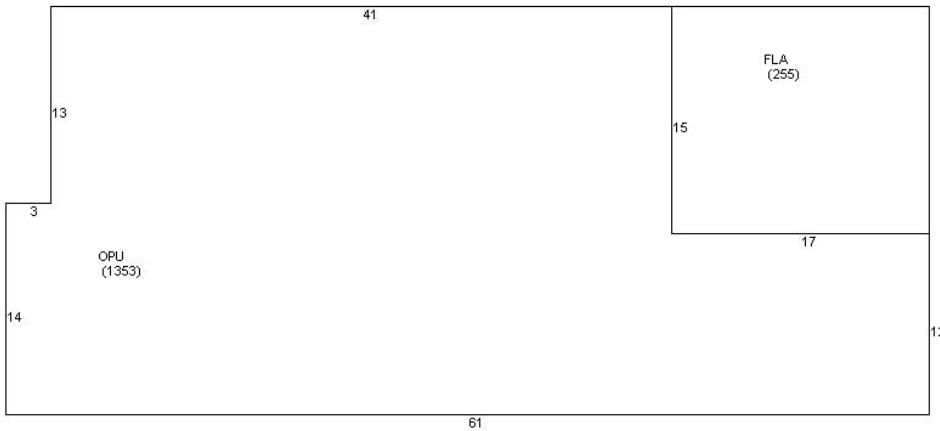
15

FLA
(165)

15

11

9	9		43
OPU (126)	FLA (126)	OPU (602)	
14	14		



Photos



Map



No data available for the following modules: Buildings, Mobile Home Buildings, Exemptions, Sales, TRIM Notice.

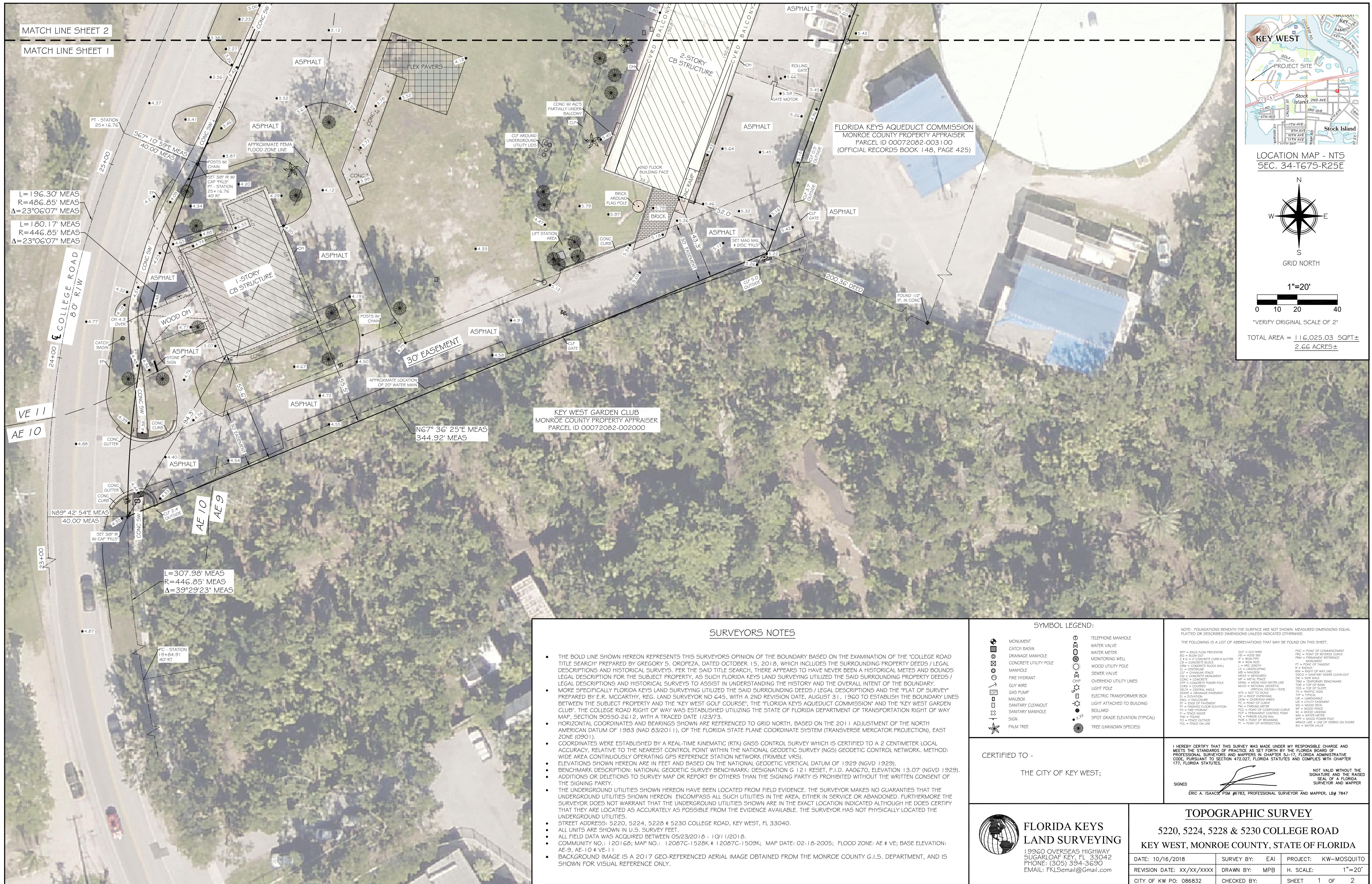
The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

Last Data Upload: 6/5/2019 5:50:47 AM

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GEOS

Survey



Proposed Plans

COLLEGE ROAD AFFORDABLE HOUSING

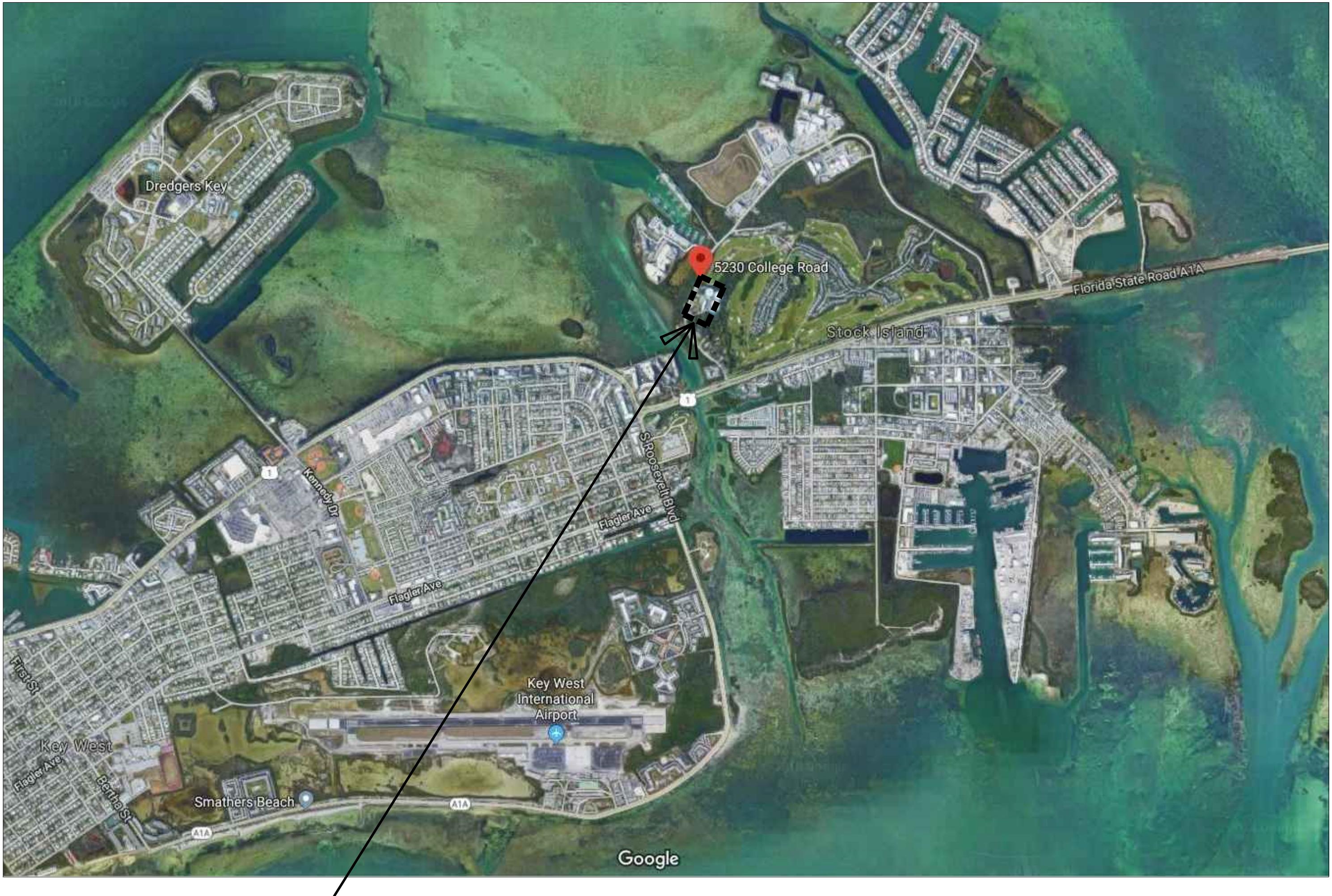
5220, 5224, 5228, 5230 COLLEGE ROAD
STOCK ISLAND, FL

WILLIAM P. HORN
ARCHITECT, P.A.

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KEY WEST,
FLORIDA
33040

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FAX (305) 296-1033

LICENSE NO.
AA 0003040



PROPERTY LINE



INDEX OF SHEETS	
PAGE	DESCRIPTION
A-0	COVER SHEET
A-1	GOOGLE AERIAL SITE PLAN
A-1.1	CONCEPTUAL SITE PLAN - ROOF PLAN
A-2	CONCEPTUAL GROUND FLOOR PLAN
A-3	CONCEPTUAL FIRST FLOOR PLAN
A-3.1	CONCEPTUAL SECOND FLOOR PLAN
A-3.2	CONCEPTUAL THIRD FLOOR PLAN
A-4	UNIT PLANS AND SECTIONS
A-5	BUILDING ELEVATIONS
A-5.1	BUILDING ELEVATIONS
A-5.2	3D RENDERINGS
A-5.3	3D RENDERINGS
LS-1	LIFE SAFETY ROOF PLAN
LS-2	LIFE SAFETY GROUND FLOOR PLAN
LS-3	LIFE SAFETY FIRST FLOOR PLAN
LS-4	LIFE SAFETY SECOND FLOOR PLAN
LS-5	LIFE SAFETY THIRD FLOOR PLAN
LS-6	LIFE SAFETY TYPICAL & H.C. UNIT PLAN
EX-1	EXISTING SITE PLAN
EX-2	EXISTING TREE SURVEY
EX-3	EXISTING TREE LIST
E-1	SITE LIGHTING PLAN
C-100	CONCEPTUAL DRAINAGE/UTILITY PLAN
L-1	LANDSCAPE PLAN
L-2	PLANT SCHEDULE & DETAILS
L-3	IRRIGATION DETAILS
SU-1	SURVEY
SU-2	SURVEY

BUILDING DATA		
FLORIDA BUILDING CODE INFORMATION		
OCCUPANCY TYPE: R-2 APARTMENTS CONSTRUCTION TYPE: TYPE III B, SPRINKLERED ALLOWABLE HEIGHT: 60' (SPRINKLERED) ALLOWABLE NUMBER OF STORIES = 4 STORIES ALLOWABLE AREA/FLOOR = 16,000 S.F./FLOOR (S13R) 48,000 S.F./FLOOR (SM)		
FAR: N/A		
ENCLOSED	COVERED	
BUILDING A		
GROUND FLOOR:	-----	-----
FIRST FLOOR:	3,084 S.F.	861 S.F.
SECOND FLOOR:	-----	-----
THIRD FLOOR:	-----	-----
BUILDING B		
GROUND FLOOR:	213 S.F.	16,820 S.F.
FIRST FLOOR:	13,759 S.F.	3,271 S.F.
SECOND FLOOR:	13,759 S.F.	3,271 S.F.
THIRD FLOOR:	13,759 S.F.	3,271 S.F.
BUILDING C		
GROUND FLOOR:	213 S.F.	9,071 S.F.
FIRST FLOOR:	6,982 S.F.	2,378 S.F.
SECOND FLOOR:	6,982 S.F.	2,378 S.F.
THIRD FLOOR:	6,982 S.F.	2,378 S.F.
TOTAL:	65,733 S.F.	43,699 S.F.

RESIDENTIAL UNIT COUNT		
104 – 1 BEDROOM UNITS		
W/BALCONY	ENCLOSED	COVERED
611 S.F. 49 S.F.		
(6 OF THE UNITS ARE FULLY HANDICAP COMPLIANT)		

SITE DATA		
SITE AREA: 116,024.8 S.F. (2.66 ACRES)		
LAND USE: HDR-1 (HIGH DENSITY RESIDENTIAL 1)		
FLOOD ZONE: AE EL. +9.0', AE EL. +10.0', VE EL. 11.0'		
FAR: N/A		
DENSITY: ALLOWED = 40 UNITS/ACRE		
2.66 ACRES x 40 UNITS/ACRE = 106.4 UNITS ALLOWED 104.0 UNITS PROVIDED		
HEIGHT: ALLOWED = 40' + 4'MAX. IF OVER FLOOD = 44' MAX. PROPOSED = 43'-11"		
SETBACKS:		
FRONT SETBACK: REQUIRED = 20'-0" EXISTING = 6'-2" PROPOSED = 20'-0"		
SOUTH SIDE SETBACK: REQUIRED = 10'-0" EXISTING = 53'-6" PROPOSED = 13'-0"		
NORTH SIDE SETBACK: REQUIRED = 10'-0" EXISTING = 31'-10"/5'-3" PROPOSED = 10'-0"		
REAR SETBACK: REQUIRED = 10'-0" EXISTING = 4'-10" PROPOSED = 10'-6"		
BUILDING COVERAGE AREA:		
ALLOWED: 46,409.79 S.F. (40% MAX.) EXISTING: 18,535 S.F. (16%) PROPOSED: 38,724.8 S.F. (33.3%)		
IMPERVIOUS AREA:		
ALLOWED: 69,614.68 S.F. (60% MAX.) EXISTING: 57,481.48 S.F. (49.54%) PROPOSED: 90,406 S.F. (77.9%) (VARIANCE REQUIRED)		
LANDSCAPE AREA:		
REQUIRED: 40,608.56 S.F. (35% MIN.) EXISTING: 58,543 (50.46%) PROPOSED: 25,618.8 S.F. (22.1%) (VARIANCE REQUIRED)		
OPEN SPACE AREA:		
REQUIRED: 40,608.56 S.F. (35% MIN.) EXISTING: 58,543 (50.46%) PROPOSED: 25,618.8 S.F. (22.1%) (VARIANCE REQUIRED)		
PARKING:		
REQUIRED: 2 SPACES PER UNIT 104 UNITS x 2 = 208 REQUIRED PROPOSED: 125 SPACES PROVIDED 95 REGULAR 9'x18' SPACES 22 COMPACT 7.5'x15' SPACES 8 HANDICAP 12'x21' SPACES (VARIANCE OR BIKE SUBSTITUTION REQUIRED)		
BIKE:		
REQUIRED: 10% OF REQUIRED CAR SPACES 208 x 0.10= 20.8 (21 SPACES) PROPOSED: 75 SPACES PROVIDED		

DATE
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04-23-19 TREE CONCEPTUAL
06-03-19 PL. BD. REVISION

REVISIONS

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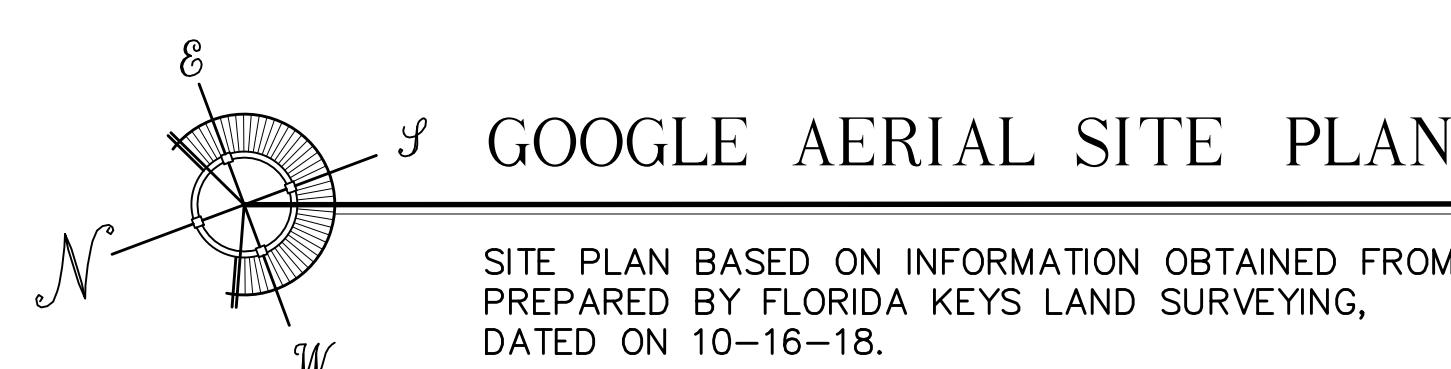
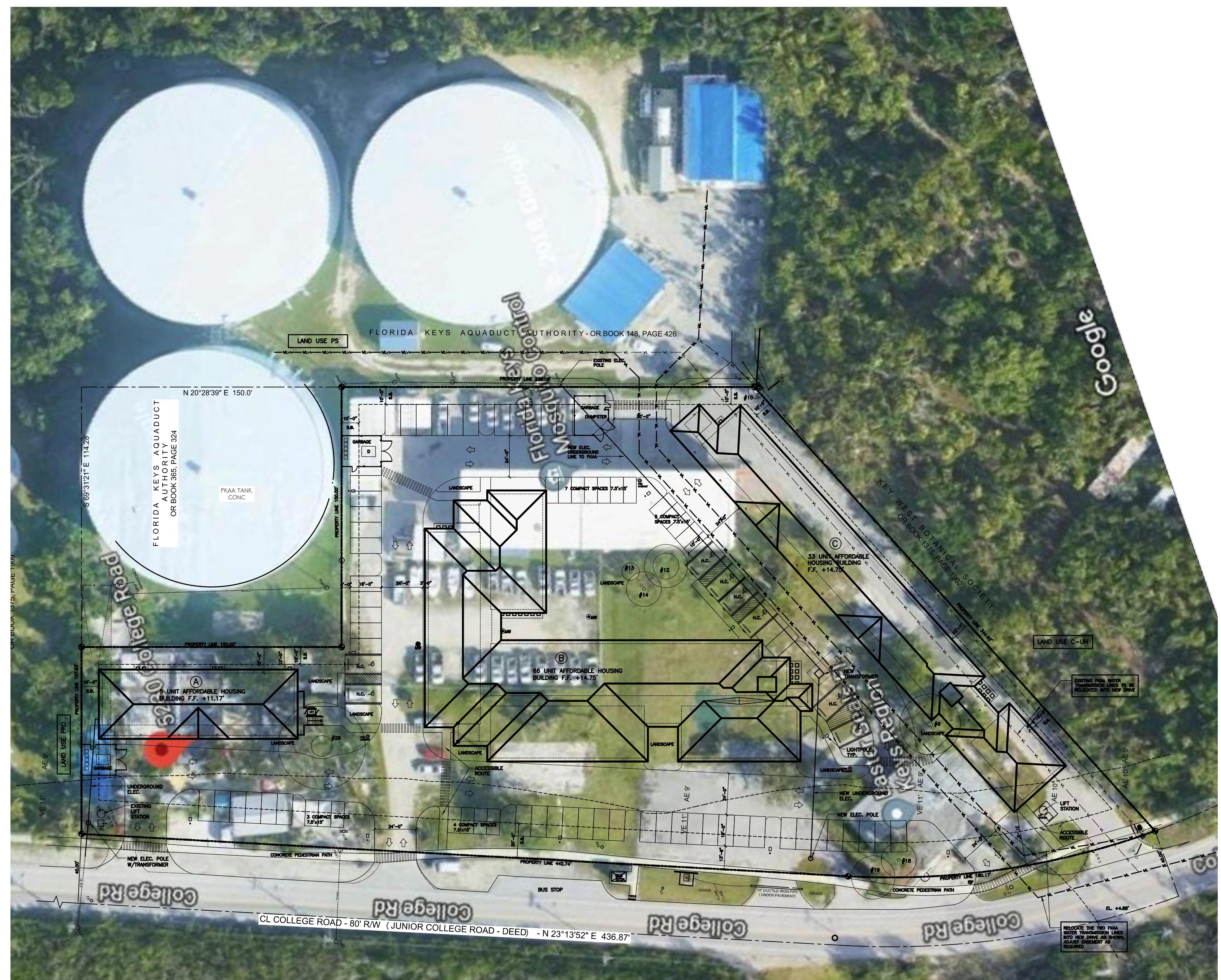
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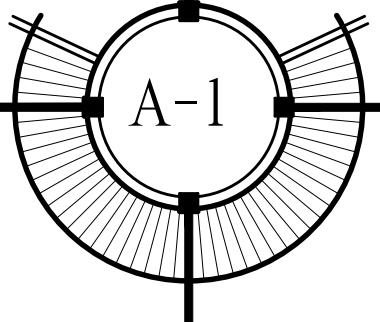


GOOGLE AERIAL SITE PLAN

SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY
PREPARED BY FLORIDA KEYS LAND SURVEYING,
DATED ON 10-16-18.

SCALE: 1"=40'-0"

COLLEGE ROAD AFFORDABLE HOUSING
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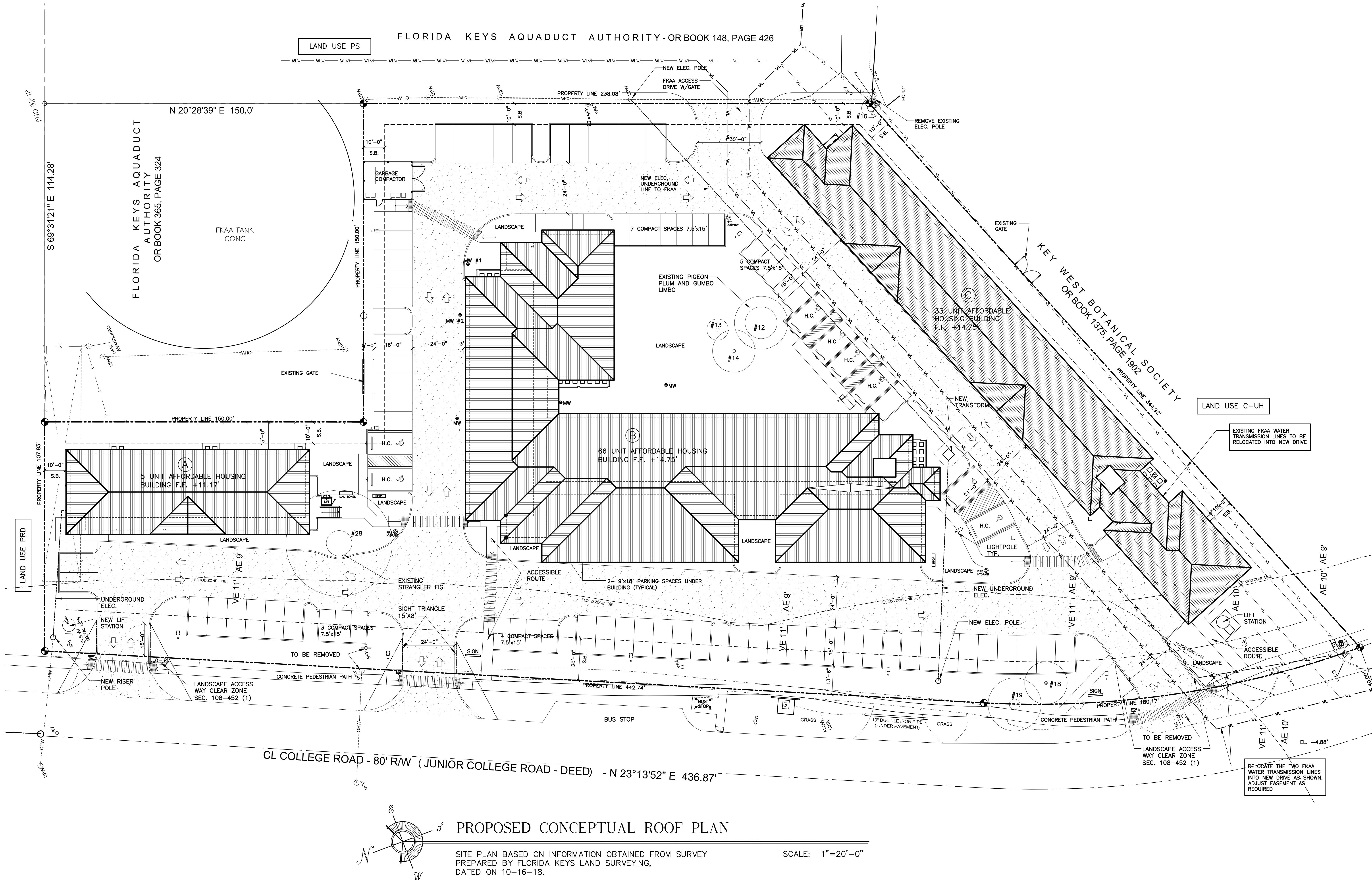
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SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY
PREPARED BY FLORIDA KEYS LAND SURVEYING,
DATED ON 10-16-18.

SCALE: 1"-30' 0"

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FLORIDA KEYS AQUADUCT AUTHORITY - OR BOOK 148, PAGE 426

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FLORIDA KEYS AQUA DUCT
AUTHORITY
OR BOOK 365, PAGE 324

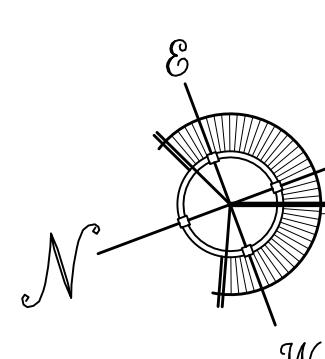
N 20°28'39" E 150.0'

This detailed architectural site plan illustrates the layout of buildings, property boundaries, and various utility and landscape features for the Florida Keys Aqueduct Authority. The plan includes:

- FLORIDA KEYS AQUADUCT AUTHORITY - OR BOOK 148, PAGE 426**: Located at N 20°28'39" E 150.0' and S 69°31'21" E 114.28'.
- KEY WEST BOTANICAL SOCIETY**: Located at N 20°28'39" E 150.0' and S 69°31'21" E 114.28'.
- LAND USE PS**: Designation for the property line area.
- LAND USE C-UH**: Designation for the building footprint area.
- LAND USE PRD**: Designation for the property line area.
- PROPERTY LINES**: Marked by dashed lines, including Property Line 238.08', Property Line 150.00', Property Line 150.00', Property Line 107.83', Property Line 442.74', Property Line 180.17', and Property Line 344.83'.
- UTILITIES**: Includes NEW ELEC. POLE, FKAA ACCESS DRIVE W/GATE, REMOVE EXISTING ELEC. POLE, NEW TRANSFORMER, ELEV. PUMP, FIRE HYDRANT, MAIL BOXES, MAIL BOXES, and BUS STOP.
- LANDSCAPE FEATURES**: Such as LANDSCAPE, H.C. (Handicap Unit), MW (Mail Boxes), and various parking areas (e.g., 7 COMPACT SPACES 7.5'x15', 5 COMPACT SPACES 7.5'x15').
- FLOOD ZONE**: Indicated by AE 9' and AE 10' flood zones.
- STRUCTURES**: Includes GARBAGE COMPACTOR, FKAA TANK CONC, EXISTING GATE, NEW RISER POLE, CONCRETE PEDESTRIAN PATH, and LIFT STATION.
- NOTES**: Various notes provide specific instructions for utility relocation, easement adjustments, and clear zone requirements.

3 PROPOSED CONCEPTUAL FIRST FLOOR PLAN

SCALE: 1" = 20'-0"



COLLEGE ROAD AFFORDABLE HOUSING

5220, 5224, 5228 & 5230 College Road

STOCK ISLAND, FLORIDA

A circular diagram with the label "A-3" in the center. The circle is divided into four quadrants by two intersecting diagonal lines. Each quadrant contains several parallel radial lines. There are four black rectangular blocks, one in each quadrant, positioned at the intersections of the diagonal lines and the radial lines.

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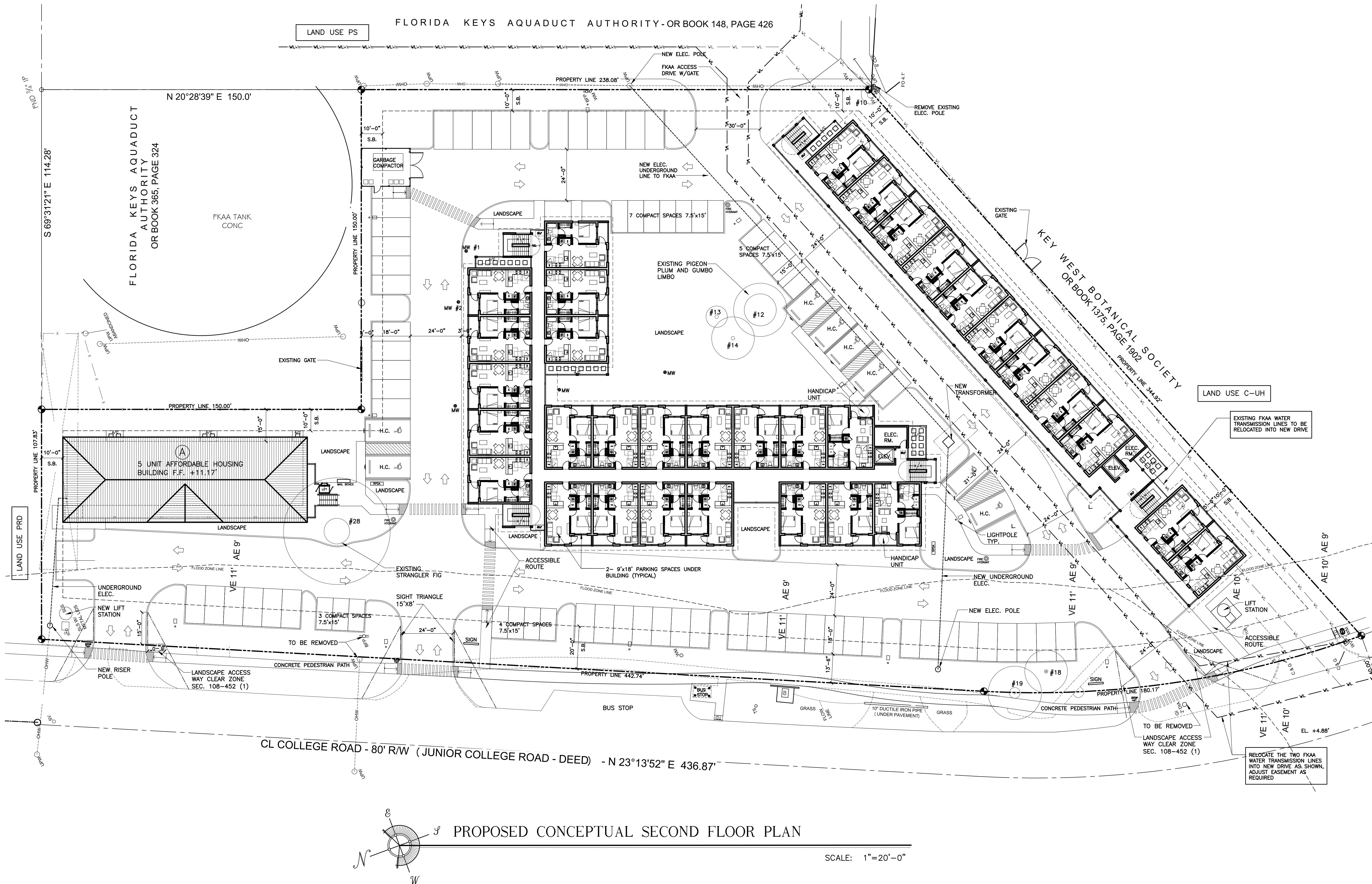
DATE

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04-15-19 PL. BD. SUBMISSION
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PROPOSED CONCEPTUAL SECOND FLOOR PLAN

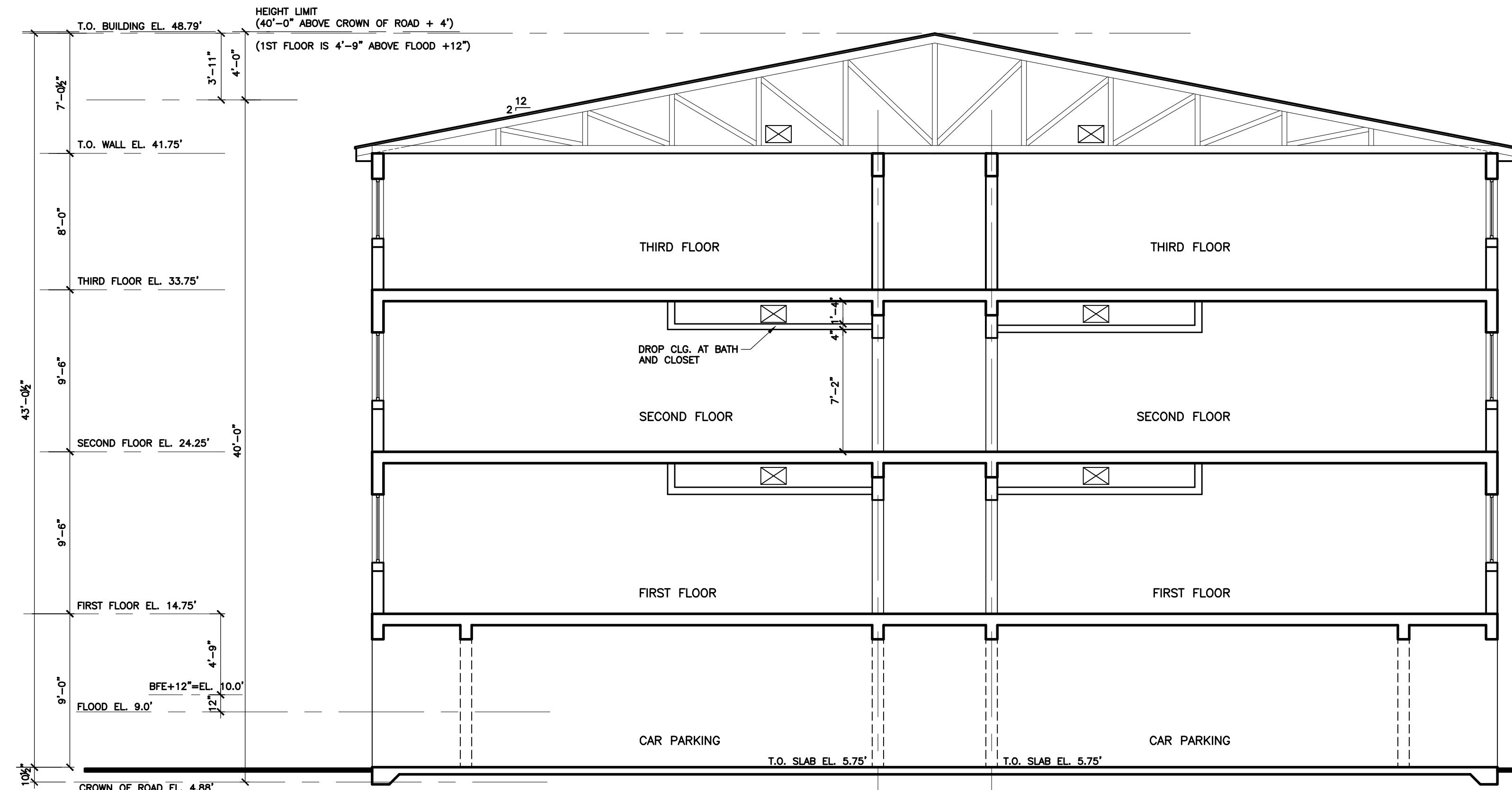
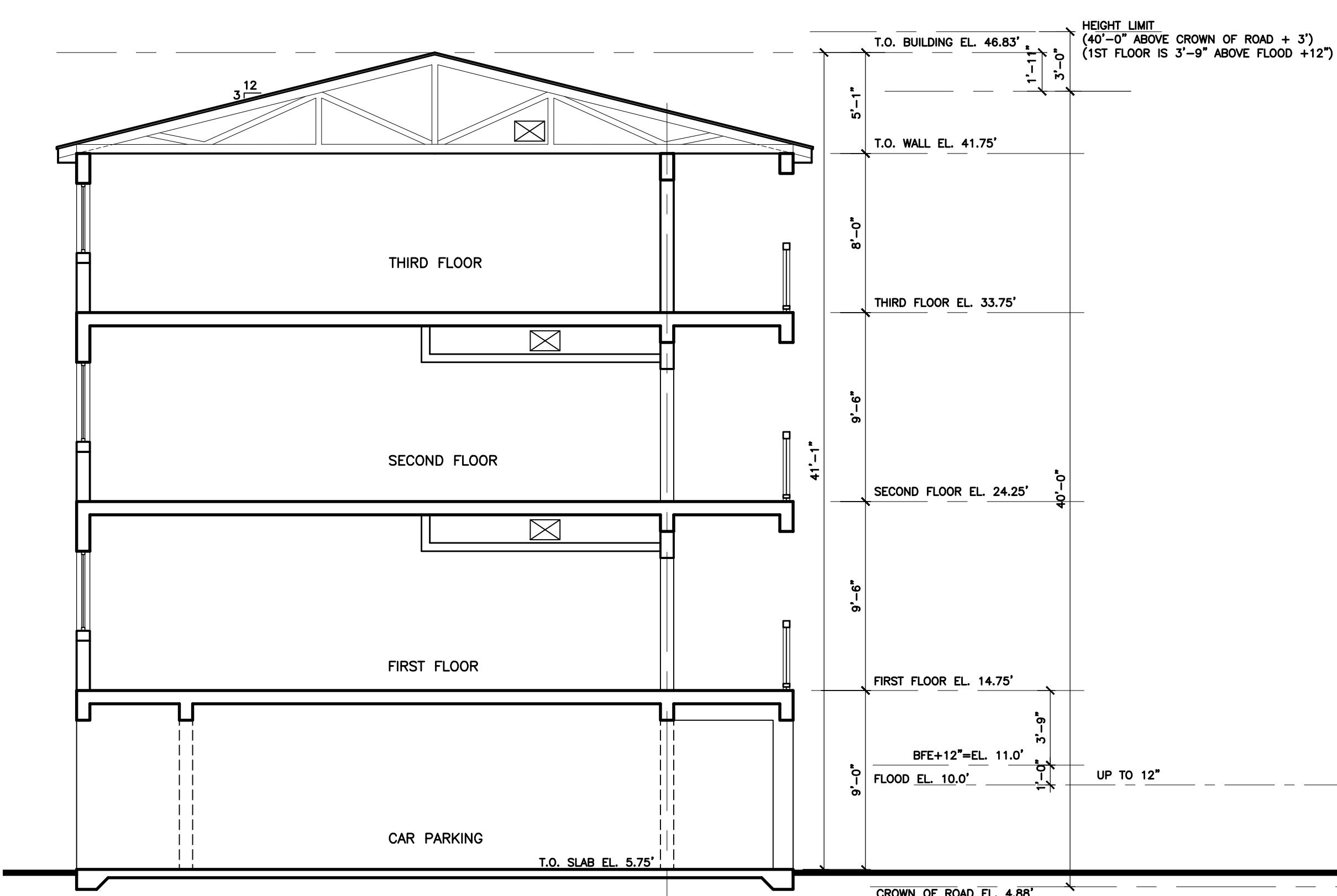
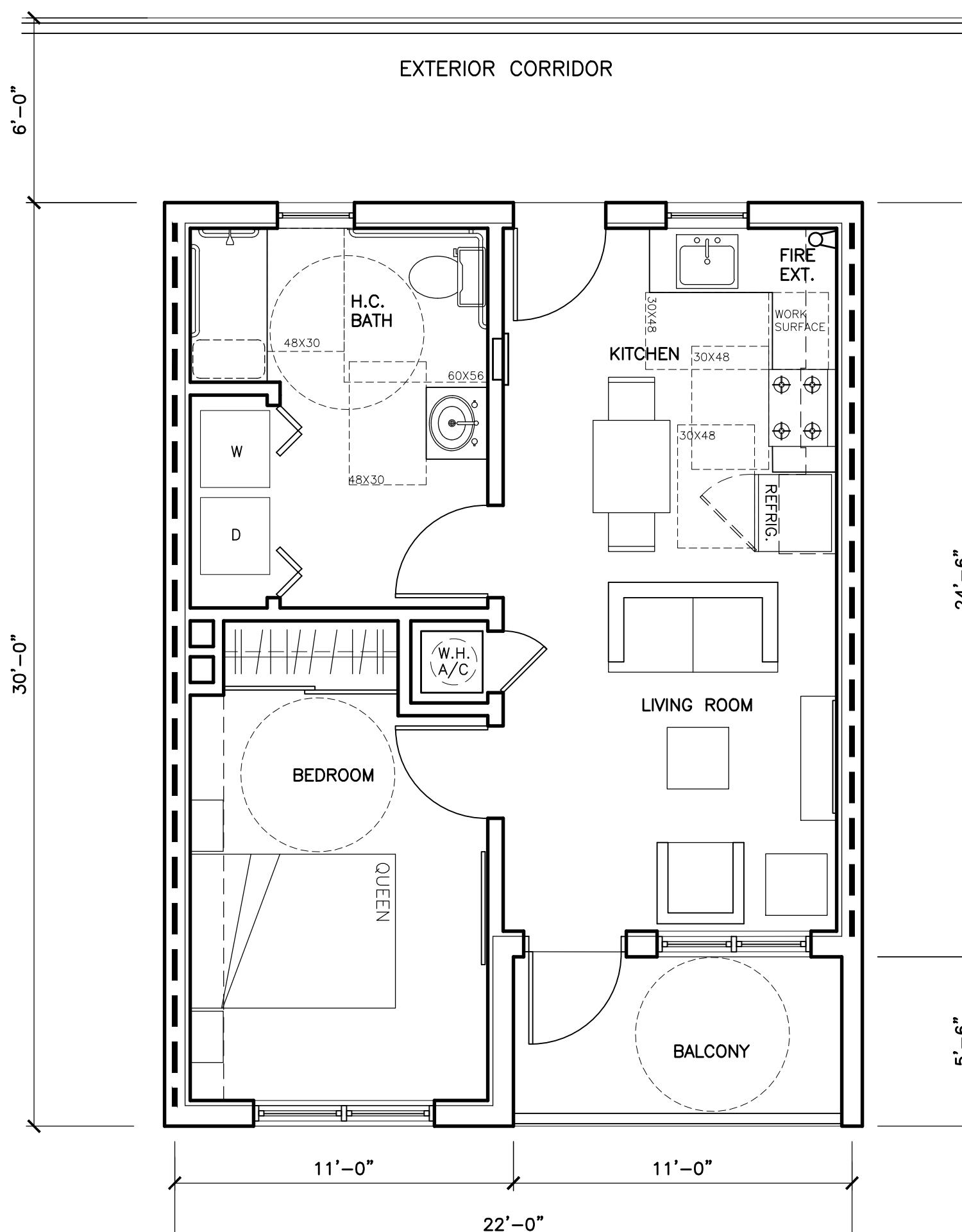
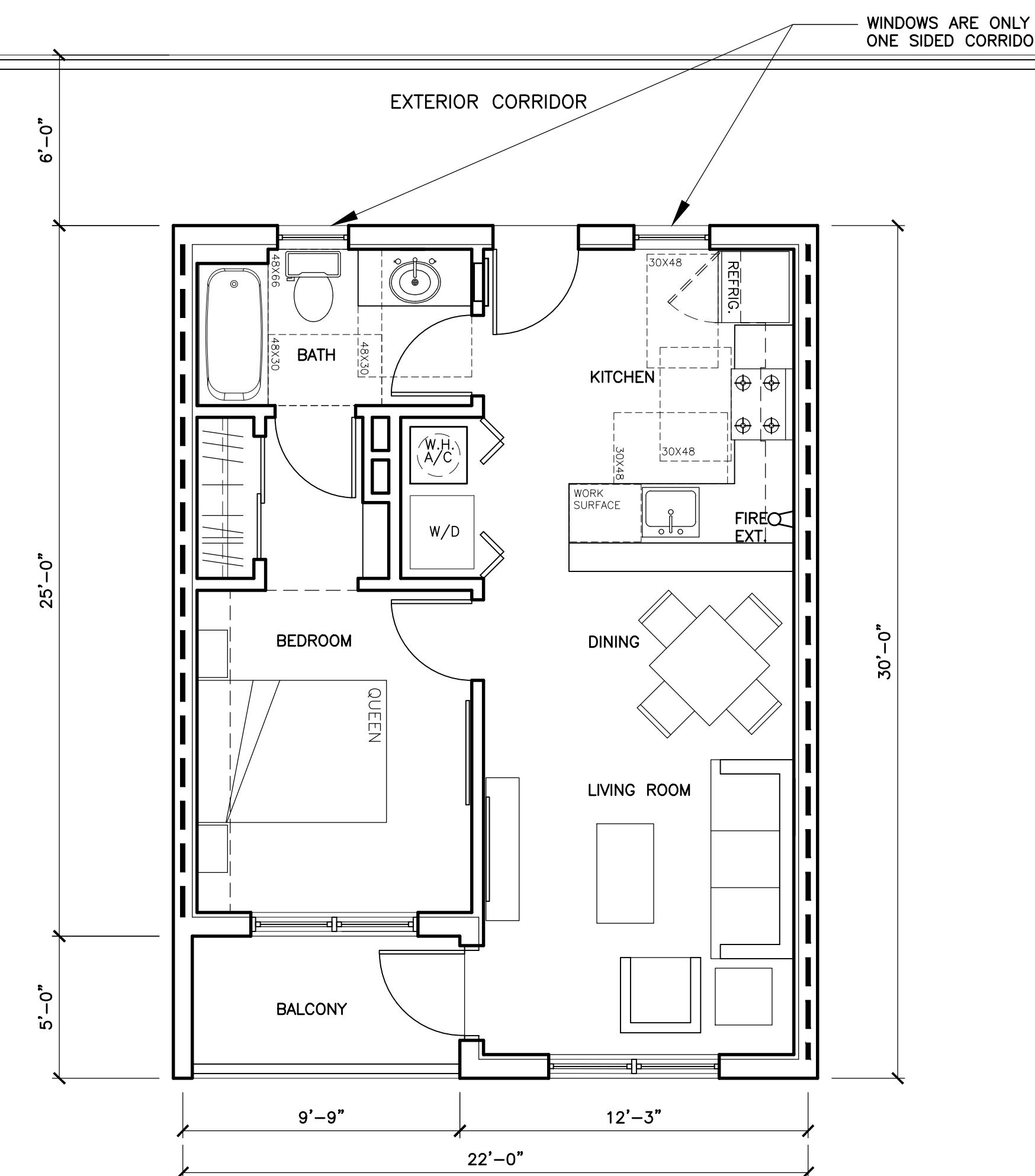
SCALE: 1" = 20'-0"

COLLEGE ROAD AFFORDABLE HOUSING

5220, 5224, 5228 & 5230 College Road

STOCK ISLAND, FLORIDA

COLLEGE ROAD
AFFORDABLE HOUSING
5220, 5224, 5228 & 5230
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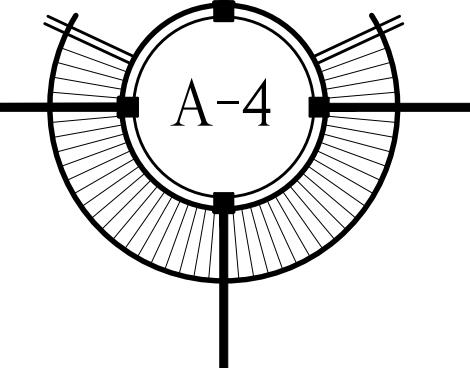
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04-23-19 TREE CONCEPTUAL
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COLLEGE ROAD ELEVATION

SCALE: 1"=20'-0"

**COLLEGE ROAD
AFFORDABLE HOUSING**

5220, 5224, 5228 & 5230
College Road
Stock Island, Florida



BUILDINGS A' & 'B' REAR ELEVATION

SCALE: 1"=20'-0"

SEAL



BUILDING 'B' SIDE ELEVATION

SCALE: 1"=20'-0"



BUILDING 'A' SIDE ELEVATION

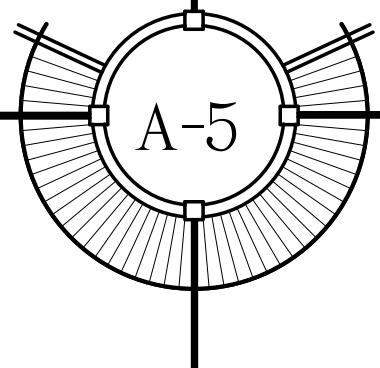
SCALE: 1"=20'-0"

DATE
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COLLEGE ROAD
AFFORDABLE HOUSING
5220, 5224, 5228 & 5230
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BUILDING 'B' INNER ELEVATION

SCALE: 1"=20'-0"



SEAL _____

BUILDING 'C' FRONT ELEVATION

SCALE: 1"=20'-0"

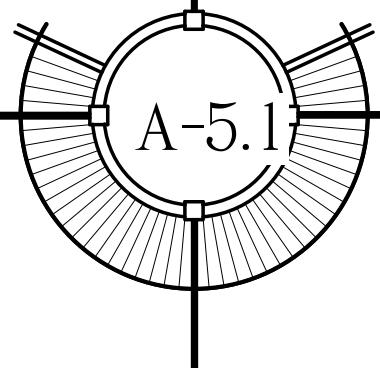


DATE
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① RENDERING 1



② RENDERING 2

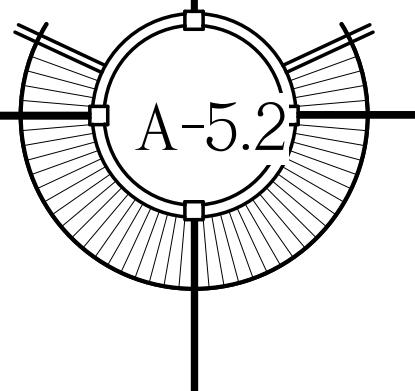
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A-5.2

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① RENDERING 3

SEAL



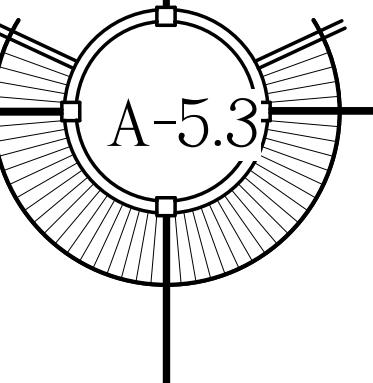
③ RENDERING 4

DATE
03-15-19 DRC
03-20-19 TREE COMMISSION
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04-15-19 PL.BD. SUBMISSION
06-03-19 PL.BD. REVISION

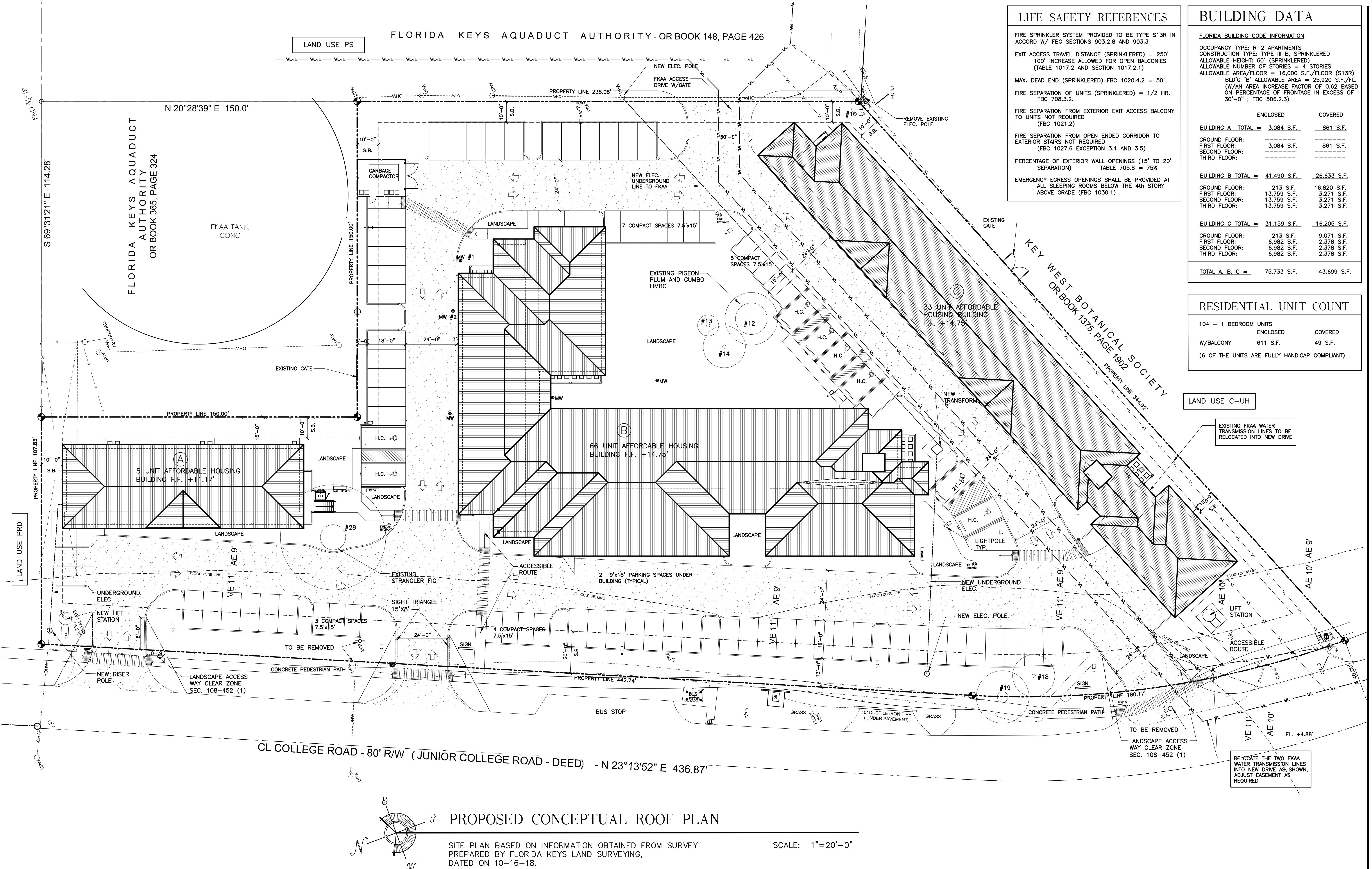
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COLLEGE ROAD AFFORDABLE HOUSING
5220, 5224, 5228 & 5230 College Road
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LIFE SAFETY REFERENCES

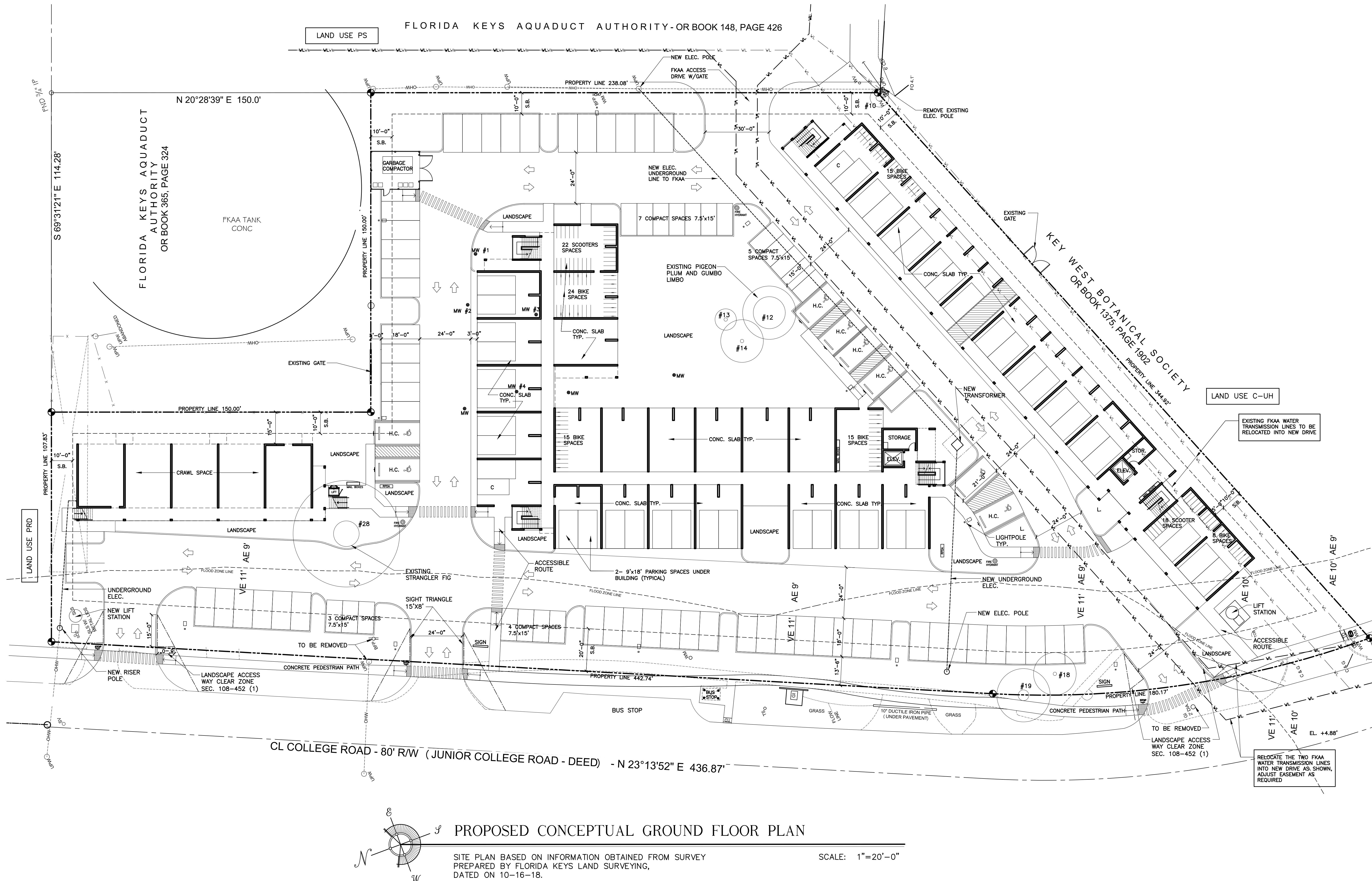
FIRE SPRINKLER SYSTEM PROVIDED TO BE TYPE S13R IN ACCORD W/ FBC SECTIONS 903.2.8 AND 903.3
EXIT ACCESS TRAVEL DISTANCE (SPRINKLERED) = 250'
100' INCREASE ALLOWED FOR OPEN BALCONIES
(TABLE 1017.2 AND SECTION 1017.2.1)
MAX. DEAD END (SPRINKLERED) FBC 1020.4.2 = 50'
FIRE SEPARATION OF UNITS (SPRINKLERED) = 1/2 HR.
FBC 708.3.2
FIRE SEPARATION FROM EXTERIOR EXIT ACCESS BALCONY TO UNITS NOT REQUIRED
(FBC 1021.2)
FIRE SEPARATION FROM OPEN ENDED CORRIDOR TO EXTERIOR STAIRS NOT REQUIRED
(FBC 1027.6 EXCEPTION 3.1 AND 3.5)
PERCENTAGE OF EXTERIOR WALL OPENINGS (15' TO 20' SEPARATION) TABLE 705.8 = 75%
EMERGENCY EGGS OPENINGS SHALL BE PROVIDED AT ALL SLEEPING ROOMS BELOW THE 4TH STORY ABOVE GRADE (FBC 1030.1)

BUILDING DATA

FLORIDA BUILDING CODE INFORMATION	
OCUPANCY TYPE: R-2 APARTMENTS	
CONSTRUCTION TYPE: TYPE III-B, SPRINKLERED	
ALLOWABLE HEIGHT: 60' (SPRINKLERED)	
ALLOWABLE NUMBER OF STOREYS = 4 STOREYS	
ALLOWABLE AREA/FLOOR = 16,000 S.F./FLOOR (S13R)	
BLDG "B" ALLOWABLE AREA = 25,920 S.F./FL (W/AN AREA INCREASE FACTOR OF 0.62 BASED ON PERCENTAGE OF FRONTAGE IN EXCESS OF 30' - FBC 506.2.3)	
ENCLOSED	COVERED
BUILDING A TOTAL = 3,084 S.F.	861 S.F.
GROUND FLOOR:	
FIRST FLOOR:	
SECOND FLOOR:	
THIRD FLOOR:	
BUILDING B TOTAL = 41,490 S.F.	26,633 S.F.
GROUND FLOOR:	
FIRST FLOOR:	
SECOND FLOOR:	
THIRD FLOOR:	
BUILDING C TOTAL = 31,159 S.F.	16,205 S.F.
GROUND FLOOR:	
FIRST FLOOR:	
SECOND FLOOR:	
THIRD FLOOR:	
TOTAL A, B, C = 75,733 S.F.	43,699 S.F.

COLLEGE ROAD
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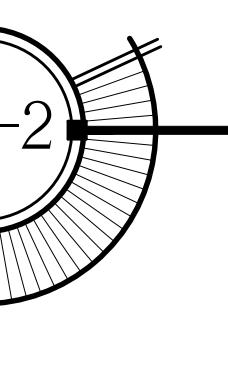
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04-15-19 PL. BD. SUBMISSION
04-23-19 TREE CONCEPTUAL
06-03-19 PL. BD. REVISION

REVISIONS

DRAWN BY

JW

PROJECT NUMBER
1808



COLLEGE ROAD AFFORDABLE HOUSING
5220, 5224, 5228 & 5230 College Road
STOCK ISLAND, FLORIDA

915 EATON ST
KEY WEST,
FLORIDA
33040

TEL. (305) 296-8302
FAX (305) 296-1033

LICENSE NO.
AA 0003040

**COLLEGE ROAD
AFFORDABLE HOUSING
5220, 5224, 5228 & 5230
College Road
STOCK ISLAND, FLORIDA.**

SEAL

DATE

03-15-19 DRC
03-20-19 TREE COMMISSION
04-05-19 DEMO SUBMISSION
04-15-19 PL. BD. SUBMISSION
04-23-19 TREE CONCEPTUAL
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REVISIONS

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JW

**PROJECT
NUMBER**

ELECTRICAL LEGEND

-  EXIT SIGN WITH EMERGENCY LIGHTING DIRECTIONAL ARROW AS INDICATED
- WP WATER PROOF ITEM
-  SMOKE DETECTOR (HARDWIRE)
- WP WATER PROOF ITEM
-  RECESSED ELECTRIC PANEL
-  DISCONNECT SWITCH
-  FIRE EXTINGUISHER, SURFACE MOUNT ABC TYPE
-  RECESSED FIRE EXTINGUISHER ABC TYPE
-  FIRE ALARM PULL STATION
-  EMERGENCY LIGHT
-  H.C. STROBE LIGHT AND HORN

FLORIDA KEYS AQUADUCT AUTHORITY - OR BOOK 148, PAGE 426

LAND USE PS

N 20°28'39" E 150.0'

S 69°31'21" E 114.28'

FLORIDA KEYS AQUADUCT AUTHORITY OR BOOK 365, PAGE 324

KEY WEST BOTANICAL SOCIETY PROPERTY LINE 1375, PAGE 1902 PROPERTY LINE 344.53'

ELECTRICAL LEGEND

LAND USE C-UH

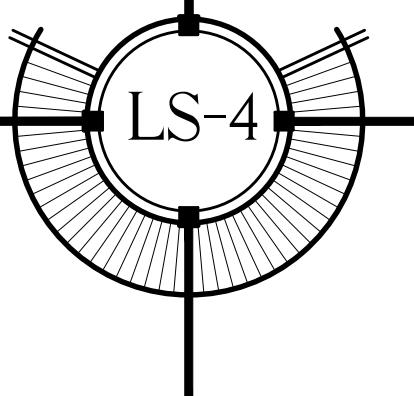
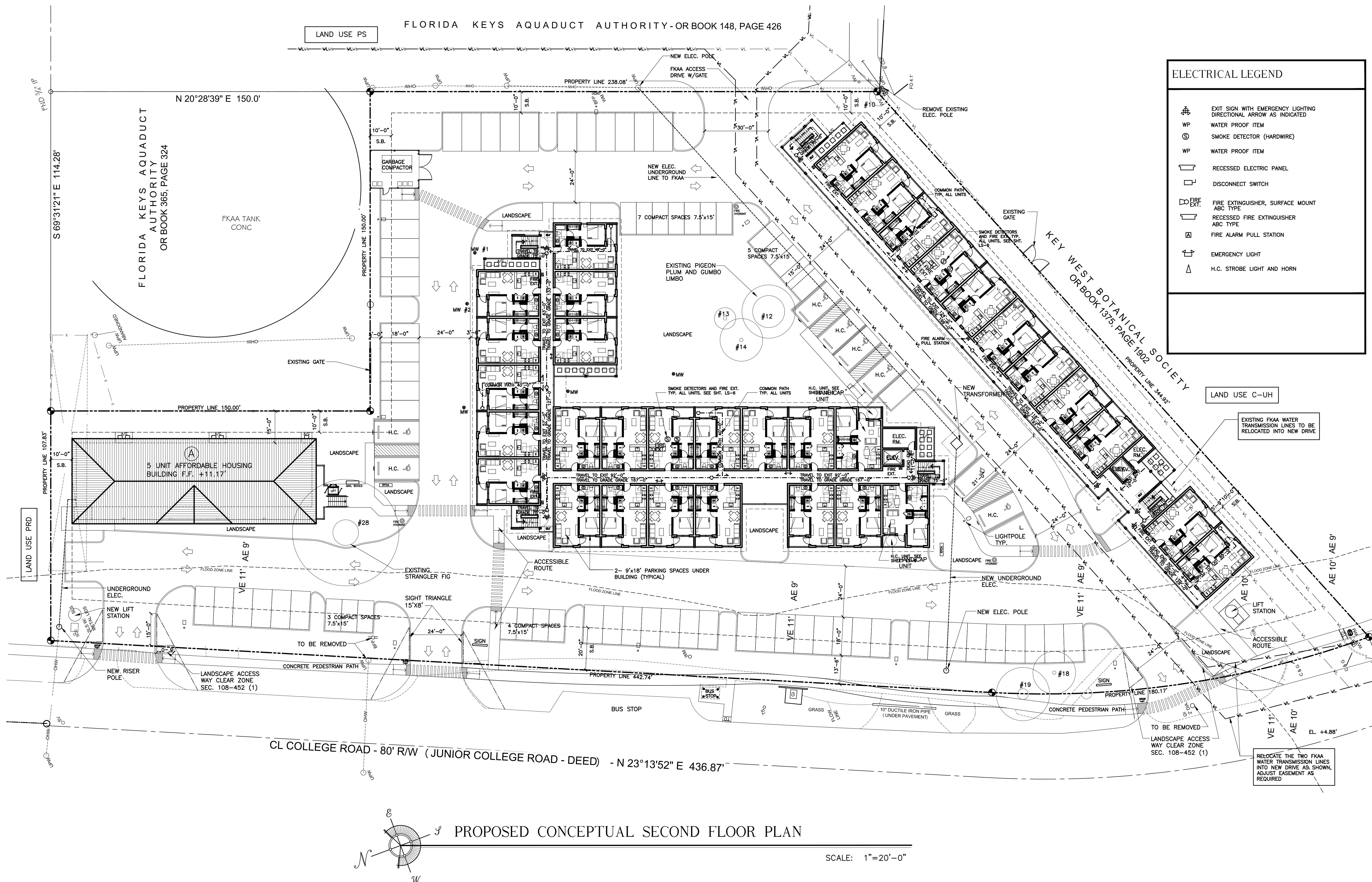
EXISTING FKAA WATER TRANSMISSION LINES TO BE RELOCATED INTO NEW DRIVE

RELOCATE THE TWO FKAA WATER TRANSMISSION LINES INTO NEW DRIVE AS SHOWN, ADJUST EASEMENT AS REQUIRED

PROPOSED CONCEPTUAL FIRST FLOOR PLAN

SCALE: 1"=20'-0"

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COLLEGE ROAD
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College Road
TOCK ISLAND, FLORIDA.

ELECTRICAL LEGEND

 EXIT SIGN WITH EMERGENCY LIGHTING
DIRECTIONAL ARROW AS INDICATED

WP WATER PROOF ITEM

 SMOKE DETECTOR (HARDWIRE)

WP WATER PROOF ITEM

 RECESSED ELECTRIC PANEL

 DISCONNECT SWITCH

 FIRE EXTINGUISHER, SURFACE MOUNT
ABC TYPE

 RECESSED FIRE EXTINGUISHER
ABC TYPE

 FIRE ALARM PULL STATION

 EMERGENCY LIGHT

 H.C. STROBE LIGHT AND HORN

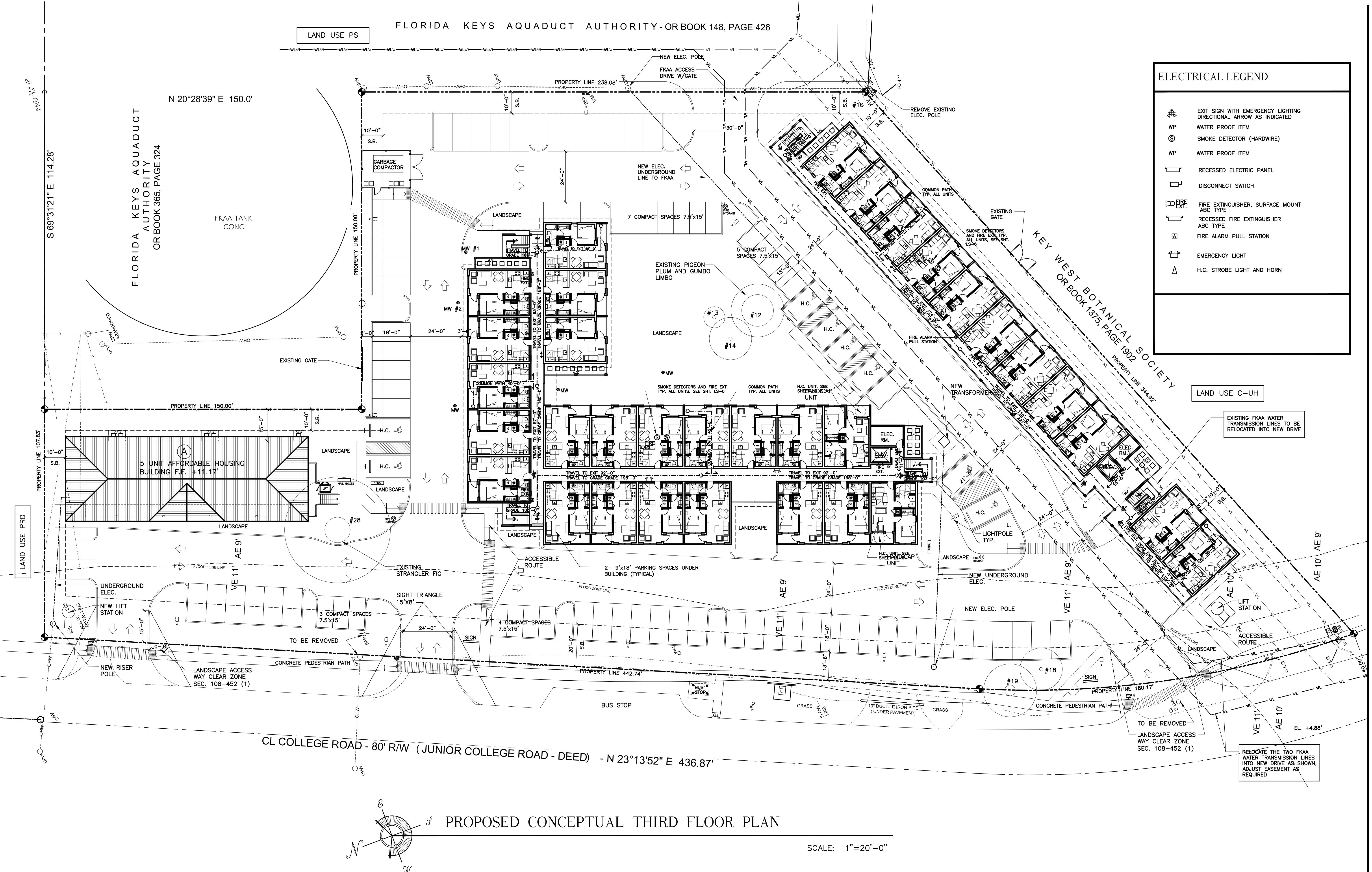
DATE

3-15-19 DRC
3-20-19 TREE COMMISSION
4-05-19 DEMO SUBMISSION
4-15-19 PL. BD. SUBMISSION
4-23-19 TREE CONCEPTUAL
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3 PROPOSED CONCEPTUAL THIRD FLOOR PLAN

SCALE: 1" = 20'-0"

COLLEGE ROAD AFFORDABLE HOUSING
5220, 5224, 5228 & 5230 College Road
STOCK ISLAND, FLORIDA

WILLIAM P. HORN
ARCHITECT, P.A.

15 EATON ST.
KEY WEST,
FLORIDA
3040

EL. (305) 296-8302
AX (305) 296-1033

LICENSE NO.
A 0003040

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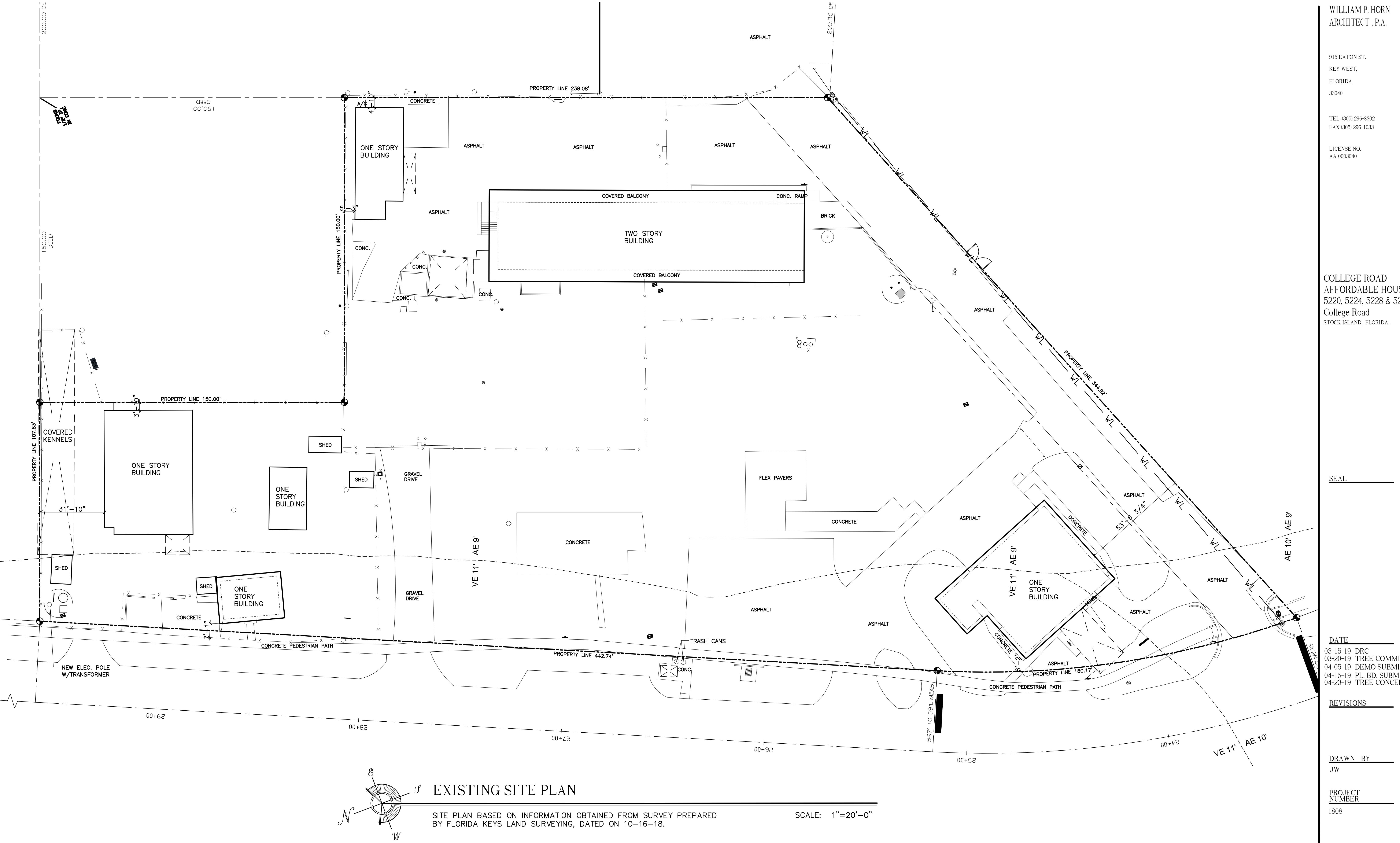
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DATE

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10 EXISTING SITE PLAN

SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY PREPARED BY FLORIDA KEYS LAND SURVEYING, DATED ON 10-16-18.

SCALE: 1" = 20' - 0"

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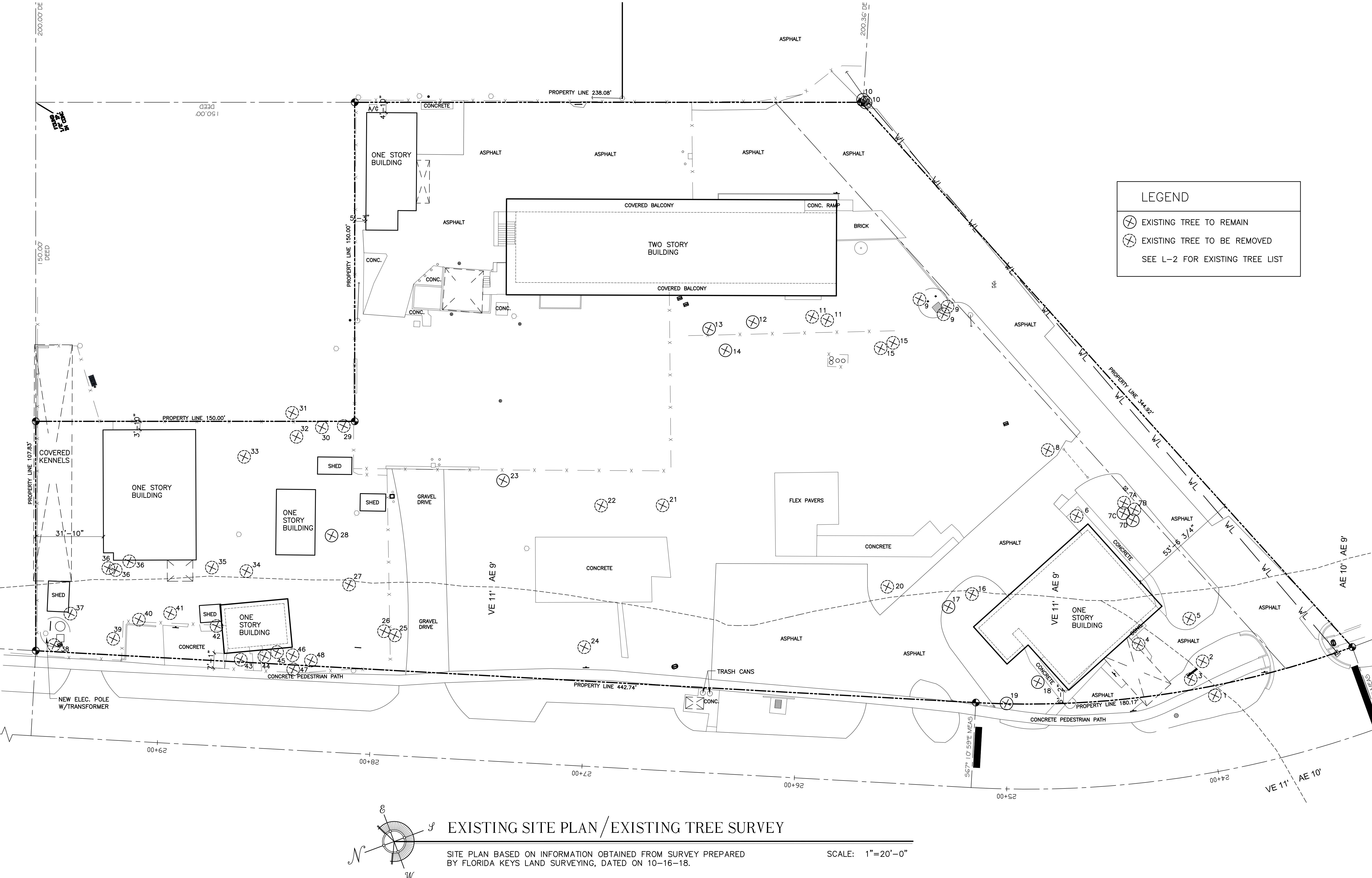
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03-15-19 DRC
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04-23-19 TREE CONCEPTUAL

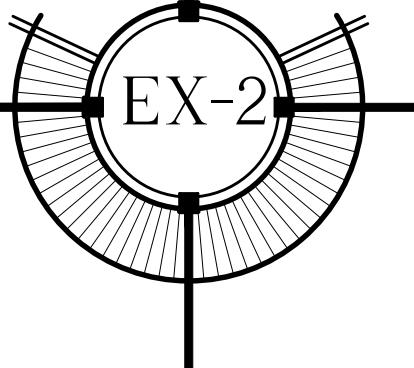
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COLLEGE ROAD AFFORDABLE HOUSING
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STOCK ISLAND, FLORIDA



EX-2

COLLEGE ROAD
AFFORDABLE HOUSING
5220, 5224, 5228 & 5230
College Road

STOCK ISLAND, FLORIDA.

SEAL

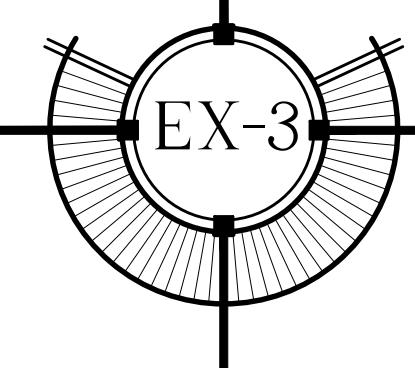
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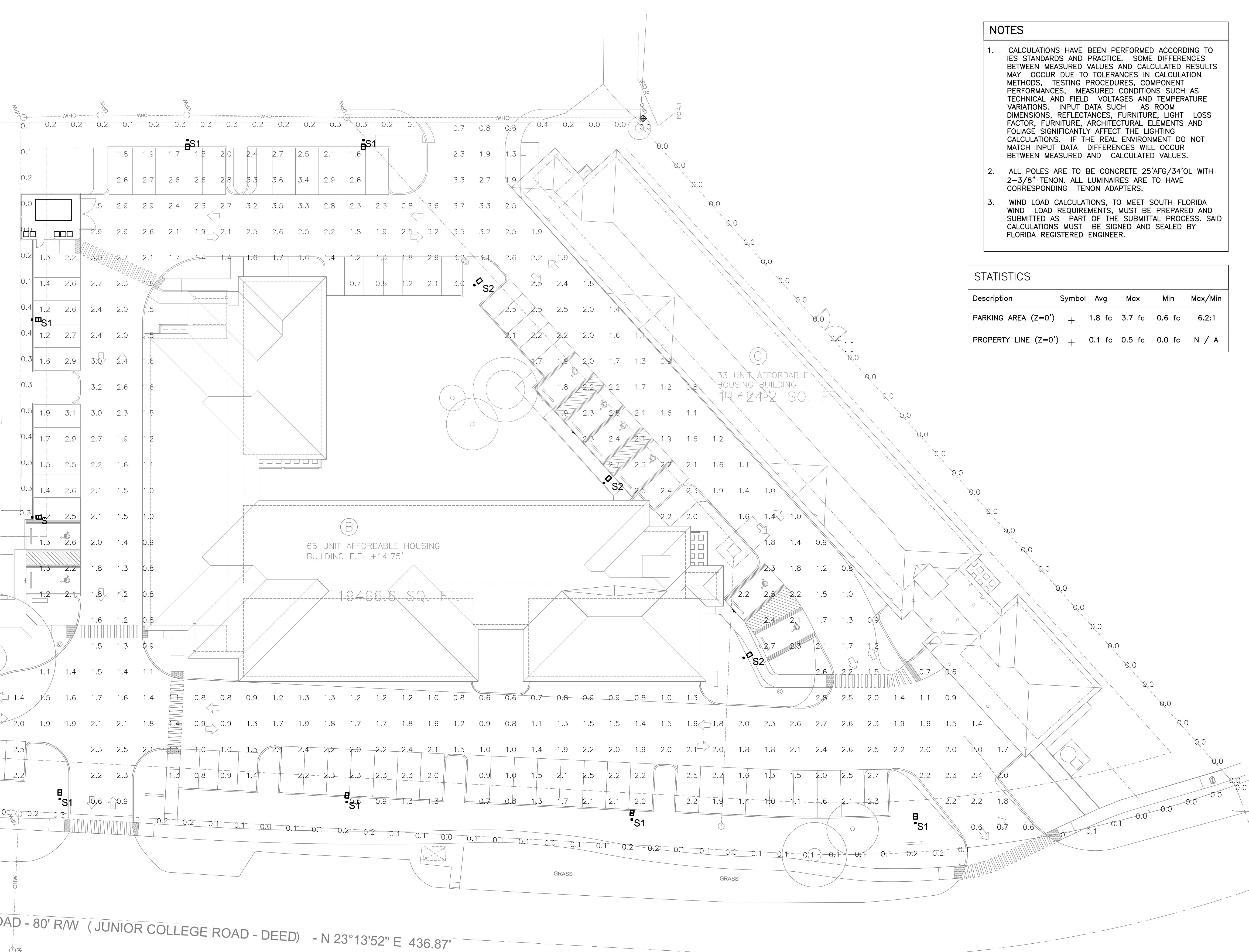
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Tree #	Common Name	Scientific Name	TC Status	Size	Project Status	Condition
1	Pink Tabebuia	<i>Tabebuia heterophylla</i>	NPR	18.1" dbh	Remove-NPR	Good, double trunk, along ROW
2	Silver Buttonwood	<i>Conocarpus erectus</i>	Protected	19.1" dbh	Remove-TC	Fair, low multitrunked
3	Pink Tabebuia	<i>Tabebuia heterophylla</i>	NPR	15" dbh	Remove-NPR	Good
4	Coconut Palm	<i>Cocos nucifera</i>	Protected	10 ft tall	Remove-TC	very close to building, transplant
5	Jamaican Dogwood	<i>Piscidia piscipula</i>	Protected	3.5" dbh	Remove-TC	Poor
6	Mahogany	<i>Swietenia mahogani</i>	Protected	29.2" dbh	Remain	Good
7a	African Tulip Clump	<i>Spathodea campanulata</i>	Regulated	22.6" dbh	Remove-TC	Fair-d trunks in one rootball with Mahogany #7a-Canopy in utility lines growing in African Tulip rootball-clump
7b	Mahogany	<i>Swietenia mahogani</i>	Protected	5" dbh	Remove-TC	#7a-canopy in utility lines
7c	Thatch Palm Clump	<i>Thrinax sp.</i>	Protected		Transplant	3 trunks
7d	Thatch Palm	<i>Thrinax sp.</i>	Protected		Transplant	1 trunk
7e	African Tulip	<i>Spathodea campanulata</i>	Regulated	6.3" dbh	Remove-TC	Fair to poor
8a	Jamaican Dogwood	<i>Piscidia piscipula</i>	Protected	21.9" dbh	Remove-TC	Poor
8b	Brazilian Pepper	<i>Schinus terebinthifolia</i>	NPR	20.7" dbh	Remove-NPR	Invasive
8c	Mahogany	<i>Swietenia mahogani</i>	Protected	20.7" dbh	Remove-TC	Poor-growing in Jamaican Dogwood and Brazilian pepper rootballs
9a	Silver Buttonwood Clump	<i>Conocarpus erectus</i>	Protected	7" dbh	Remove-TC	Poor-Multi trunked, overgrown shrub
9b	Silver Buttonwood Clump	<i>Conocarpus erectus</i>	Protected	9.5" dbh	Remove-TC	Poor-Multi trunked, overgrown shrub
9c	Silver Buttonwood Clump	<i>Conocarpus erectus</i>	Protected	16" dbh	Remove-TC	Poor-Multi trunked large overgrown shrub
9d	Jamaica Caper	<i>Capparis cynophallophora</i>	Protected	20" dbh	Remove-TC	Fair-multi trunked hedge Good-in corner, out of proposed work area
10a	Thatch Palm Clump	<i>Thrinax sp.</i>	Protected		Remain	
10b	Blolly	<i>Guapira discolor</i>	Protected		Remain	Good-in corner, out of proposed work area
11a	Alexander Palm	<i>Archontophoenix alexandrae</i>	Regulated	plus 10 ft	Remove-TC	
11b	Banana Plants	<i>Musa sp.</i>	NPR		Remove-NPR	
12a	Dead Tree	NA	NPR		NA	Dead
12b	Limber Caper	<i>Capparis flexuosa</i>	Protected	9" dbh	Remain	Good-overgrown shrub
12c	Gumbo Limbo	<i>Bursera simaruba</i>	Protected	10" dbh	Remain	Fair-multi trunked, poor structure
12d	Pigeon Plum	<i>Coccoloba diversifolia</i>	Protected	10.5" dbh	Remain	Good-multi trunked
13	Thatch Palm Clump	<i>Thrinax sp.</i>	Protected		Remain	Good-3 Clumps (4 trunks)
14	Gumbo Limbo	<i>Bursera simaruba</i>	Protected	17.5" dbh	Remain	Good
15a	Mahogany	<i>Swietenia mahogani</i>	Protected	31.8" dbh	Remove-TC	Fair-canopy heavily impacted by hurricane
15b	Banana Plants	<i>Musa sp.</i>	NPR		Remove-NPR	
16	Pink Tabebuia	<i>Tabebuia heterophylla</i>	NPR	9.5" dbh	Remove-NPR	Fair to good-transplant?
17	Thatch Palm	<i>Thrinax sp.</i>	Protected	6 ft tall	Transplant	Good
18	Pink Tabebuia	<i>Tabebuia heterophylla</i>	NPR	9.5" dbh	Remain	Fair-surface root and strong lean
19	Pink Tabebuia	<i>Tabebuia heterophylla</i>	Regulated	26.1" dbh	Remain	Fair-close to sidewalk
20	Tropical Almond	<i>Terminalia catappa</i>	Regulated	36.9" dbh	Remove-TC	Fair-multi trunked, poor structure
21	Coconut Palm	<i>Cocos nucifera</i>	Protected	25 ft tall	Remove-TC	Fair-strong trunk lean
22a	Bottlebrush	<i>Callistemon sp.</i>	Regulated	37.8" dbh	Remove-TC	Fair to poor-multi trunked
22b	Gumbo Limbo	<i>Bursera simaruba</i>	Protected	5" dbh	Remove-TC	Fair-poor structure
23	Thatch Palm	<i>Thrinax sp.</i>	Protected	6 ft tall	Transplant	Good-growing with a clump including hibiscus and Brazilian Pepper (NPR)
24	Pink Tabebuia	<i>Tabebuia heterophylla</i>	Regulated	26.7" dbh	Remove-TC	Poor-multi trunked, ficus growing in it
25a	Silver Buttonwood	<i>Conocarpus erectus</i>	Protected	9" dbh	Remove-TC	Fair-overgrown shrubs
25b	Silver Buttonwood	<i>Conocarpus erectus</i>	Protected	25" dbh	Remove-TC	Fair-overgrown shrubs
25c	Silver Buttonwood	<i>Conocarpus erectus</i>	Protected	4" dbh	Remove-TC	Fair-overgrown shrubs
25d	Bougainvillea	<i>Bougainvillea sp.</i>	NPR		Remove-NPR	Poor
26	Tropical Almond	<i>Terminalia catappa</i>	NPR	11.4"	Remove-NPR	Fair to good
27	Coconut Palm	<i>Cocos nucifera</i>	Protected	30 ft tall	Remove-TC	Poor-heavy lean
28	Strangler Fig	<i>Ficus aurea</i>	Protected	?	Remain	Fair-very large diameter
29	Tropical Almond	<i>Terminalia catappa</i>	NPR	20.7" dbh	Remove-NPR	Fair to poor
30	Tropical Almond	<i>Terminalia catappa</i>	NPR	7.6" dbh	Remove-NPR	Poor
31	Banana Plants	<i>Musa sp.</i>	NPR		Remove-NPR	
32	Tropical Almond	<i>Terminalia catappa</i>	NPR	7.6" dbh	Remove-NPR	Poor-canopy cut off-resprouts
33	Tropical Almond	<i>Terminalia catappa</i>	NPR	21.9" dbh	Remove-NPR	Good
34	Tropical Almond	<i>Terminalia catappa</i>	Regulated	28.9" dbh	Remove-TC	Poor
35	Tropical Almond	<i>Terminalia catappa</i>	NPR	9.8" dbh	Remove-NPR	Fair to poor
36a	Ficus Benjamin	<i>Ficus benjamina</i>	NPR	NA	Remove-NPR	Poor
36b	African Tulip	<i>Spathodea campanulata</i>	Regulated	7.9" dbh	Remove-TC	Fair-double trunk
36c	African Tulip	<i>Spathodea campanulata</i>	NPR	3.1" dbi	Remove-NPR	Poor-stump that has resprouted
36d	African Tulip	<i>Spathodea campanulata</i>	Regulated	7.3" dbh	Remove-TC	Poor
37	Fiddlewood	<i>Citharexylum fruticosum</i>	Protected	5.7"	Remove-TC	Fair
38	Tropical Almond	<i>Terminalia catappa</i>	NPR	10.1" dbh	Remove-NPR	Fair-canopy one sided
39	Young Tropical Almond	<i>Terminalia catappa</i>	NPR	14" dbh	Remove-NPR	Fair
40	Clump	<i>Terminalia catappa</i>	NPR	NA	Remove-NPR	
41	Royal Palm	<i>Roystonea elata</i>	Protected	30 ft tall	Remove-TC	Good
42	Ornamental Shrubs and Banana Trees	NA	NPR	NA	Remove-NPR	
43	Simpson Stopper Shrubs, Bouganvillea, & Other Ornamental Shrubs	NA	NPR	NA	Remove-NPR	Maintained as shrubs
44	Jatropha	<i>Jatropha sp.</i>	Regulated	7.6"	Remove-TC	Poor-crack in main trunk
45	Stoppers	NA	NPR	NA	Remove-NPR	Maintained as shrubs
46	Silver Buttonwood	<i>Conocarpus erectus</i>	Protected	7.6" dbh	Remove-TC	Fair
47	Umbrella Tree	<i>Schefflera actinophylla</i>	NPR	NA	Remove-NPR	
48	Silver Buttonwood	<i>Conocarpus erectus</i>	Protected	7.2"	Remove-TC	Fair



LUMINAIRE SCHEDULE						
Symbol	Label	Description	Lamp	Lumens	LLF	
■	S	CAST BLACK PAINTED FINNED METAL HOUSING, CAST BLACK PAINTED METAL DRIVER COVER, 4 CIRCUIT BOARDS, EACH WITH 12 LEDS, 1 CLEAR PLASTIC OPTIC BELOW EACH LED, 1 MOLDED BLACK PLASTIC HOUSE SIDE SHIELD BELOW EACH OPTIC, 1 FORMED SEMI-SPECULAR METAL OPTIC MOUNTING PLATE BELOW EACH CIRCUIT BOARD.	FORTY WHITE LIGHT EMITTING DIODES (LEDS), VERTICAL BASE—UP POSITION. NEUTRAL WHITE, 4000K LED, 1050mA DRIVE CURRENT. PRORATED FROM ITLB8039.	Absolute	0.85	161
■	S1	CAST BLACK PAINTED FINNED METAL HOUSING, CAST BLACK PAINTED METAL DRIVER COVER, 4 CIRCUIT BOARDS, EACH WITH 12 LEDS, 1 CLEAR PLASTIC OPTIC BELOW EACH LED, 1 MOLDED BLACK PLASTIC HOUSE SIDE SHIELD BELOW EACH OPTIC, 1 FORMED SEMI-SPECULAR METAL OPTIC MOUNTING PLATE BELOW EACH CIRCUIT BOARD.	FORTY WHITE LIGHT EMITTING DIODES (LEDS), VERTICAL BASE—UP POSITION. NEUTRAL WHITE, 4000K LED, 1050mA DRIVE CURRENT. PRORATED FROM ITLB8043.	Absolute	0.85	161
□	S2	CAST BLACK PAINTED FINNED METAL HOUSING, CAST BLACK PAINTED METAL DRIVER COVER, 4 CIRCUIT BOARDS, EACH WITH 12 LEDS, 1 CLEAR PLASTIC OPTIC BELOW EACH LED, 1 FORMED SEMI-SPECULAR METAL OPTIC MOUNTING PLATE BELOW EACH CIRCUIT BOARD.	FORTY EIGHT WHITE LIGHT EMITTING DIODES (LEDS), VERTICAL BASE—UP POSITION. NEUTRAL WHITE, 4000K LED, 1050mA DRIVE CURRENT. PRORATED FROM ITLB8042.	Absolute	0.85	161

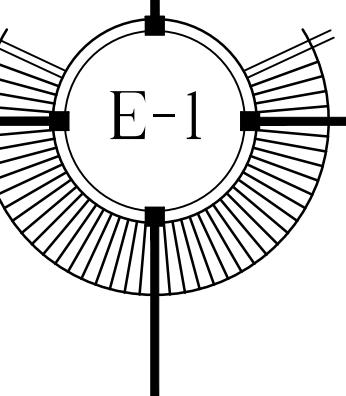
NOTE: ELECTRICAL CONTRACTOR TO PURCHASE AND INSTALL ACUITY # FAO INSIDE EACH LUMINAIRE TO RESTRICT LIGHT OUTPUT IF NEEDED AFTER INSTALL.



COLLEGE ROAD AFFORDABLE HOUSING
5220, 5224, 5228 & 5230 College Road
STOCK ISLAND, FLORIDA

SCALE: 1"=20'-0"

Innovative Engineering Group Inc. CA#6717
2500 NW 70th Ave. #240
Doral, FL 33122
305-468-1783
Sudhir K. Gupta, P.E.
Fla. Reg. No. 29199



- NOTES
- CALCULATIONS HAVE BEEN PERFORMED ACCORDING TO IES STANDARDS AND PRACTICE. SOME DIFFERENCES BETWEEN MEASURED VALUES AND CALCULATED RESULTS MAY OCCUR DUE TO TOLERANCES IN CALCULATION METHODS, TESTING PROCEDURES, COMPONENT PERFORMANCES, MEASURED CONDITIONS SUCH AS TECHNICAL AND FIELD VOLTAGES AND TEMPERATURE VARIATIONS, INPUT DATA SUCH AS ROOM DIMENSIONS, REFLECTANCES, FURNITURE, LIGHT LOSS FACTOR, FURNITURE, ARCHITECTURAL ELEMENTS AND FOLIAGE SIGNIFICANTLY AFFECT THE LIGHTING CALCULATIONS. IF THE REAL ENVIRONMENT DO NOT MATCH INPUT DATA, DIFFERENCES WILL OCCUR BETWEEN MEASURED AND CALCULATED VALUES.
 - ALL POLES ARE TO BE CONCRETE 25"AG/34"OL WITH 2-3/8" TENON. ALL LUMINAIRES ARE TO HAVE CORRESPONDING TENON ADAPTERS.
 - WIND LOAD CALCULATIONS, TO MEET SOUTH FLORIDA WIND LOAD REQUIREMENTS, MUST BE PREPARED AND SUBMITTED AS PART OF THE SUBMITTAL PROCESS. SAID CALCULATIONS MUST BE SIGNED AND SEALED BY FLORIDA REGISTERED ENGINEER.

STATISTICS				
Description	Symbol	Avg	Max	Min
PARKING AREA (Z=0')	+	1.8 fc	3.7 fc	0.6 fc
PROPERTY LINE (Z=0')	+	0.1 fc	0.5 fc	0.0 fc
		N/A		

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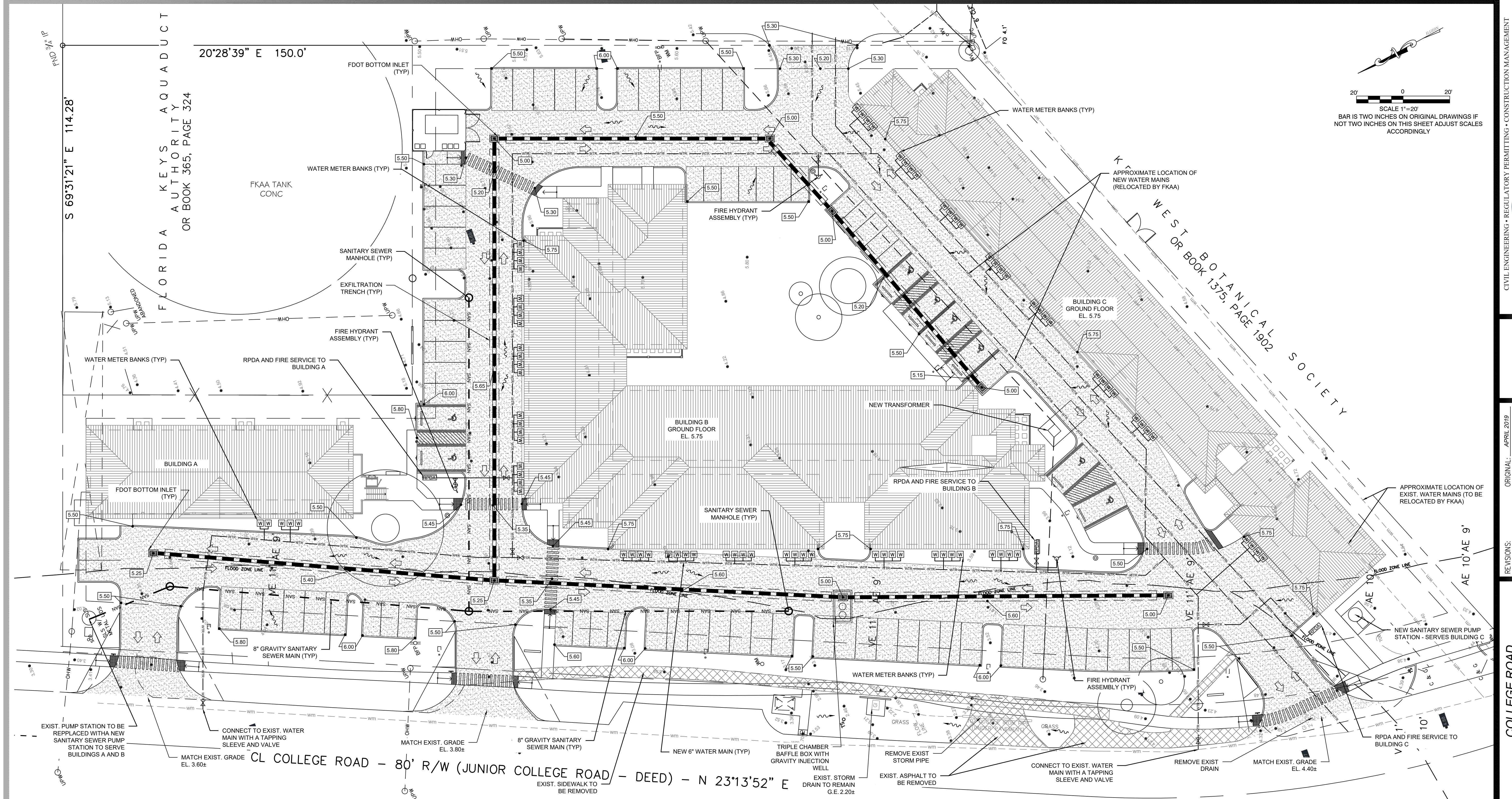
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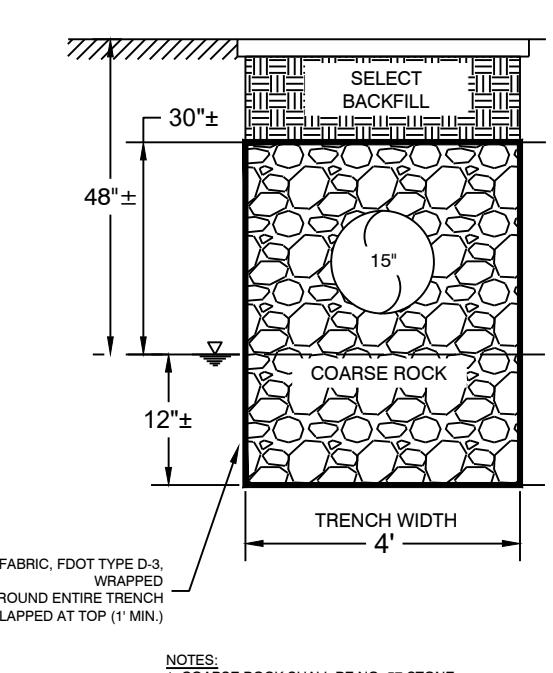
WATER QUANTITY CALCULATIONS

Water Quantity - Predevelopment					
Project Area	2.664	ac	116,025	sf	
Pervious Area	1.480	ac	64,453	sf	
Impervious Area	1.184	ac	51,572	sf	
% Impervious	44.45%				
Rainfall for 25yr/24hr event	P ₂₄ =	8	in		
Rainfall for 25yr/3day event	P ₇₂ =	10.87	in		
Depth to Water Table		4	ft		
Predeveloped Available Storage	S =	8.18	in		
Soil Storage		4.54	in		
$Q_{pre} = (P_{72} - 0.2S)^2$ ($P_{72} + 0.8S$)	$Q_{pre} =$	6.84	in		
Runoff Volume from 25 year/ 3 day storm	V _{25y/72h} =	18.23	ac-in		

Water Quantity - Postdevelopment					
Project Area	A =	2.664	ac	116,025	sf
Pervious Area		0.588	ac	25,619	sf
Impervious Area		2.075	ac	90,406	sf
% Impervious		77.9%			
Rainfall for 25yr/24hr event	P ₂₄ =	8	in		
Rainfall for 25yr/3day event	P ₇₂ =	10.87	in		
Depth to Water Table		4	ft		
Developed Available Storage	S =	8.18	in		
Soil Storage		1.81	in		
$Q_{post} = (P_{24} - 0.2S)^2$ ($P_{24} + 0.8S$)	$Q_{post} =$	8.97	in		
Runoff Volume from 25 year/ 3 day storm	V _{25y/72h} =	23.89	ac-in		
Postdevelopment - Predevelopment					
$Q_{pre-post} = Q_{post} - Q_{pre}$	$Q_{pre-post} =$	2.13	in		
Pre/Post Volume = $Q_{pre-post} \times A$	V _{pre-post} =	5.67	ac-in		

Water Quality Calculations					
Water Quality					
Basin Area	2.664	ac	116,025	sf	
Surface Water	0.000	ac	0	sf	
Roof Area	0.889	ac	38,725	sf	
Pavement/Walkways	1.186	ac	51,681	sf	
Pervious area	0.588	ac	25,619	sf	
Impervious area for Water Quality					
(Site area for Water Quality - Pervious area)	1.186	ac	51,681	sf	
% Impervious for Water Quality	45%				
A) One inch of runoff from project area	2.664	ac-in			
B) 2.5 inches times percent impervious	2.966	ac-in			
(2.5 x percent impervious x (site area - surface water))					
Comparison of Water Quality Methods					
Total Retention Volume Required	2.966	ac-in	10,767	cf	
Exfiltration Volume Provided	3.193	ac-in	11,592	cf	
Swale Volume Provided	0.270	ac-in	980	cf	
Total Retention Volume Provided	3.463	ac-in	12,572	cf	

Exfiltration Trench Design					
Required trench length (L) =	V(FS)				
K ($H_2W + 2H_2D_u - D_u^2 + 2H_2D_s + 1.39 \times 10^{-4}(W)(D)$)					
Assumed Hydraulic Conductivity, K = 0.000131					
H ₂ = 4 ft					
W = 4 ft					
D _u = 2.5 ft					
D _s = 2 ft					
F _S = 2					
Volume of Trench, V = 3.193 ac-in					
Trench Length Provided = 865 FT					



JOB NO. 191017
DRAWN AEP
DESIGNED AEP
CHECKED AEP
SHEET C-100

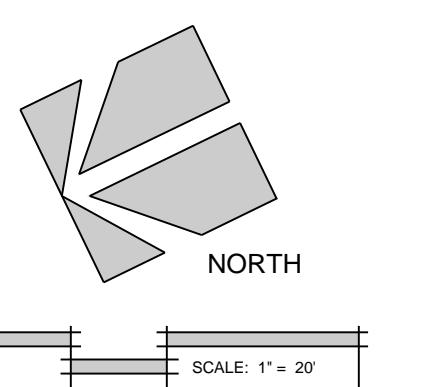
CITY OF KEY WEST
1300 WHITE STREET
KEY WEST, FL 33040

ORIGINAL: APRIL 2019
1 PRINTING Board Revisions
2
3
4
5
6

COLLEGE ROAD
AFFORDABLE HOUSING PROJECT
CONCEPTUAL
DRAINAGE/UTILITY PLAN

COLLEGE ROAD AFFORDABLE HOUSING

TOCK ISLAND, FL 33040



A circular registration stamp for Ladd B. Roberts, Landscape Architect, Florida. The outer ring contains the word "REGISTERED" at the top and "LANDSCAPE ARCHITECT" at the bottom, separated by a dotted line. The center contains "LA 6666692", "STATE OF FLORIDA", and "LADD B. ROBERTS". The stamp is heavily marked with blue ink, including "add'l" and "apex" written across it.

LANDSCAPE PLAN

DATE: 4.23.19

NS: [REDACTED]

e Notes

9 Rmv'd #6 Mahogany/83% Mit. Added

Updated Base Plan

SHEET NUMBER:
1 - 1

19003 DRAWN BY: LBR

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OTHERWISE PROVIDED FOR BY CONTRACT, THE
OF THIS DRAWING ARE CONFIDENTIAL AND SHALL
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LANDSCAPE CALCULATIONS - Chapter 108.346 to 108.347

108.346 OPEN SPACE	REQUIRED	PROVIDED	
RESIDENTIAL USE = 35% REQ. OF TOTAL SITE AREA (116,024)	35% / 40,608.4 SF	27.03% / 31,370 SF	
(Referenced from Architectural Drawings)			
108.347 REQUIRED SCREENING			
WEST ADJACENCY = Street Frontage			
SOUTH ADJACENCY - LOW INTENSITY 5'-9.99' "B" Buffer @ 40 PU's per 100'			
345 LF Requires 138 PU's (3.45 x 40 = 138)			
	PLANT PROVIDED	x PLANT UNITS	PU's PROVIDED
Canopy Trees	7	10	70
Understory Trees	6	5	30
Shrubs	104	1	104
TOTAL PU's PROVIDED			204
EAST ADJACENCY - LOW INTENSITY 5'-9.99' "B" Buffer @ 40 PU's per 100'			
450 LF Requires 180 PU's (4.5 x 40 = 180)			
	PLANT PROVIDED	x PLANT UNITS	PU's PROVIDED
Canopy Trees	3	10	30
Understory Trees	8	5	40
Shrubs	121	1	121
TOTAL PU's PROVIDED			191
NORTH ADJACENCY - LOW INTENSITY 5'-9.99' "B" Buffer @ 40 PU's per 100'			
225 LF Requires 90 PU's (2.25 x 40 = 90)			
	PLANT PROVIDED	x PLANT UNITS	PU's PROVIDED
Canopy Trees	0	10	0
Understory Trees	6	5	30
Shrubs	75	1	75
TOTAL PU's PROVIDED			105

GENERAL INFORMATION & TREE MITIGATION



ZONING / LAND USE	HDR-1
GROSS SITE AREA	116,024.48 or 2.66ac
BUILDING COVERAGE	SEE ARCHITECTURAL
IMPERVIOUS SURFACE AREA	SEE ARCH./CIVIL
TREE MITIGATION CALCULATIONS	DSH INCHES REQUIRED
TREES IMPACTED	
25 REGULATED TREES REMOVED	225.8"
REPLACEMENT INCHES REQUIRED	(added 24.25" for #6 Mahogany)
REPLACEMENT INCHES PROVIDED	226" +

LANDSCAPE CALCULATIONS - Chapter 108.412 to 108.416			
08.412(a) MINIMUM LANDSCAPE AREA	REQUIRED	PROVIDED	
MINIMUM LANDSCAPE 20% OF BLDG. SITE AREA	20% / 23,204.9 SF	27% / 31,370SF	
GROSS SITE AREA: 116,024.48 SF or 2.66 ACRES			
08.412(b) MINIMUM NATIVE PLANT REQUIREMENT 70%	PROVIDED	PERCENTAGE	
NATIVE PLANTS (70% Minimum)	X	70%	
XOTIC PLANTS (30% Maximum)	X	30%	
08.413 MINIMUM STREET FRONTAGE LANDSCAPING ALONG ROW			
LESS THAN 1-3 ACRES = 30' WIDTH / 120 PLANT UNITS PER 100 LF			
42 LF Street Frontage / 100 LF = 5.42 x 120 PU's = 650 PU's REQUIRED			
VARIANCE REQUEST REDUCTION TO 10' WIDTH / 40 PU's PER 100 LF			
42 LF Street Frontage / 100 LF = 5.42 x 40 PU's = 216.8 PU's REQUIRED			
	PLANT PROVIDED	x PLANT UNITS	PU's PROVIDED
Canopy Trees	12	10	120
Understory Trees	2	3	6
Shrubs	100	1	100
TOTAL PU's PROVIDED			226
08.414 INTERIOR LANDSCAPE REQUIREMENT			
VEHICULAR USE AREA (VUA) 30,416 SF			
0% MINIMUM LANDSCAPE AREA: 6,083 SF	6,083 SF		
LANDSCAPE AREA PROVIDED			7,750 SF
TREE per 100 SF of MIN. REQ. LS AREA (100 / 6,083= 60.83	60.83		
TREES PROVIDED			23
NOT APPLICABLE			
08.415 PERIMETER LANDSCAPE REQUIREMENT			
OVER 50,000 SF SITE AREA = 10' PERIMETER LS WIDTH			
Tree / 10 Shrubs per 35 lf (Total Parking Area Perimeter = 765 lf)	TREES REQ.	TREES PROVIDED	
35 / 765 = 21.85 x 1 = 21.85 TREES)	21.85	28	
	SHRUBS REQ.	SHRUBS PROVIDED	
35 / 765 = 21.85 x 10 = 218.5 SHRUBS)	218.5	224	
08.416 NON-VEHICULAR OPEN SPACE (NOS) TREE REQUIREMENT	REQUIRED	PROVIDED	
,760 SF < 30% OF SITE REQUIRES 4 Trees / 2,000 SF of NOS	11.52	12	
,760 SF / 2,000 = 2.88 x 4 Trees = 11.52 Trees Required			7-Trees / 5- Palms

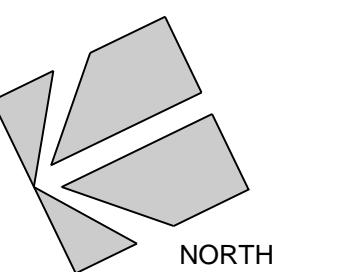
This architectural site plan illustrates a building foundation and surrounding landscape features. The plan includes:

- Land Use PRD:** Land Use Plan Drawing.
- FLORIDA OR B:** A vertical label on the left side.
- PROPERTY LINE 150.00' & 197.83':** Boundary lines for the property.
- UPN ABANDONED:** A label pointing to a specific location.
- MHO:** Mean High Water level indicated by a dashed line.
- CRAWL SPACE:** An area between the foundation and the ground surface.
- LANDSCAPE:** Shaded areas representing landscaping.
- FLOOD ZONE LINE:** A dashed line indicating the flood zone boundary.
- VE 11' AE 9:** Flood zone indicator.
- UNDERGROUND ELEC. SYSTEM:** Underground electrical system components.
- NEW LIFT STATION:** A new lift station structure.
- STOP:** A stop point indicated by an arrow.
- NEW RISER POLE:** A new riser pole structure.
- LANDSCAPE ACCESS WAY CLEAR ZONE SEC. 108-452 (1):** A clear zone for landscape access.
- TO BE REMOVED:** Areas marked for removal.
- CONCRETE PEDESTRIAN:** A concrete pedestrian path.
- BUFFER TREES (UNDERSTORY), PERIMETER LANDSCAPE TREES, INTERIOR LANDSCAPE TREE:** Labels for different types of trees.
- EXISTING GATE:** An existing gate structure.
- LIFT:** A lift mechanism.
- CL COLLEGE:** A label at the bottom right.

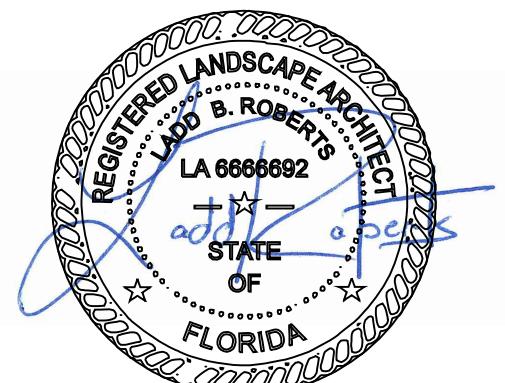
FLORIDA KEYS AQUADUCT AUTHORITY - OR BOOK 148, PAGE 426

CONCEPT PLAN (Code Compliance)

**COLLEGE
ROAD
AFFORDABLE
HOUSING**
STOCK ISLAND, FL 33040



NORTH
SCALE: 1" = 20'



PLANT SCHEDULE & DETAILS

CONCEPT DOCUMENTS

DATE: 4.23.19

REVISIONS:		
No.	Date	Notes
1.	5.6.19	Rmv'd Redundant Tables / Adj Qty's
2.	6.2.19	Updated Base Plan
3.		
4.		

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SHEET NUMBER:
L-2

JOB #: 19003 DRAWN BY: LBR
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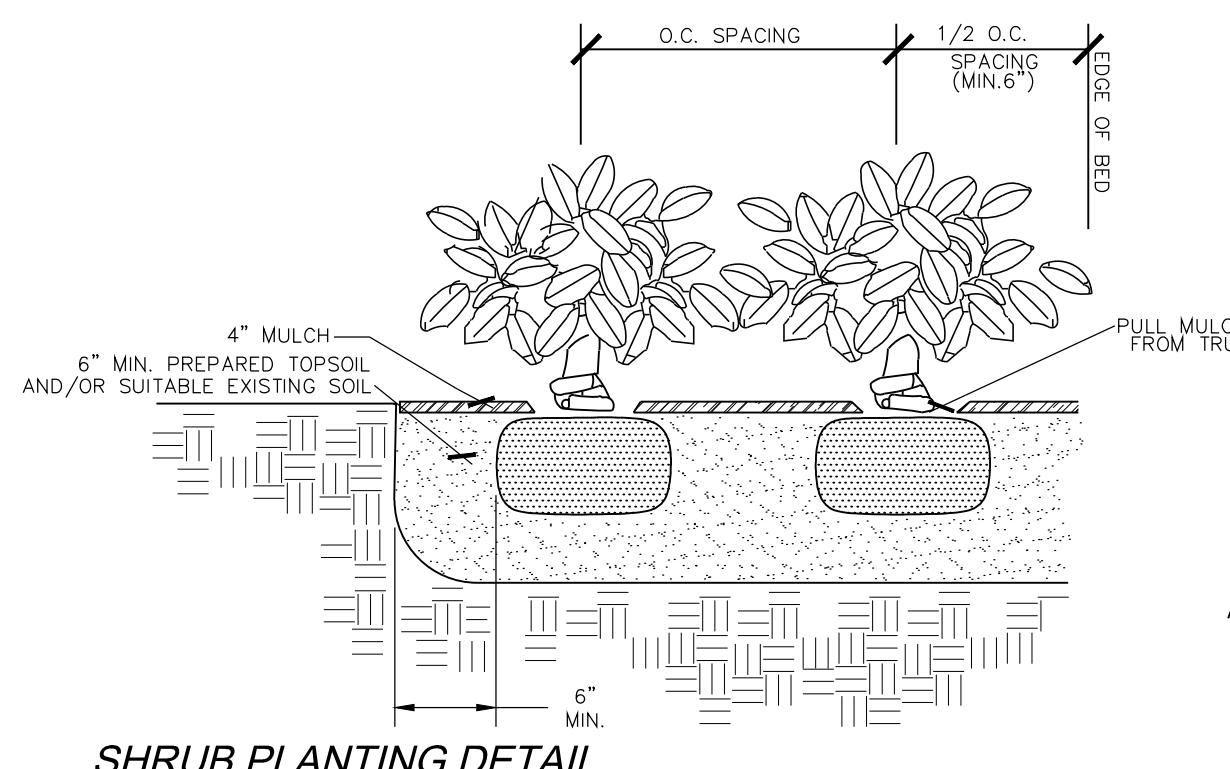
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**LANDWISE
DESIGN**

1106 SAN MARCO BLVD. SUITE 101 JACKSONVILLE, FL 32207 904.343.4194

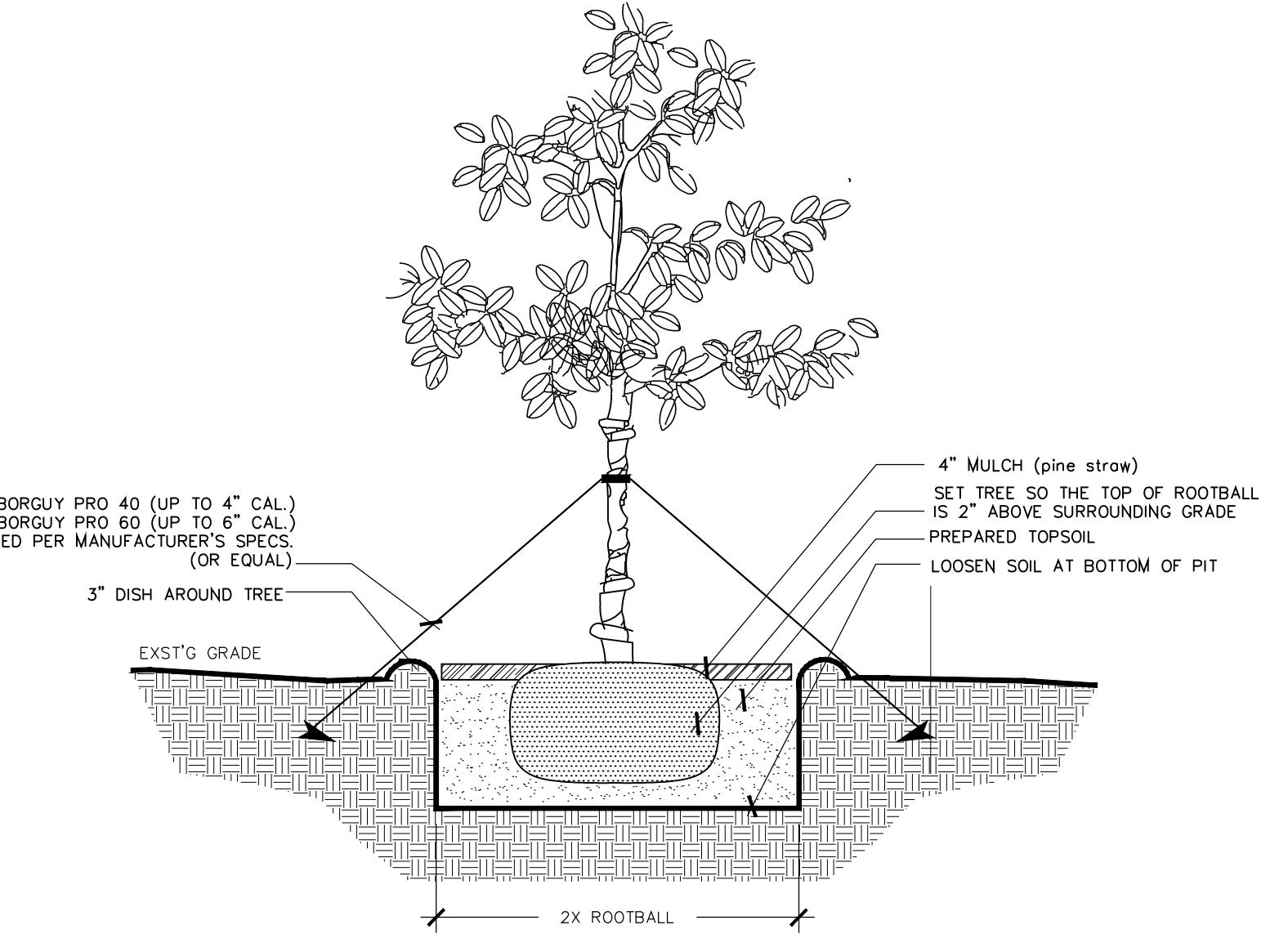
GENERAL NOTES:

100% IRRIGATION COVERAGE SHALL BE PROVIDED TO ALL PROPOSED PLANTING AREAS. SAID SYSTEM SHALL BE DESIGNED TO MAXIMIZE WATER CONSERVATION. THIS SYSTEM SHALL BE CONNECTED TO WATER METER AND INSTALLED IN ACCORDANCE WITH GOVERNING CODE AND REQUIREMENTS. AN AS-BUILT OF THE INSTALLED SYSTEM SHALL BE PROVIDED UPON COMPLETION.
75% OF ALL CODE REQUIRED PLANTS SHALL BE NATIVE.
ALL TREES TO BE PROVIDED WITH BUBBLER.
ALL SHRUB RISERS TO BE POSITIONED AT THE BACK OF BEDS AWAY FROM PEDESTRIAN CIRCULATION.
COORDINATE CONTROLLER LOCATION WITH GENERAL CONTRACTOR/OWNER.
WATER SOURCE: METERED WATER VERIFY ON SITE
PLANT SIZE TO TAKE PRECEDENCE OVER CONTAINER SIZE WHERE SPECIFIED.
COORDINATE ALL MATERIAL SUBSTITUTIONS WITH LANDSCAPE ARCHITECT/OWNER PRIOR TO INSTALLATION.
COORDINATE ALL SITE/PLAN DISCREPANCIES WITH LANDSCAPE ARCHITECT.
VERIFY ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
SOIL GRADE ADJACENT TO HARDSCAPE TO BE 3" BELOW.



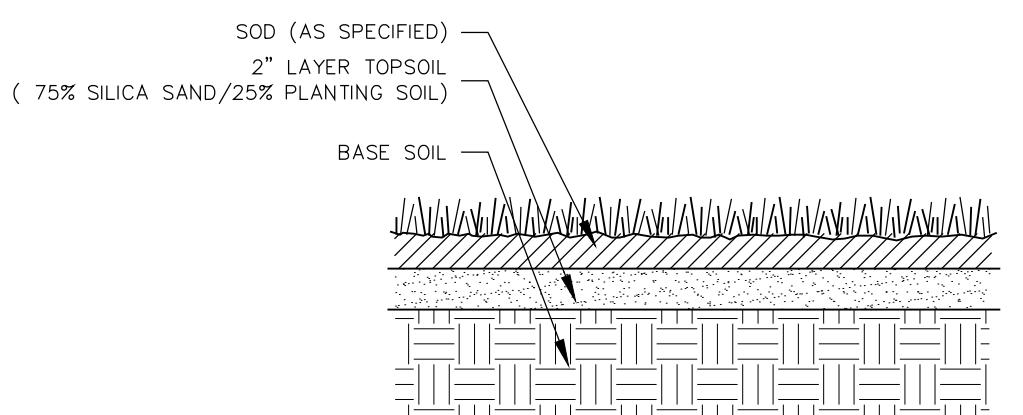
SHRUB PLANTING DETAIL

ALL SHRUBS ARE TO BE POSITIONED VERTICALLY REGARDLESS OF THE SLOPE OF THE GROUND IN WHICH THEY ARE PLANTED. WATER RINGS ARE TO BE CONSTRUCTED AT RIGHT ANGLES TO THE TREE OR SHRUB OR IN A MANNER IN WHICH THEY WILL MOST EFFECTIVELY SERVE THE PURPOSE OF RETAINING WATER AT THE BASE OF THE PLANT.



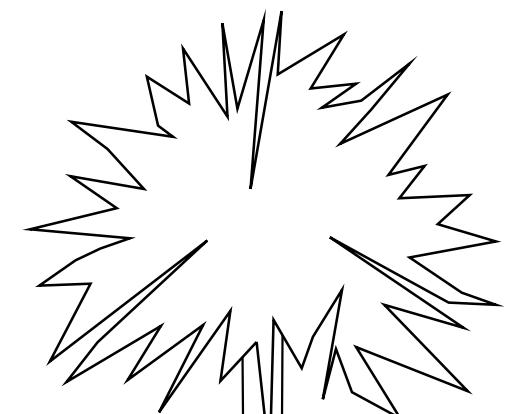
TREE PLANTING DETAIL

ALL TREES ARE TO BE POSITIONED VERTICALLY REGARDLESS OF THE SLOPE OF THE GROUND IN WHICH THEY ARE PLANTED. WATER RINGS ARE TO BE CONSTRUCTED AT RIGHT ANGLES TO THE TREE OR SHRUB OR IN A MANNER IN WHICH THEY WILL MOST EFFECTIVELY SERVE THE PURPOSE OF RETAINING WATER AT THE BASE OF THE PLANT.

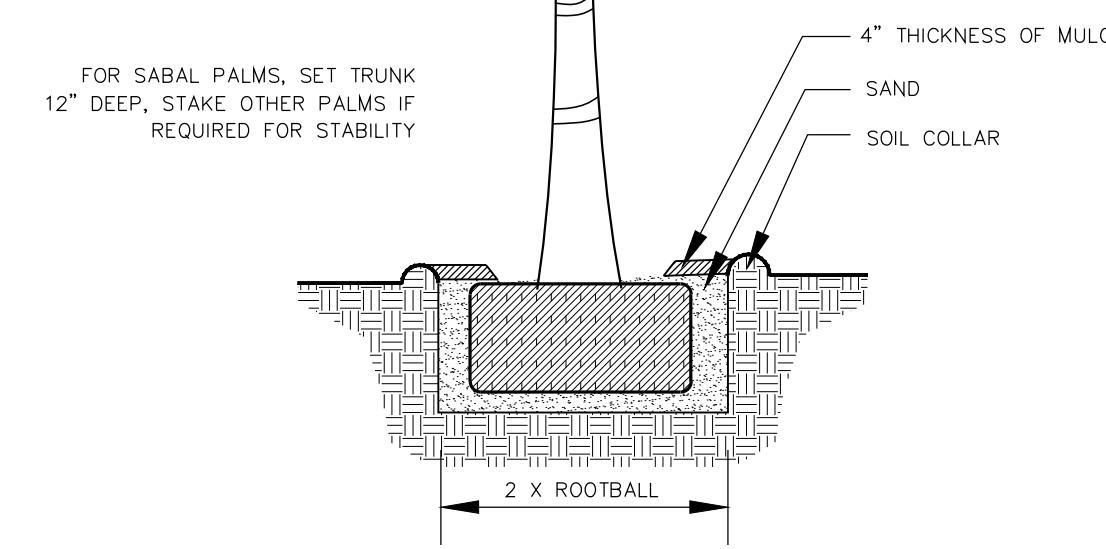


SODDING DETAIL

ALL AREAS TO BE SODDED TO RECEIVE 2" TOP LAYER OF SILICA SAND (75%) /PLANTING SOIL (25%) AS INDICATED.



PALM PLANTING DETAIL



FOR SABAL PALMS, SET TRUNK 12" DEEP, STAKE OTHER PALMS IF REQUIRED FOR STABILITY

4" THICKNESS OF MULCH
SAND
SOIL COLLAR

2 X ROOTBALL

GENERAL NOTES:

100% OF THE PLANT MATERIAL USED TO SATISFY LANDSCAPING REQUIREMENTS SHALL BE NATIVE and IN ACCORDANCE WITH SECTION 114-105.

100% IRRIGATION COVERAGE SHALL BE PROVIDED TO ALL PROPOSED PLANTING AREAS. SAID SYSTEM SHALL BE DESIGNED IN COMPLIANCE WITH CoKW CODE.

ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF 6" OF PLANTING SOIL AND MULCHED TO A DEPTH OF 4". ALL TREES SHALL BE PROPERLY GUYED OR STAKED AT TIME OF PLANTING.

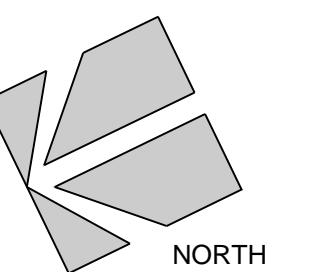
Conceptual Planting Pallette

QTY.	COMMON NAME	BOTANICAL NAME	SIZE	NOTE	NATIVE	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	NOTE	NATIVE
PALMS	5 - Provided					SHRUBS	750 - Provided				
	SABAL PALM	Sabal palmetto	12'-18' clrn. trnk.				SPANISH STOPPER	Eugenia foetida	7 gal., 36"-40" hgt./sprd.		
	KEY THATCH PALM	Thrinax morrisii	4"-6" o.h.	FL #1	NATIVE		WILD COFFEE	Psychotria nervosa	3 gal., 24"-36" hgt./sprd.	FL #1	NATIVE
	FLA. THATCH PALM	Thrinax radiata	6" o.h.	FL #1	NATIVE		FICUS 'GREEN ISLAND'	Ficus 'Green Island'	3 gal., 14"-18" sprd/hgt.	FL #1	
	SAW PALMETTO	Serenoa repens 'Silver'	15 gal. 3' o.h.	FL #1	NATIVE		LOCUSTBERRY	Brysonia lucida	7 gal., 36"-40" hgt./sprd.	FL #1	NATIVE
	BUCCANEER PALM	Pseudophoenix sargentii	30 gal. 6'-8' o.h.	FL #1	NATIVE		JAMAICA CAPER	Capparis cynophallophora	7 gal., 36"-40" hgt./sprd.	FL #1	NATIVE
	ROYAL PALM	Roystonea elata	8' to 12' grey wood, Fat Trunks	FL #1	NATIVE		FIREBUSH	Hamelia patens	7 gal., 36"-40" hgt./sprd.	FL #1	NATIVE
				FL #1	NATIVE		DWARF FIREBUSH	Hamelia patens 'compacta'	3 gal., full	FL #1	NATIVE
				FL #1	NATIVE		SPARTINA	Spartina bakerii	3 gal., full	FL #1	NATIVE
TREES	55 - Provided					GROUNDCOVER	3,750 - Provided				
	ROYAL POINCIANA						MUHLY GRASS	Muhlenbergia capillaris	1 gal., full		
	CANOPY TREE						WART FERN	Microsorum scolopendrum	3 gal., full		
	SPANISH LIME	Melicoccus bijugatus	3" cal., 12'-14' o.h.	FL #1	NATIVE		GOLDEN CREEPER	Ernodea littoralis	1 gal., full		
	MAHOGANY	Swietenia mahogani	4" cal., 14'-16' o.h..	FL #1	NATIVE		SILVER LOVE GRASS	Eragrostis elliotii	1 gal., full	FL #1	NATIVE
	WILD TAMARIND	Lysiloma latisiliquum	4" cal., 12'-14' o.h..	FL #1	NATIVE		SPIDER LILY	Hymenocallis latifolia	1 gal., full	FL #1	NATIVE
	PIDGEON PLUM	Coccoloba diversifolia	3" cal., 12'-14' o.h.	FL #1	NATIVE		TICKSEED	Coreopsis ssp 'Dwarf'	1 gal., full	FL #1	NATIVE
	GUMBO LIMBO	Bursera simaruba	4" cal., 14"-16" o.h.	FL #1	NATIVE		ST. AUGUSTINE SOD or Preferred Species				
	GREEN BUTTONWOOD	Conocarpus erectus	4" cal., 12'-14' o.h.	FL #1	NATIVE						
	SILVER BUTTONWOOD	Silver buttonwood	2" cal. 10'-12' o.h.	FL #1	NATIVE						
	PARADISE TREE	Simarouba glauca	3" cal., 12'-14' o.h.	FL #1	NATIVE						
	CINNAMON BARK	Canella Winterana	1.5" cal. 6"-8" o.h.	FL #1	NATIVE						
	ROYAL POINCIANA	Delonix regia	3" cal. 12'-14" o.h.	FL #1	NATIVE						
UNDERSTORY	33 - Provided						RELOCATED KEY THATCH PALM	Thrinax sp.	4"-6" o.h.	FL #1	NATIVE
	LIGNUM VITAE	Guaiacum sanctum	1.5" cal. 6"-8" o.h.	FL #1	NATIVE						
	CRABWOOD	Gymnathes lucida	1.5" cal. 6"-8" o.h.	FL #1	NATIVE						
	SATINWOOD	Zanthoxylum flavum	1.5" cal. 6"-8" o.h.	FL #1	NATIVE						
	SIMPSON STOPPER	Myriantes fragrans	1.5" cal. 6"-8" o.h.	FL #1	NATIVE						
	RED STOPPER	Eugenia rhombaea	1" cal. 5"-6" o.h.	FL #1	NATIVE						

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COLLEGE ROAD AFFORDABLE HOUSING

STOCK ISLAND, FL 33040



SCALE: 1" = 20'

ANY USE OR REPRODUCTION WITHOUT EXPRESSED WRITTEN PERMISSION FROM LANDWISE DESIGN, INC. IS PROHIBITED

IRRIGATION DETAILS

CONCEPT DOCUMENTS

UNDERGROUND IRRIGATION SPECIFICATIONS

1.0 GENERAL

- 1.1 SUMMARY:** Includes but not limited to:
A. Furnishing and installing sprinkler system as described in Contract Documents complete with accessories necessary for proper functioning.

1.2 SYSTEM DESCRIPTION:

- A. Design Requirements:
1. Layout of Irrigation Heads:
a. Location of heads shown on Drawings is approximate. Actual placement may vary slightly as is required to achieve full, even coverage without spraying onto buildings, sidewalks, fences, etc.
b. During layout, consult with Landscape Architect to verify proper placement and make recommendations, where revisions are advisable.
- 1.3 QUALITY ASSURANCE:
- A. Regulatory Requirements:
1. Work and materials shall be in accordance with latest rules and regulations, and other applicable state or local laws. Nothing in Contract Documents is to be construed to permit work not conforming to these codes.
- B. Pre-Installation Conference:
1. Meet with Owner and Landscape Architect to discuss and clarify all aspects of job requirements prior to commencing work of this Section.
- C. System Adjustments:
1. Minor adjustments in system will be permitted to avoid existing fixed obstructions.
2. Mainline, laterals and valves are shown for clarity purposes only. All irrigation equipment to be within landscape area. Mainline, laterals and valves to be installed as far away from existing and new specimen trees as possible.
- D. Documentation and submittal of actual water supply performance prior to commencing installation.

1.4 SUBMITTALS:

- A. Record Drawings:
1. Prepare an accurate as-built drawing as installation proceeds to be submitted prior to final inspection. Drawing shall include:
a. Detail and dimension changes made during construction.
b. Significant details and dimensions not shown in original Bidding Documents.
2. Maintain, at job site, one copy of Contract Documents (as defined in General Conditions) and relevant drawings and specifications.
3. Clearly mark each document "PROJECT RECORD COPY" and maintain in good condition for use of the Landscape Architect and Owner.
4. As-built drawing shall be provided in pdf format.
5. Submit product literature for all sprinklers, valves, pipe, wire, wire connectors and controller.
6. Final payment for system will not be authorized until accurate and complete submittals are delivered to the Landscape Architect.
- B. Instruction Manual:
1. Provide instruction manual which lists complete instructions for system operation and maintenance.

1.5 PRODUCT STORAGE:

- A. During construction and storage, protect materials from damage and prolonged exposure to sunlight.

1.6 WARRANTY:

- A. Standard one (1) year warranty stipulated in General Conditions shall include:
1. Completed system including parts and labor.
2. Filling and repairing depressions and replacing plantings due to settlement of irrigation trenches for one (1) year following final acceptance.
3. System adjustment to supply proper coverage to areas to receive water.

1.7 MAINTENANCE:

- A. Extra Materials:
1. In addition to installed system, furnish Owner with the following items at close-out:
a. Two sprinkler head bodies of each size and type.
b. Two nozzles for each size and type.
c. Two adjusting keys for each sprinkler head cover type.

2.0 PRODUCTS:

- 2.1 PIPE, PIPE FITTINGS, AND CONNECTIONS:**
A. Pipe shall be continuously and permanently marked with Manufacturer's name, size, schedule, type, and working pressure.
B. Pipe:
1. Pressure Lines: as indicated on plans.
2. Lateral Lines: as indicated on plans.
3. Risers: sch. 80 PVC, gray
C. Fittings:
1. Schedule 40 PVC.
D. Sleeving:
1. Schedule 40 PVC.

2.2 SPRINKLER HEADS:

- A. Conform to requirements shown on Drawings as to type, radius of throw, pressure, and discharge.

2.3 AUTOMATIC SPRINKLER SYSTEM:

- A. Control valves shall be of size and type indicated on Drawings.
B. Control wire shall be UL listed, color coded copper conductor direct burial size 14. Use 3M-DBY waterproof wire connectors at splices and locate all splices within valve boxes. Use white or gray color for common wire and other colors for all other wire. Each common wire may serve only one controller.
C. Add two extra control wires from panel to valves for use if a wire fails and mark it in the control box as extra wires. These wires shall be of a different color than the others.

2.4 VALVES:

- A. Electric Valves:
1. Make and model shown on Drawings.
B. Gate valves:
1. Bronze construction, angle type, 150 pound class, threaded connections, with cross-type operating handle designed to receive operating key.
C. Automatic Controller:
1. Make and model shown on Drawings.
D. Backflow Preventor:
1. Make and model shown on Drawings.

2.5 VALVE ACCESSORIES:

- A. Valve Boxes:
1. Ametek or Brooks rectangular heavy duty valve box with locking lid or Landscape Architect approved equal.
2. Do not install more than one (1) valve in a single box.
3. Valve boxes shall be large enough for easy removal or maintenance of valves.

3.0 EXECUTION:

- 3.1 PREPARATION:**
A. Protection:
1. Work of others damaged by this Section during course of its work shall be replaced or repaired by original installer at this Section's expense.

3.2 INSTALLATION:

- A. Trenching and Backfilling:
1. Over-excavate trenches by two (2") inches and bring back to indicated depth by filling with fine, rock-free soil or sand.
2. Cover pipe both top and sides with two (2") inches of material specified in paragraph above. In no case shall there be less than two (2") inches of rock-free soil or sand surrounding pipe.

3. Do not cover pressure main, sprinkler pipe, or fittings until the Landscape Architect has inspected and approved system.

B. Installation of Plastic Pipe:

1. Install plastic pipe in a manner to provide for expansion and contraction as recommended by Manufacturer.
2. Unless otherwise indicated on Drawings, install main lines with a minimum cover of eighteen (18") inches based on finish grade. Install lateral lines with a minimum cover of twelve (12") inches based on finish grade.
3. Install pipe and wires under driveways or parking areas in specified sleeves a minimum of eighteen (18") inches below finish grade or as shown on Drawings.
4. Locate no sprinkler head closer than twelve (12") inches from building foundation. Heads immediately adjacent to paving strips, walks or curbs shall be one (1") inch below top of paving strip, walk or curb and have a minimum of one (1") inch clearance between head and paving strip, walk or curb.
5. Drawings show arrangement of piping. Should local conditions necessitate rearrangement, obtain approval of Landscape Architect prior to proceeding with work.
6. Cut plastic pipe square. Remove burrs at cut ends prior to installation so unobstructed flow will result.
7. Make solvent weld joints in the following manner:
a. Clean mating pipe and fitting with clean, dry cloth and apply one (1) coat of P-70 primer to each.
b. Apply uniform coat of 711 solvent to outside of pipe.
c. Apply solvent to fitting in similar manner.
d. Reapply a light coat of solvent to pipe and quickly insert into fitting.
e. Gently rotate fitting clockwise to insure even distribution of solvent and make sure pipe is inserted to full depth of fitting socket.
f. Hold in position for fifteen (15) seconds minimum or long enough to secure joint.
g. Wipe off solvent appearing on outer shoulder of fitting.
h. Do not use an excessive amount of solvent thereby causing an obstruction to form on the inside of pipe.
i. Allow joints to set at least 24 hours before applying pressure to PVC pipe.
8. Tape threaded connection with teflon tape.

C. Control Valves and Controller:

1. Install controller, control wires, and valves in accordance with Manufacturer's recommendations and according to applicable electrical code.
2. Install valves in plastic boxes with reinforced heavy duty plastic covers. Locate valve box tops at finish grade.
3. Install remote control valves in valve boxes positioned over valve so all parts of valve can be reached for service. Set cover of valve box even with finish grade.
4. Install all valve boxes over nine (9") inches of gravel for drainage.

D. Sprinkler Heads:

1. Prior to the installation of sprinkler heads, open control valves and use full head of water to flush out system.
2. Set sprinkler heads perpendicular to finish grade.
3. Set lawn sprinkler heads adjacent to existing walks, curbs, and other paved areas to grade

3.3 FIELD QUALITY CONTROL:

- A. Flushing and Testing:
1. Test pressure lines at a minimum sustained pressure of 100 psi for two (2) hours. Pressure shall not drop below 95 psi during the two hour test. Notify Landscape Architect 24 hours prior to test. Do not backfill lines until approved by Landscape Architect.

3.4 ADJUSTMENT AND CLEANING:

- A. Adjust heads to proper grade when turf is sufficiently established to allow walking on it without appreciable harm. Such lowering or raising of heads shall be part of the original contract with no additional charge to the Owner.
B. Adjust sprinkler heads for proper distribution and trim to ensure spray does not fall on building.
C. Adjust watering time of valves to provide proper amounts of water to all plants.

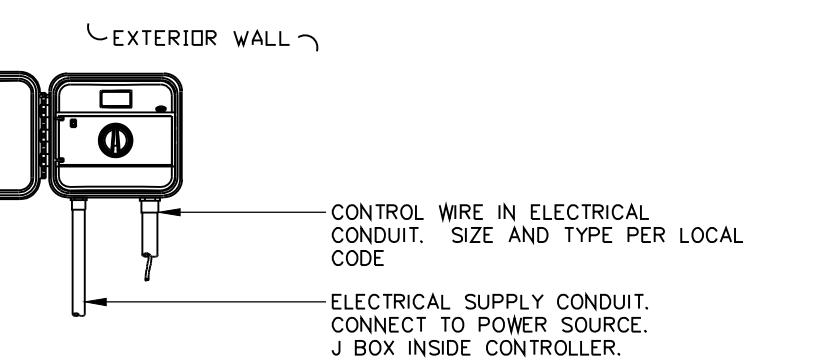
3.5 DEMONSTRATION:

- A. After system is installed and approved, instruct Owners Representative in complete operation and maintenance.

END OF SECTION

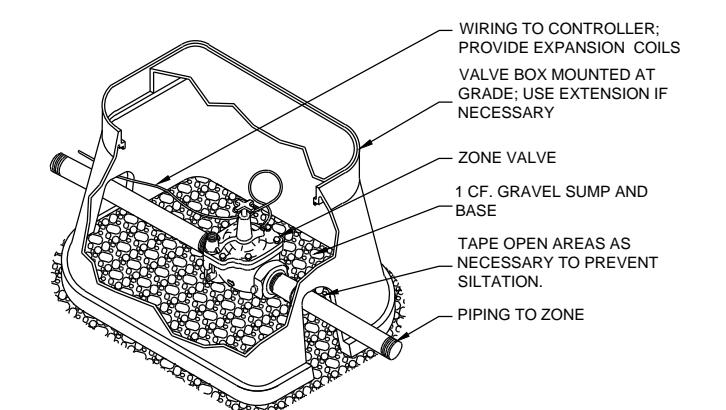
100% IRRIGATION COVERAGE SHALL BE PROVIDED TO ALL LANDSCAPE AND TURF AREAS.

AS-BUILT IRRIGATION PLAN SHALL BE PROVIDED TO OWNER AT COMPLETION OF PROJECT.



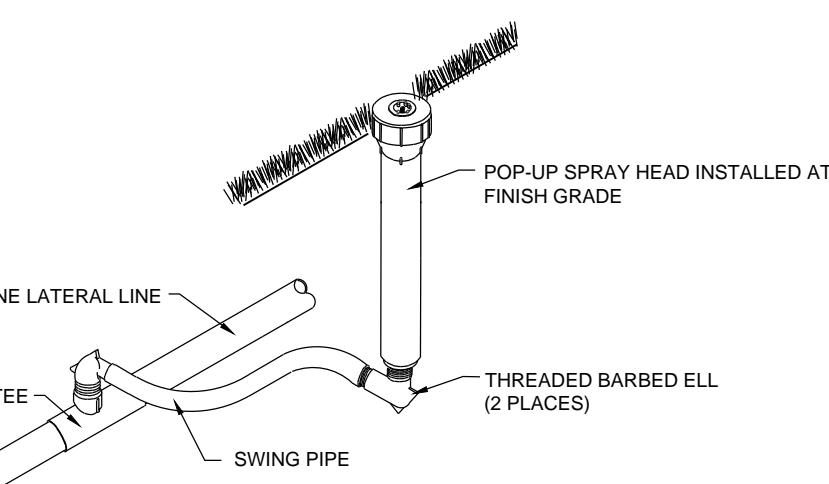
CONTROLLER INSTALLATION DETAIL

SCALE: NTS



ZONE VALVE INSTALLATION DETAIL

SCALE: NTS



SPRAY HEAD INSTALLATION DETAIL

SCALE: NTS

DATE: 4.23.19

REVISIONS:

No.	Date	Notes
1.	5.6.19	Rmv'd Redundant Tables / Adj Qty's
2.	6.2.19	Added this sheet
3.		
4.		

SHEET NUMBER:
L-3

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Authorization Form

College Rd.

**City of Key West
Planning Department**



Authorization Form
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, James K. Scholl as

Please Print Name of person with authority to execute documents on behalf of entity

Cit Manager of City of Key West

Name of office (President, Managing Member)

Name of owner from deed

authorize William Horn Architects, PA.

Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

JKScholl *Cit Manager*

Signature of person with authority to execute documents on behalf on entity owner

Subscribed and sworn to (or affirmed) before me on this March 15, 2019

Date

by James K. Scholl

Name of person with authority to execute documents on behalf on entity owner

He/She is personally known to me or has presented _____ as identification.

Maria G. Ratcliff
Notary's Signature and Seal

Maria G. Ratcliff
Name of Acknowledger typed, printed or stamped



FF 192155

Commission Number, if any

Verification Form

**City of Key West
Planning Department**



Verification Form

(Where Authorized Representative is an Entity)

I, WILLIAM P. HORN, in my capacity as PRINCIPAL
(print name) (print position; president, managing member)

of WILLIAM P. HORN ARCHITECT, P.A.
(print name of entity serving as Authorized Representative)

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

5220, 5224, 5228 + 5230 COLLEGE ROAD

Street Address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

A handwritten signature in blue ink, appearing to read "William P. Horn".

Signature of Authorized Representative

Subscribed and sworn to (or affirmed) before me on this 4-10-19 by

William Horn.
Name of Authorized Representative

He/She is personally known to me or has presented _____ as identification.

A handwritten signature in blue ink, appearing to read "Alvina Covington".

Notary's Signature and Seal

Alvina Covington
Name of Acknowledger typed, printed or stamped

Commission Number, if any



Alvina Covington
COMMISSION #FF913801
EXPIRES: August 27, 2019
WWW.AARONNOTARY.COM