



Historic Architectural Review Commission
Staff Report for Item 8

To: Chairman Haven Burkee and Historic Architectural Review
Commission Members

From: Jared Beck
Consultant

Enid Torregrosa-Silva, MSHP
Historic Preservation Planner

Meeting Date: February 27, 2024

Applicant: Evan Amato T.S.N Architects

Application Number: H2024-0006

Address: 719 Poorhouse Lane

Description of Work:

New single-family house on vacant lot. New pool and deck at rear. New driveway for two cars and fences.

Site Facts:

The site under review is a vacant parcel. The 1912, 1926, 1948, and 1962 Sanborn Maps depict a wood frame home at this site, interchangeably known as Petronia Lane. The prior structure was identified in 2011 as a contributing structure to the historic district. In 2021 the Chief Building Officer at that time declared the house unsafe and requested its demolition. The structure has since been demolished.



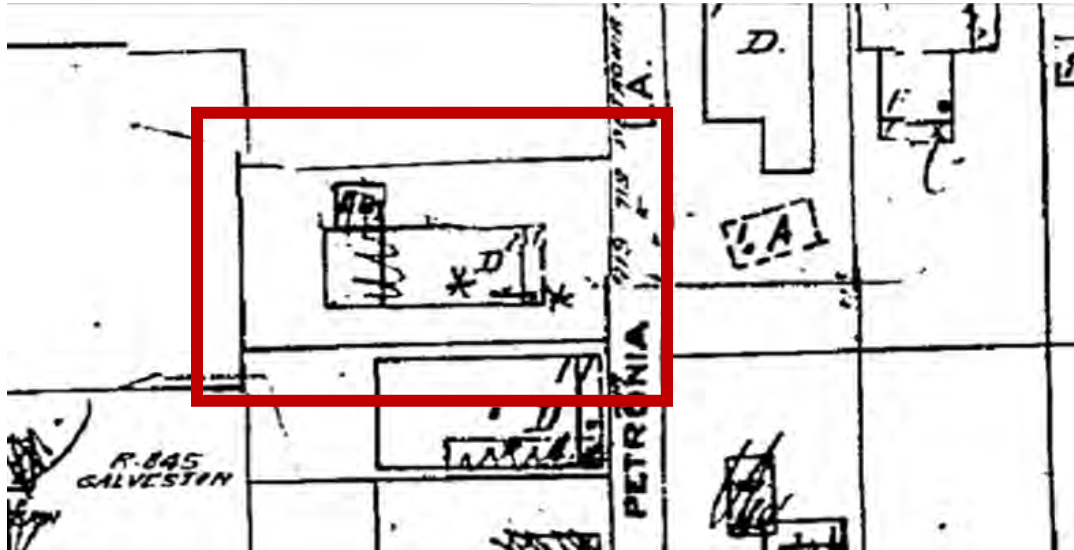
1965 photograph of former structure.



Former house in 2021, before it was declared unsafe and demolished.



Existing site.



1962 Sanborn map and subject site.

- (3) *The new building or structure does not parody any existing building within the urban block.*

No, this is not the case.

- (4) *The new building or structure does not overpower adjacent buildings or structures.*

Yes, this is the case.

- (5) *Does the new building or structure maintain the required setbacks and relationship to the street and or site.*

Yes, this is the case.

- (6) *For new buildings or structures facing a street, does any façade facing a street maintain similar rhythm, and composition found in adjacent buildings and or same typology?*

Yes, this is the case.

- (7) *The new design does not propose a carport or garage that is visible from any street?*

No, this is not the case.

- (8) *Does the new building or structure have a similar scale, mass, and form to the buildings immediately adjacent to where it will be built?*

Yes, the proposed structure is similar in scale and mass to the home behind it, and across the street.

- (9) *Are the exterior materials for the new building or structure similar to those used on the immediate adjacent properties or same typology?*

Yes, this is the case.

- (10) *The new building or structure does not include elements such as roof decks, balconies, dormers, roof forms, openings, doors, and windows, among others, that are incompatible or would unnecessarily intrude on the privacy of the immediate adjacent buildings or structures?*

No, it does not.

Staff Analysis:

The Certificate of Appropriateness is under review proposes the construction of a new two-story wood frame house with a one-story portion at its rear, pool, and deck, off-street parking, and wood fence on the vacant parcel.

The new wood frame 1,600 +/- sq ft. house eyebrow house with asymmetrical saw tooth bump at the rear will include horizontal Hardie board lap siding and a metal shingle roof. Wood columns, cornice, railings, and shutters will be used. Six over six aluminum windows, rear aluminum sliding doors, and rear aluminum, all impact resistant. The front door will be half glazed and half wood with a transom window on the top.

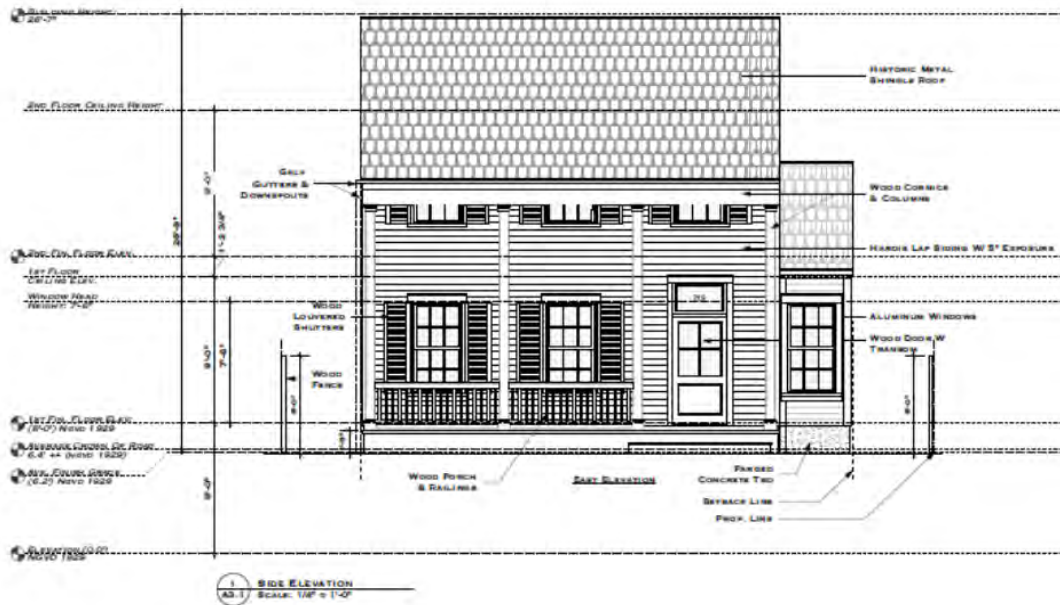
The finish floor elevation will be approximately 1-foot, 5-inches above finish grade, and the overall height of the structure will be approximately 26-feet, 7-inches.

To the northwest of the structure will be a single width parking pad to accommodate two vehicles with brick parking ribbons and grass between. A brick sidewalk will connect the front porch with the street sidewalk and parking, and an additional brick sidewalk will connect the parking pad to the rear yard and pool.

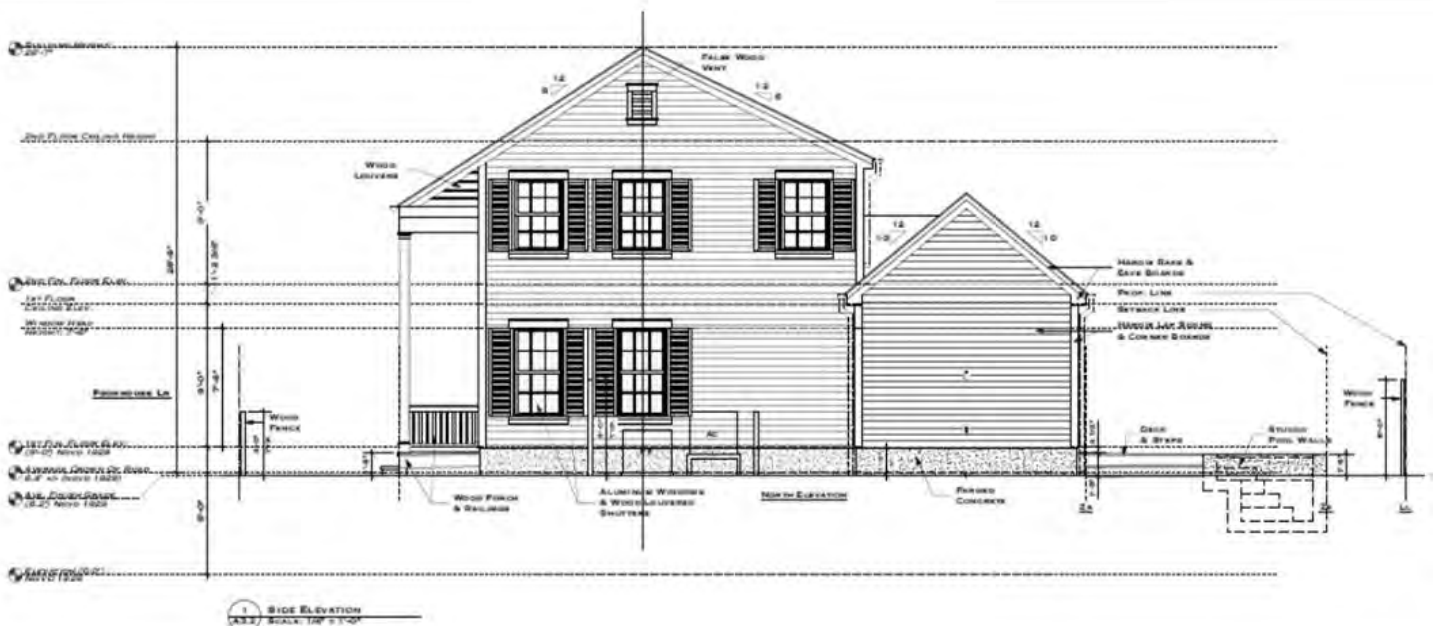
At the rear of the property a raised pool, pool deck, and patio area will be constructed, with steps, to be flush with the finish grade of the structure. The entirety of this will be behind the structure, and landscape or sod will surround it and abut the side and rear parcel lines. Existing fencing will remain, and new wood picket fencing will be installed around the remainder of the perimeter. Fencing at the front and front portion of the sides will be 4-feet in height, and the rear portion of the sides and rear will be 6-feet in height with gates. 4-foot wood picket fencing segments will be constructed adjacent to the structure and on either side of the rear gate to hide the AC units, pool equipment, other mechanicals, and trash, and they should not be visible from the street.

Based on the plan data provided, the proposed house complies with setbacks, building height, impervious area, open space, building coverage, accessory structure rear yard coverage, and front yard green space coverage.

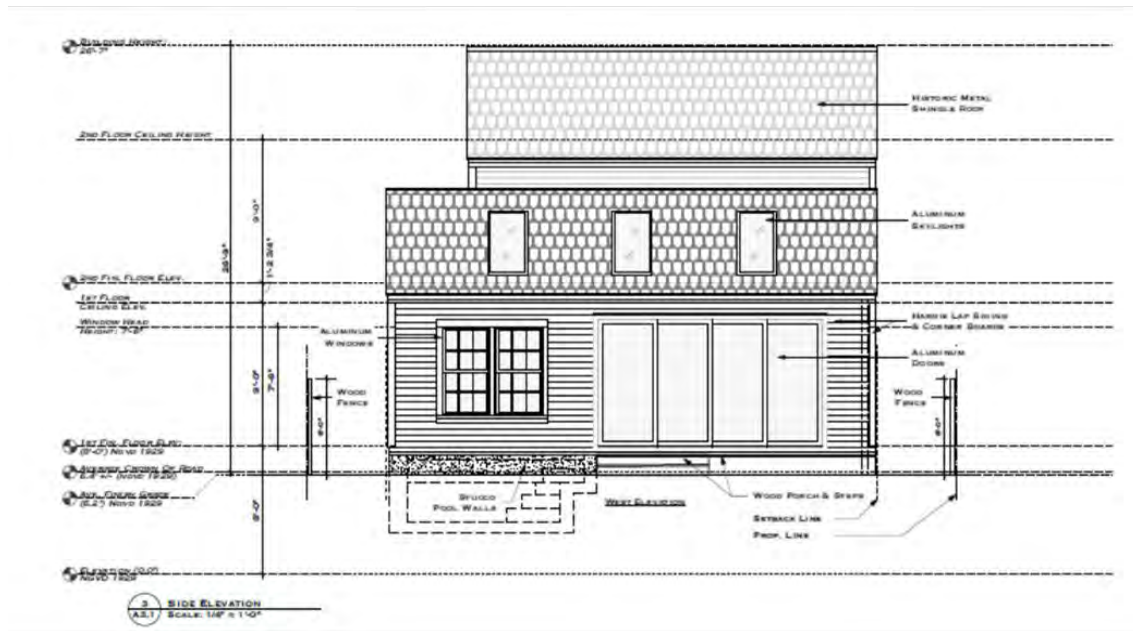
The lane and access to the parcel is narrow and well vegetated. To the north of this parcel is a parking lot, and to the south are a modest one and one-half story, and a two-story contributing structures to the historic district. Across the lane and in the immediate area there are a combination of one-story and two-story structures.



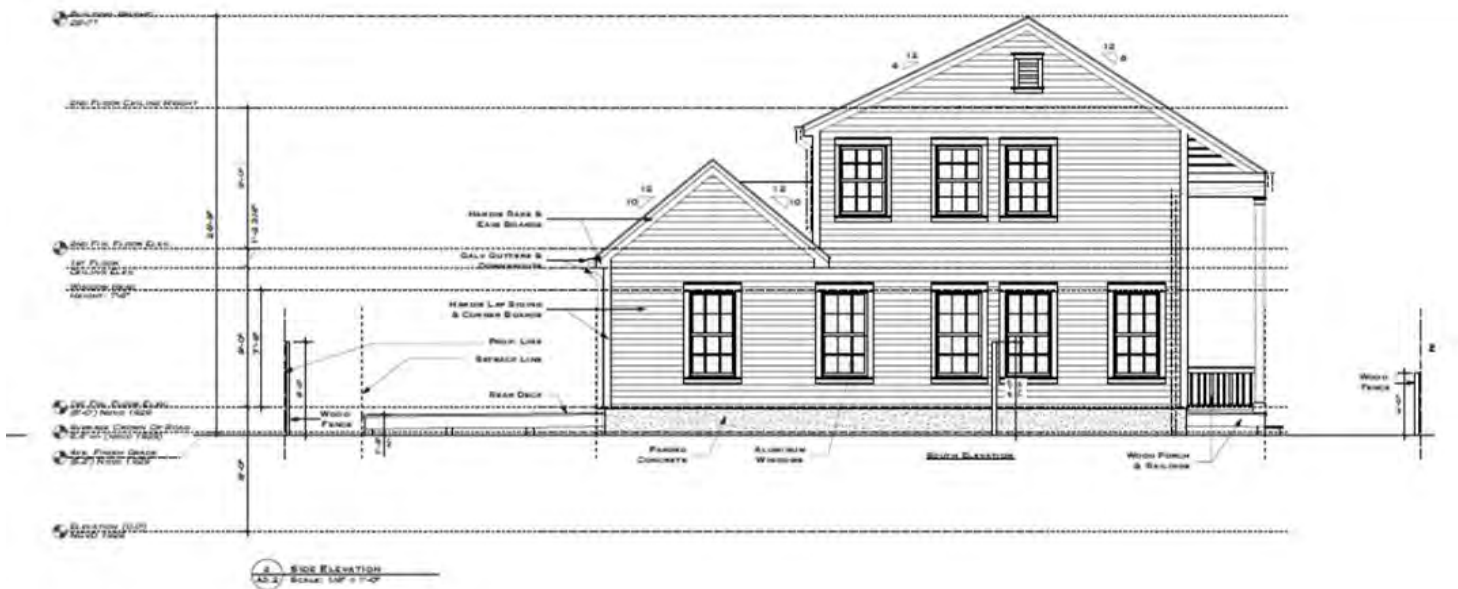
Front elevation.



Side elevation (northwest).



Rear elevation.



Side elevation (southeast).



Poorhouse Lane context elevations.



723 Oliva Street



717 Poorhouse Lane



726 Poorhouse Lane – adjacent to subject site (northeast).



726 Poorhouse Lane – adjacent to subject site (across Poorhouse Lane).



823 Galveston Lane – adjacent to subject site (southwest).

Consistency with Guidelines Cited Guidelines:

It is the staff's opinion that the proposed design for Certificate of Appropriateness H2024-0006 conforms with the cited guidelines. Staff notes that the proposed structure is substantially larger than the immediately adjacent house however, there are homes of similar scale and mass behind and across from the proposed structure. More so, Poorhouse Lane is an irregular street within the city and does not present a typical street frontage.



**CITY OF KEY WEST
BUILDING DEPARTMENT**

1300 White Street
Key West, FL 33040

PUBLIC NOTICE
UNSAFE

Pursuant to Article III, Section 14-71, 14-72, and 14-73 of the Key West Code of Ordinances, the Building Official of the City of Key West hereby declares this structure dangerous and possessing conditions rendering dwelling unfit for human habitation.

719 POORHOUSE LANE

KEY WEST, FLORIDA

**THIS BUILDING IS DANGEROUS. IT IS HEREBY CLOSED
AND ITS USE PROHIBITED.**

Section 14-115. Unauthorized Removal of Complaints, Notices, or Orders. No person without consent of the Building Official shall remove or allow the removal of this notice in accordance with Sections 14-108 and 14-109.

POSTED AND ORDERED THIS 29th DAY OF MARCH, 2021 .

BUILDING OFFICIAL SIGNATURE:  .

Chief Building Official

DO NOT REMOVE

APPLICATION

RECEIVED

JAN 22 2024

BY: TLC

HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS

\$463.05 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE Rev 10/02/2022 ET



City of Key West

1300 White Street
Key West, Florida 33040

HARC COA # <u>HARC 2024-0006</u>	REVISION #	INITIAL & DATE <u>TLC 1/22/2024</u>
FLOOD ZONE <u>ZONE X</u>	ZONING DISTRICT <u>HHDR</u>	BLDG PERMIT #

A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL

ADDRESS OF PROPOSED PROJECT:


NAME ON DEED:

OWNER'S MAILING ADDRESS:

APPLICANT NAME:

APPLICANT'S ADDRESS:

APPLICANT'S SIGNATURE:

<u>719 POORMOUSE LANE, KEY WEST FL 33040</u>	
<u>KEY WEST MODERNIST LLC</u>	PHONE NUMBER <u>212.518.3130</u>
<u>KEY WEST MODERNIST ATTN: DOUG MAXWELL</u>	EMAIL <u>DOUG@S3ARC.COM</u>
<u>6378 MILL ST., 2ND FLOOR, RHINEBECK, NY 12572</u>	
<u>EVAN AMATO</u>	PHONE NUMBER <u>802.922.0478</u>
<u>1207 FLORIDA ST, KEY WEST FL 33040</u>	EMAIL <u>EVAN@TSNARCHITECTS.COM</u>
	
DATE <u>01-22-2024</u>	

ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND-DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS___ RELOCATION OF A STRUCTURE___ ELEVATION OF A STRUCTURE___
PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES___ NO X INVOLVES A HISTORIC STRUCTURE: YES___ NO X
PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES___ NO X

DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.

GENERAL: A NEW 2 STORY WOOD FRAMED EYEBROW STYLE HOUSE WITH A POOL & POOL DECK AT THE REAR. THE ROOF WILL BE PRESSED METAL (HISTORIC) SHINGLES & THE SIDING OF THE HOUSE WILL BE HARDIE LAP SIDING. SEE DRAWINGS.

MAIN BUILDING: THE MAIN BUILDING WILL BE AN EYEBROW HOUSE WITH AN ASYMMETRICAL JAW TOOTH BUMP OUT AT THE REAR, SEE DRAWINGS FOR MORE DETAIL.

DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX): NA

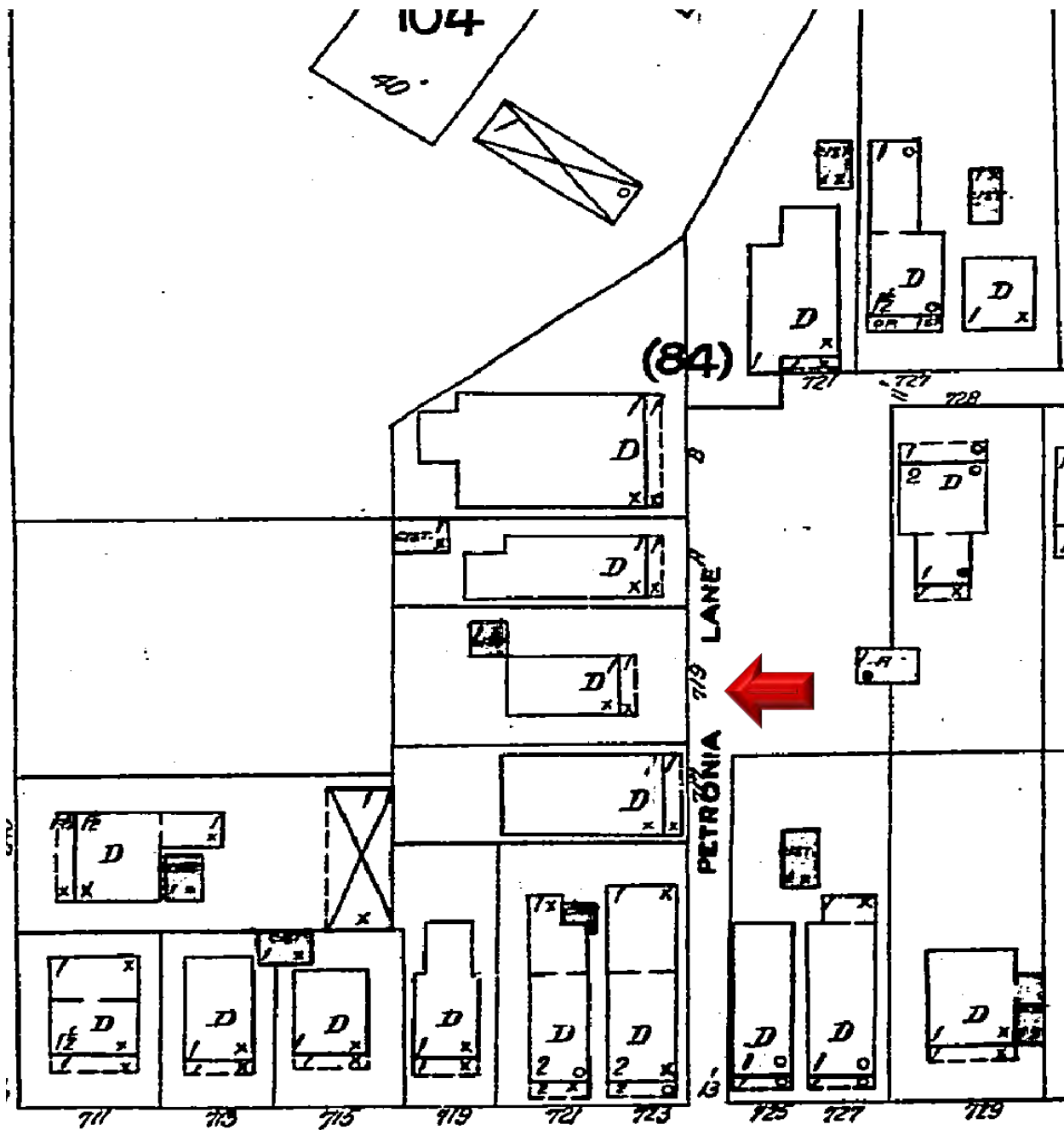
APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE
PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS CITY_HARC@CITYOFKEYWEST-FL.GOV

ACCESSORY STRUCTURE(S): <i>N/A</i>	
PAVERS: <i>BRICK PARKING STRIPS & WALKWAYS, SEE PLANS</i>	FENCES: <i>WOOD PICKET FENCE, SEE DRAWINGS.</i>
DECKS: <i>POOL DECK @ REAR.</i>	PAINTING:
SITE (INCLUDING GRADING, FILL, TREES, ETC):	POOLS (INCLUDING EQUIPMENT): <i>YES, SEE DRAWINGS</i>
ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC):	OTHER:
<i>N/A</i>	

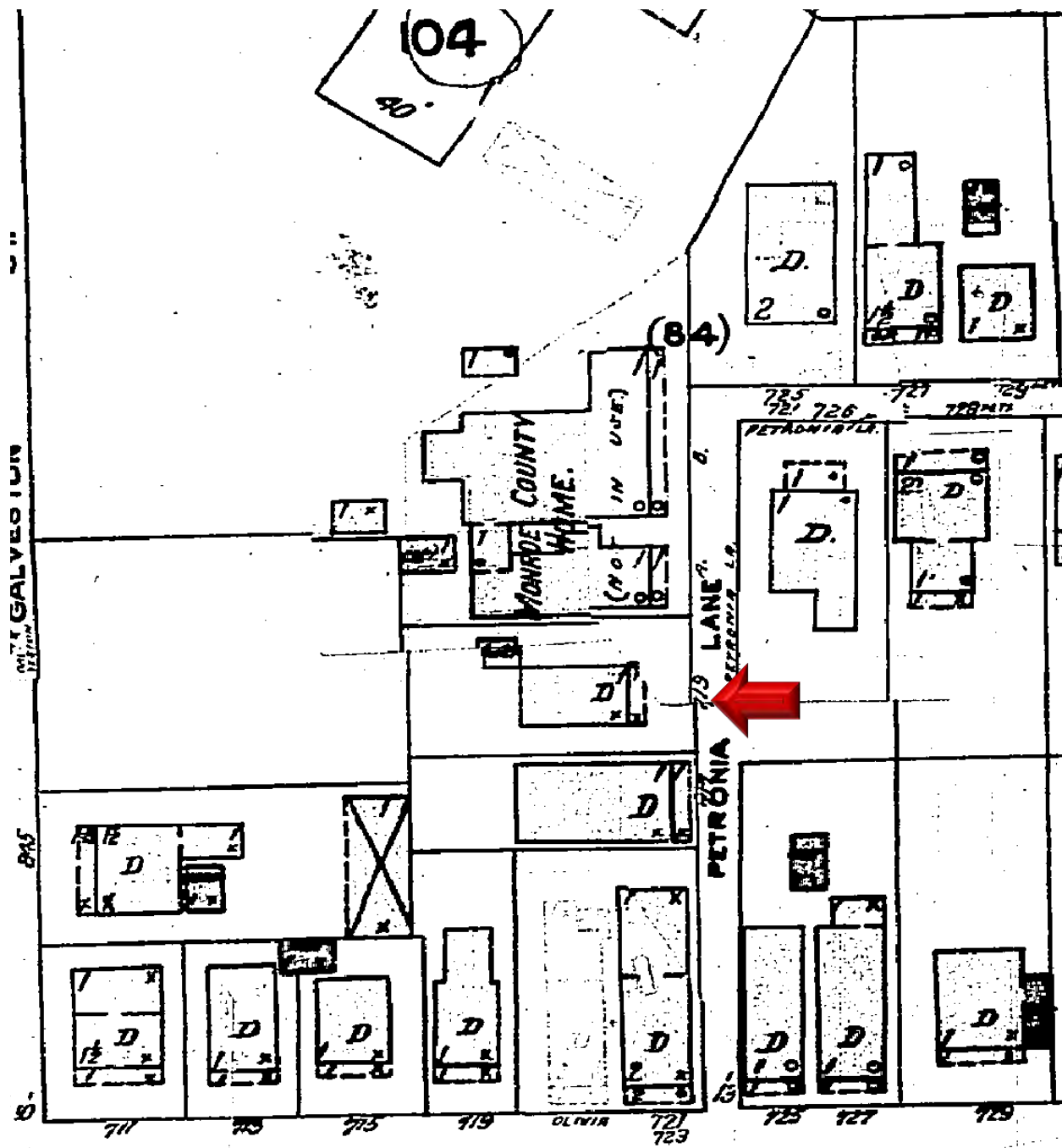
OFFICIAL USE ONLY:	HARC COMMISSION REVIEW	EXPIRES ON:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
REASONS OR CONDITIONS:		
STAFF REVIEW COMMENTS:		
FIRST READING FOR DEMO:	SECOND READING FOR DEMO:	
HARC STAFF SIGNATURE AND DATE:	HARC CHAIRPERSON SIGNATURE AND DATE:	

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.

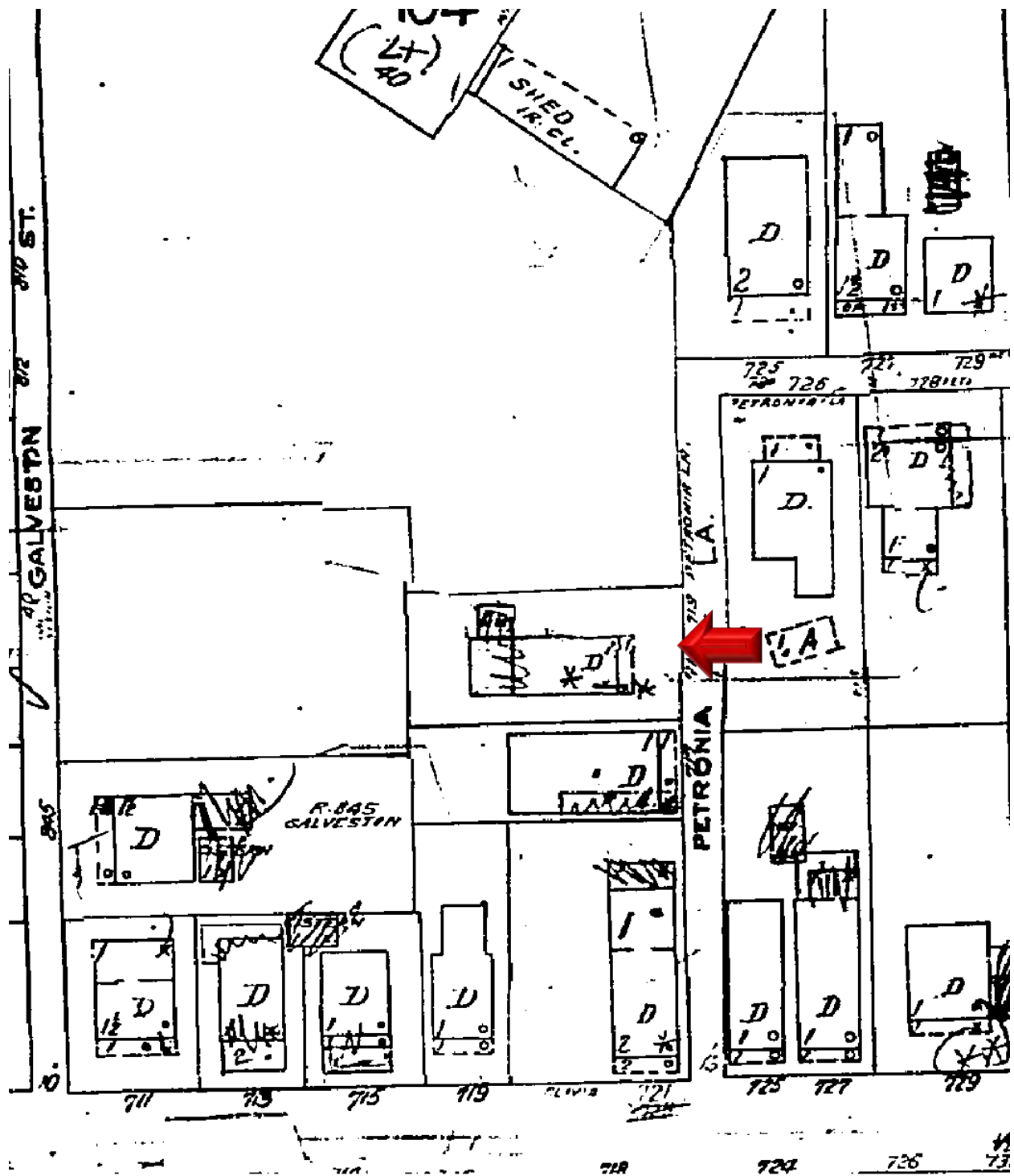
SANBORN MAPS



1926 Sanbron Map



1948 Sanbron Map



1962 Sanbron Map

PROJECT PHOTOS



719 Petronia Lane aka 719 Poorhouse Lane circa 1965. Monroe County Library.

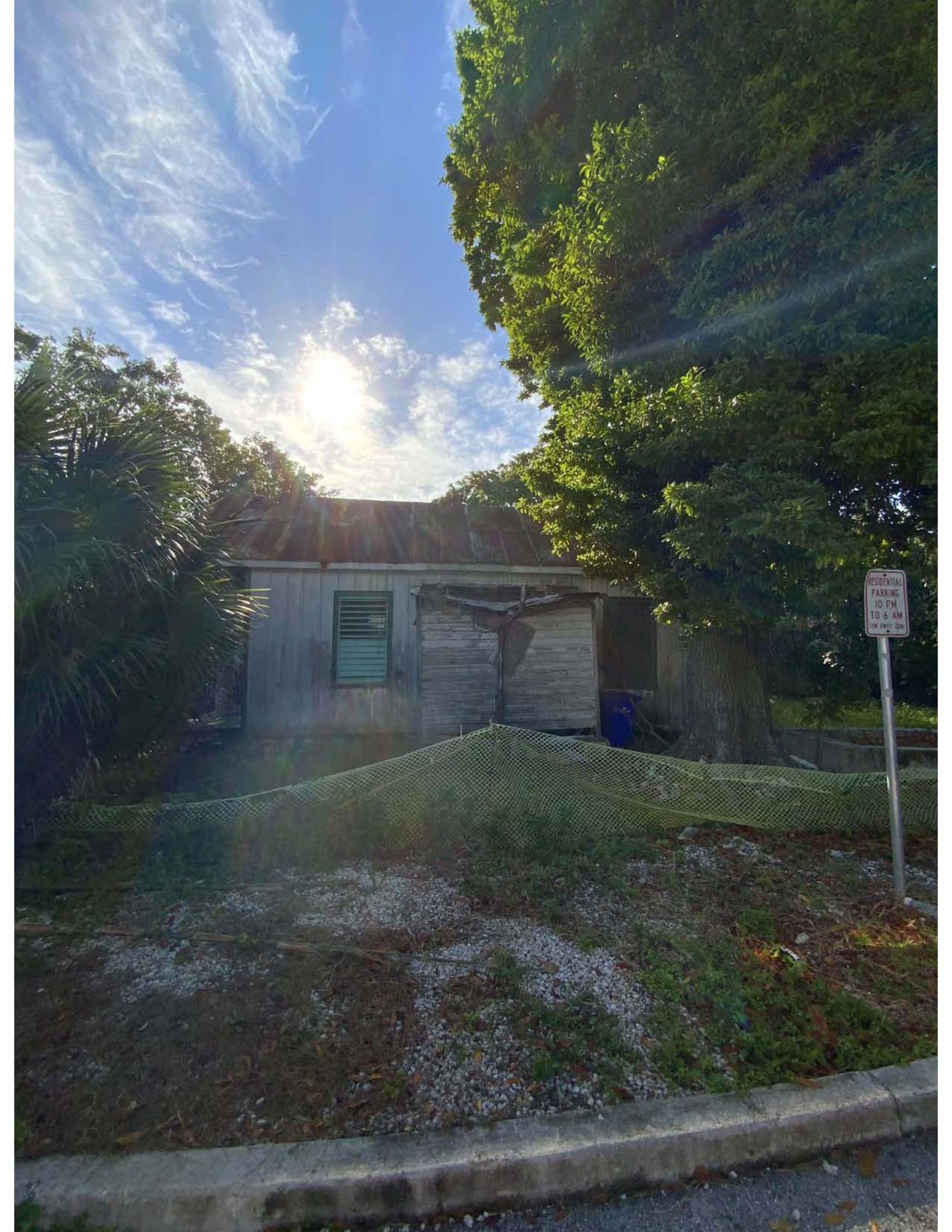


NO
TRESPASSING

715

NO
TRESPASSING





RESIDENTIAL
PARKING
10 PM
TO 6 AM
LOW ANGLE TOLK







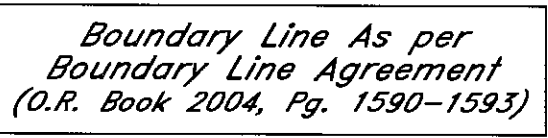
SURVEY

1" = 10'

Assumed

N

<ul style="list-style-type: none"> ⊙ Found 3/4" Iron Pipe (No ID) ○ Set 3/4" Iron Pipe w/cap (6298) ● Found 1/2" Iron Rod (FKLS) ▲ Found Nail & Disc (FKLS) (M) Measured (R) Record (M/R) Measured & Record ⊗ Sewer Cleanout 	<ul style="list-style-type: none"> R\W Right of Way CLF Chain Link Fence Ⓢ Centerline ⊗ Wood Utility Pole -P- Overhead Utility Lines (5.5) Spot Elevation (Typical) 13" Tree (Diameter) 🌴 Palm
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NOTE:
Chain Link fence referred
to in Boundary Line agreement
does not exist as of this date.
Surveyor held distances.

Sheet One of Two Sheets

J. LYNN O'FLYNN, Inc.

Professional Surveyor & Mapper
PSM #6298

3430 Duck Ave., Key West, FL 33040
(305) 296-7422 FAX (305) 296-2244

Boundary Survey Report of part of Lot 3 of Tract 5 on the Island of Key West

NOTES:

1. The legal description shown hereon was furnished by the client or their agent.
2. Underground foundations and utilities were not located.
3. All angles are 90° (Measured & Record) unless otherwise noted.
4. Street address: 719 Poorhouse Lane, Key West, FL.
5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
7. North Arrow is assumed and based on the legal description.
8. Adjoiners are not furnished.
9. Date of field work: November 12, 2023
10. Ownership of fences is undeterminable, unless otherwise noted.
11. The Southeast boundary line of the subject property was established by the "Boundary Line Agreement in O.R. Book 2004, Page 1590-1593".
12. Elevation are shown in parenthesis and refer to Mean Sea Level, N.G.V.D. 1929 Datum.

BOUNDARY SURVEY OF: Part of Tract Five (5), and better known as part of Lot Three (3) of said of said Tract Five (5) according to J. H. Weatherford' Subdivision of part of said Tract Five (5) in the Island of Key West, duly recorded in Plat Book No. 1, Page 5, of the Public Records of Monroe County, Florida, commencing One Hundred Three (103) feet from the Southeast corner of an alley Twelve (12) feet wide and Olivia Street, and running along said alley-way in a N.W. direction Forty (40) feet, thence at right angles in a S.W. direction Seventy Three (73) feet, thence at right angles in a S.E. direction Forty (40) feet, thence at right angles in a N.E. direction Seventy Three (73) feet to the place of beginning, with the right of way through said alley-way of Twelve (12) feet.

BOUNDARY SURVEY FOR: Key West Modernist LLC;
WFG National Title Insurance Company;
atCause Title Agency, LLC;

I HEREBY CERTIFY that this survey was made under my responsible charge and meets the Standard of Practice as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

J. LYNN O'FLYNN, INC.

J. Lynn O'Flynn, PSM
Florida Reg. #6298

November 17, 2023

THIS SURVEY
IS NOT
ASSIGNABLE

Sheet Two of Two Sheets

J. LYNN O'FLYNN, Inc.



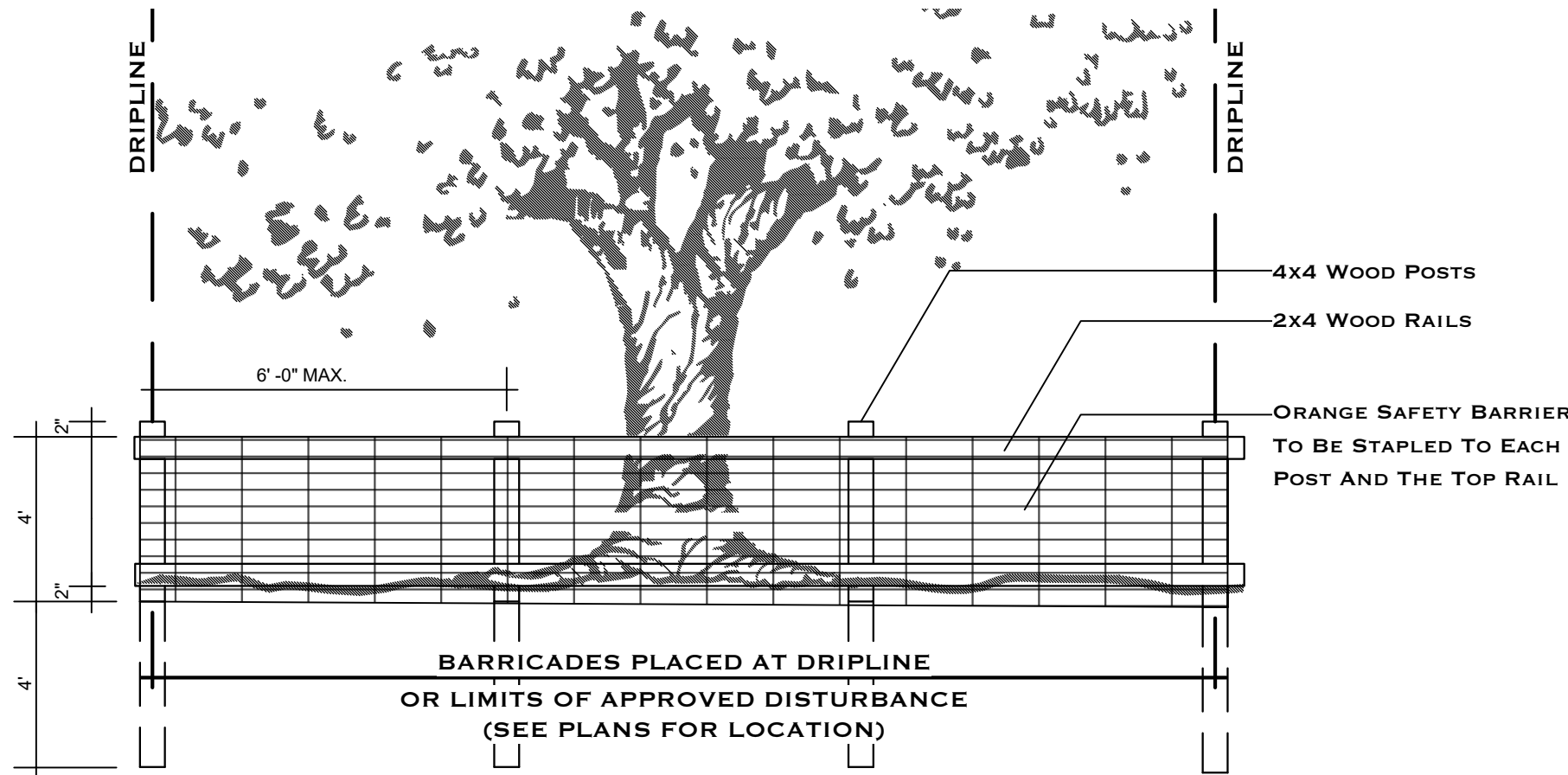
Professional Surveyor & Mapper
PSM #6298

3430 Duck Ave., Key West, FL 33040
(305) 296-7422 FAX (305) 296-2244

PROPOSED DESIGN



T. S. NEAL ARCHITECTS, INC.



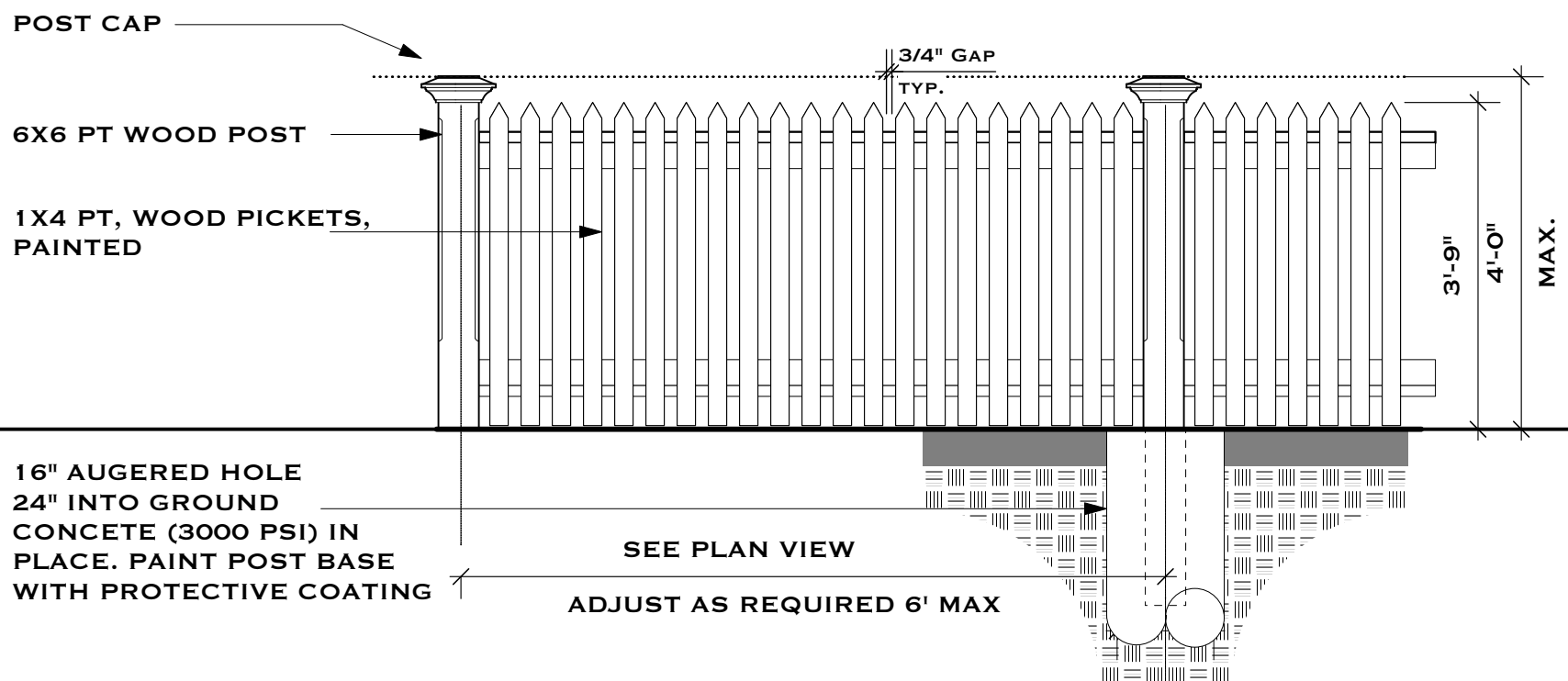
TREE PROTECTION AND PRESERVATION NOTES:

- PROTECT DESIGNATED EXISTING TREES SCHEDULED TO REMAIN AGAINST:
 - UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS
 - SKINNING AND BRUISING OF BARK
 - SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION OR EXCAVATION MATERIALS WITHIN PROTECTION BARRIER
- PROTECTION BARRIERS (TREE BARRICADES) SHALL BE PLAINLY VISIBLE AND SHALL CREATE A CONTINUOUS BOUNDARY AROUND TREES OR VEGETATION CLUSTERS IN ORDER TO PREVENT ENCRoACHMENT WITHIN THE BARRICADE.
- FOR ALL TREES TO BE PRESERVED, SEE TREE PROTECTION AND BARRICADE ELEVATION DETAIL.
- NO GRADE CHANGES SHALL BE MADE WITHIN THE PROTECTIVE BARRIER ZONES WITHOUT PRIOR APPROVAL.
- THE METHOD OF PROTECTION IS TO MAKE CERTAIN THAT 50% OF THE AREA UNDER THE CANOPY DRIPLINE REMAINS UNDISTURBED (NO GRADE CHANGE OR ROOT CUT) AND THERE SHALL BE NO DISTURBANCE TO THE ROOT PLATE.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT AND MITIGATION COSTS OF TREES DAMAGED BEYOND REPAIR THAT HAVE BEEN IDENTIFIED AS PROTECTED AND PRESERVED. IF TREES ARE HARMED THROUGH LACK OF PROTECTION OR THROUGH NEGLIGENCE ON THE PART OF THE CONTRACTOR, THE CONTRACTOR SHALL BEAR THE BURDEN OF THE COST OF REPAIR OR REPLACEMENT.
- ROOT PRUNING SHALL BE DONE BY OR UNDER SUPERVISION OF AN ISA CERTIFIED ARBORIST, AND MEET OR EXCEED ANSI A300 OR APPROVED TREE CARE INDUSTRY STANDARDS. A CERTIFIED ARBORIST MUST BE ONSITE DURING THE ENTIRETY OF ROOT PRUNING.
- NO ROOT PRUNING SHALL BE DONE WITHIN A DISTANCE OF 3x THE DIAMETER THE TREE UNLESS AUTHORIZED BY THE ARBORIST.
- NO MORE THAN 30% OF THE TREES ROOTS MAY BE PRUNED.
- A PRUNING TRENCH SHALL BE CLEARED IN A WAY THAT EXPOSES THE ROOTS WHILE LEAVING THEM INTACT. USE HAND TOOLS OR AN AIR KNIFE. LIMITS OF TRENCH TO BE DETERMINED BY THE ARBORIST.
- ALL ROOTS OUTSIDE OF THE PROTECTIVE BARRICADE TO BE REMOVED DURING THE DEVELOPMENT SHALL BE SEVERED CLEAN USING A SHARP TOOL TO PROVIDE A CLEAN CUT. ROOTS SHALL BE LEFT WITH CLEAN SMOOTH ENDS AND NO RAGGED EDGES AND A TWO-INCH LAYER OF MULCH SHALL BE APPLIED OVER THE SURFACE OF EXPOSED ROOTS DURING DEVELOPMENT WITHIN ONE HOUR OF DAMAGE OR EXPOSURE.
- AFTER PRUNING, TREE ROOTS SHALL BE COVERED AND KEPT MOIST. FILL PRUNING TRENCH WITH TOPSOIL AND WATER DAILY FOR A PERIOD DETERMINED BY THE ARBORIST.

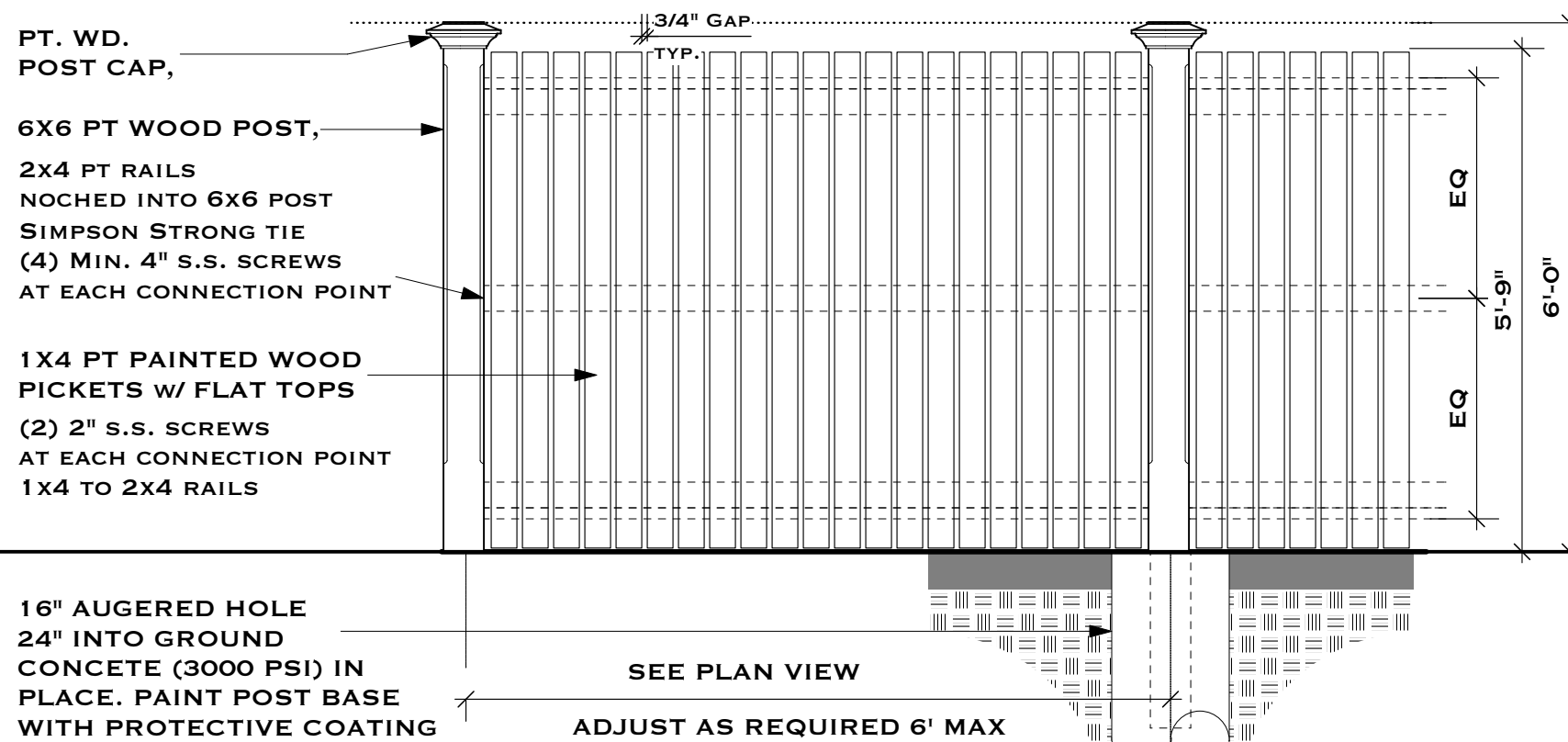
SITE NOTES

- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN ENGINEER/SURVEYOR CERTIFIED STAKE OUT OF THE BUILDING, DRIVEWAY, PARKING AREAS, AND PORCHES IN COORDINATION WITH THE DRAWINGS AND ANY REQUIRED ZONING SETBACKS. THE BUILDING LOCATION AND FINISH FLOOR LEVEL SHALL BE APPROVED BY THE ARCHITECT AND OWNER PRIOR TO EXCAVATION WORK. THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, PROPERTY LINES, EASEMENTS, AND SETBACKS PRIOR TO PROCEEDING WITH EXCAVATION.
- THE GENERAL CONTRACTOR SHALL OBTAIN A LINE LOCATION SERVICE & DISCONNECT ANY EXISTING UTILITIES REQUIRED FOR CONSTRUCTION & SITE WORK. THE EXISTING UTILITIES SHALL BE REMOVED TO THE EXTENT REQUIRED TO ACCOMMODATE NEW CONSTRUCTION AND AS APPROVED BY LOCAL UTILITIES REPRESENTATIVES. INSTALL NEW UTILITIES AND SERVICES AS REQUIRED FOR NEW HOUSE CONSTRUCTION. PROVIDE UNDERGROUND SERVICE UNLESS DIRECTED & AGREED OTHERWISE. AREAS WHERE SERVICES ARE REMOVED SHALL BE EXCAVATED TO MINIMUM EXTENT REQUIRED.
- THE DRAWINGS SHALL BE COORDINATED WITH THE ACTUAL EXISTING SITE CONDITIONS, EXISTING TREE LOCATIONS, AND REMOVAL OF ANY EXISTING STRUCTURES OR FENCES ETC. ANY POTENTIAL CONFLICTS OR DISCREPANCIES THAT MAY AFFECT THE HOUSE LOCATION OR ANY SIGNIFICANT FEATURES SHALL BE REPORTED TO THE ARCHITECT AND OWNER PRIOR TO CONSTRUCTION. THE GENERAL CONTRACTOR SHALL COORDINATE AND MAKE ADJUSTMENTS AS MAY BE AGREED UPON AT THAT TIME TO ALL FINISH FLOOR ELEVATIONS WITH THE ARCHITECT AND OWNER AT THE TIME OF BUILDING STAKEOUT. ACTUAL NUMBERS OF TREADS AND RISERS OR STEPS MAY VARY FROM THE NUMBER SHOWN ON THE DRAWINGS BASED ON ACTUAL FIELD CONDITIONS.
- THE GENERAL CONTRACTOR SHALL MAINTAIN ON SITE DRAINAGE AWAY FROM FOOTING TRENCHES AND SHALL PROVIDE POSITIVE SLOPES AWAY FROM THE BUILDING AND DRIVES. BUT UNDER NO CIRCUMSTANCE CAUSE ADDITIONAL DRAINAGE OR EROSION TO ADJACENT PROPERTIES. PROVIDE TEMPORARY DIVERSIONS AS NECESSARY.
- THE GENERAL CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES AND ALL ON SITE VEGETATION AND TREES OUTSIDE THE BUILDING FOOTPRINT FROM ANY HARM OR ADVERSE CONDITIONS RELATED TO CONSTRUCTION ACTIVITIES DURING THE ENTIRE TIME OF CONSTRUCTION. THE REMOVAL OF ANY TREES OR VEGETATION IN THE AREA OF THE BUILDING FOOTPRINT SHALL BE COORDINATED WITH THE ARCHITECT & LANDSCAPE DESIGNER PRIOR TO REMOVAL. PROVIDE A FENCED TREE PROTECTION ZONE AROUND SIGNIFICANT AND PROTECTED TREES REMAINING. NO PARKING OR STACKING OF MATERIALS, DEBRIS, OR SOIL SHALL BE PERMITTED UNDER TREE CANOPY OR ON TOP OF TREE ROOTS. MEET ON SITE WITH ARCHITECT & OWNER TO DETERMINE SPECIFIC TREES TO PROTECT PRIOR TO ANY SITE WORK & TO IDENTIFY BOUNDS OF CONTRACTORS STAGING & MATERIALS STORAGE AREAS & EMPLOYEE PARKING. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING THE SITE CLEAN & ORDERLY EACH & EVERY DAY & IN NO CIRCUMSTANCE IS TRASH OR LITTER ALLOWED TO REMAIN IN VIEW OR OUTSIDE OF SECURE CONTAINERS. THE PORT-O-LET & DUMPSTERS & TRASH CONTAINERS MUST BE PLACED IN AN AREA AGREEABLE TO BOTH THE OWNER & SERVICING AGENCY. THEY MAY NOT BE ALLOWED TO OVERFLOW OR BECOME AN NUISANCE OR EYESORE AND SHALL BE EMPTIED REGULARLY.
- THE GENERAL CONTRACTOR SHALL PROVIDE EROSION CONTROL MEANS & METHODS TO PREVENT SITE EROSION & SHALL DIRECT GROUNDWATER IN A NATURAL FLOW DIRECTION TO COLLECTOR AREAS. NO EXCESS DIRT, MUD, DEBRIS, WASTE, CONSTRUCTION DEBRIS, WASHOUT, OR CLEANING OPERATIONS SHALL BE ALLOWED OFF SITE OR ALLOWED TO FLOW OFF SITE. ALL SILT FENCING OR OTHER EROSION CONTROL METHODS SHALL BE MAINTAINED IN GOOD WORKING CONDITION. SEE CIVIL.
- THE LOCATION OF ANY EXISTING AND PROPOSED SITE UTILITIES AND SERVICE ENTRANCES & ROUTES SHALL BE DETERMINED ON SITE WITH THE OWNER PRIOR TO ANY WORK BEING PERFORMED. LOCAL UTILITY REPRESENTATIVES SHALL BE INFORMED AND SHALL AGREE AND APPROVE ALL UTILITY WORK BEING PERFORMED. PROVIDE UNDERGROUND SERVICE TO FULLEST EXTENT POSSIBLE AS AGREEABLE TO THE OWNER. SEE MEP DRAWINGS.
- CONSTRUCTION ACCESS WITH SOIL TRACKING DEVICES TO KEEP ALL MATERIALS ON SITE DURING CONSTRUCTION.
- PERMANENT SITE STABILIZATION, SOD, OR GRAVEL, SHALL BE IN PLACE PRIOR TO ISSUANCE OF C.O. FOR PROJECT.
- INSTALL SILT FENCE AROUND PERIMETER OF PROPERTY PRIOR TO ANY CONSTRUCTION ACTIVITIES ONSITE. SEE SILT FENCE DETAILS.
- CONSTRUCTION ACCESS WITH SOIL TRACKING DEVICES TO KEEP ALL MATERIALS ON SITE DURING CONSTRUCTION.

NOTE: PAINT ALL FENCING TO BE PAINTED WHITE



1 TYP. 4'-0" TALL FENCE DETAILS
SCALE: 1/2" = 1'-0"

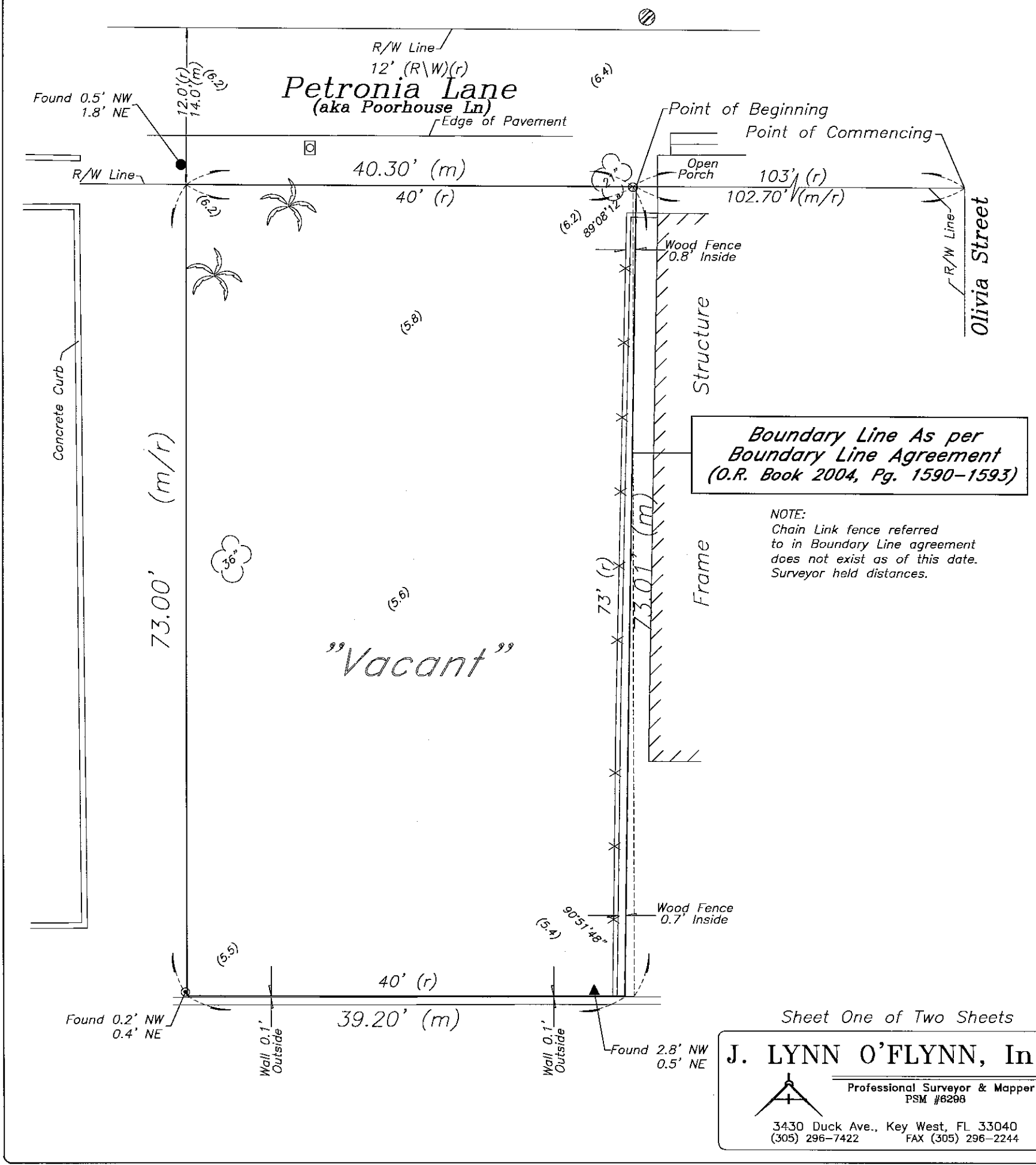


2 TYP. 6'-0" FENCE DETAILS
SCALE: 1/2" = 1'-0"

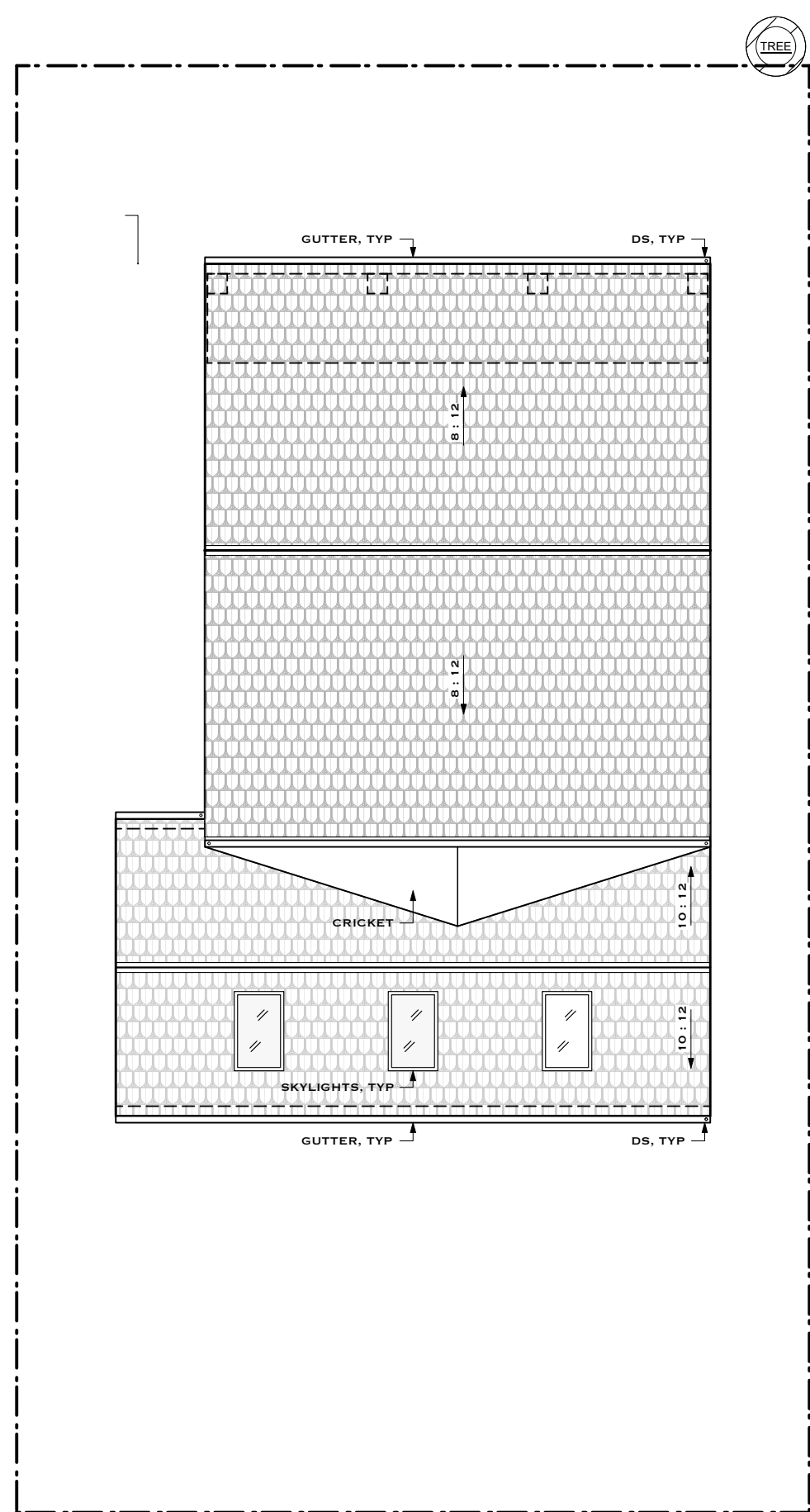
Boundary Survey Map of part of Lot 3 of Tract 5 on the Island of Key West

LEGEND

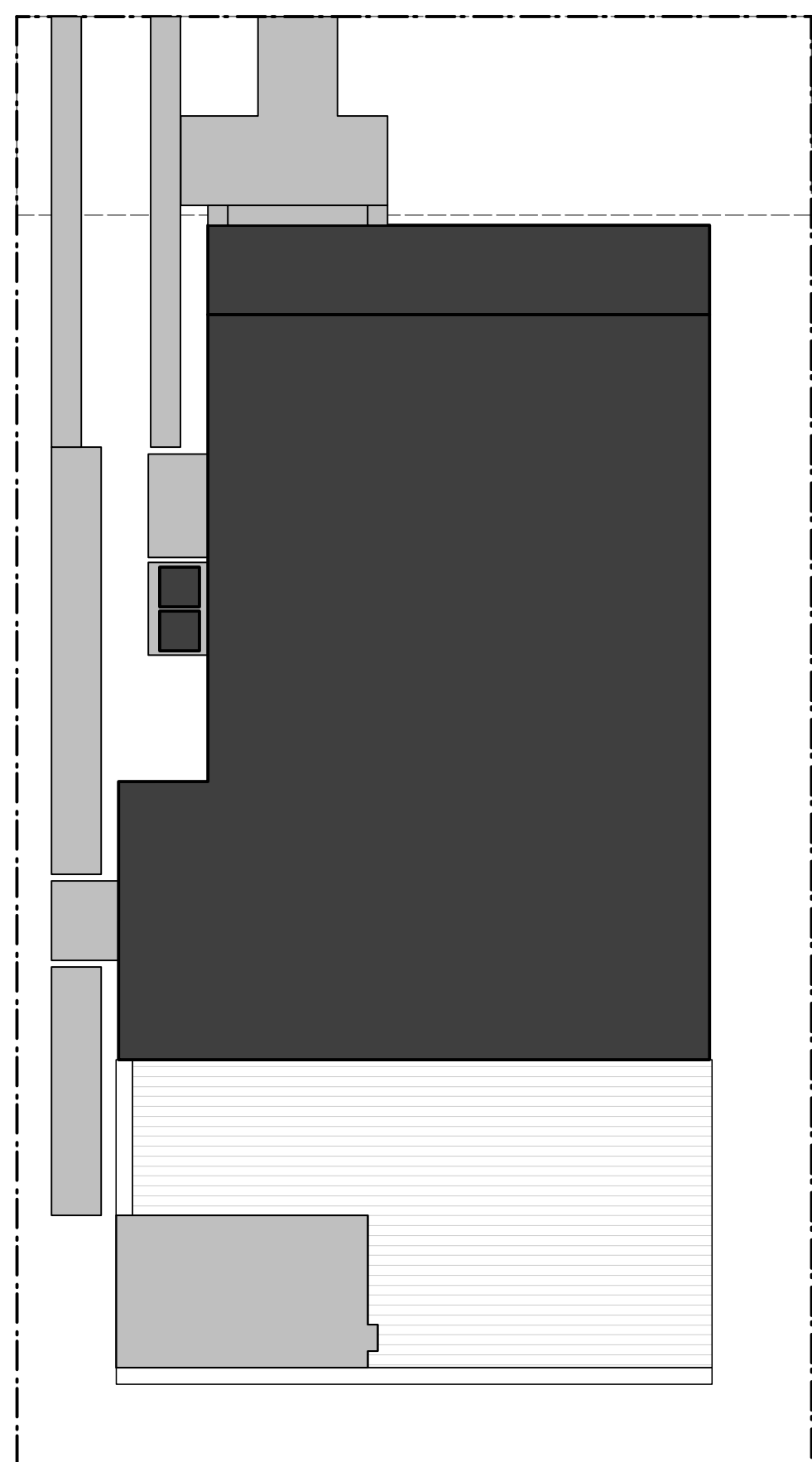
- Found 3/4" Iron Pipe (No ID)
- Set 3/4" Iron Pipe w/cap (6298)
- Found 1/2" Iron Rod (FKLS)
- Found Nail & Disc (FKLS)
- Measured
- Record
- Measured & Record
- Sewer Cleanout
- R/W Right of Way
- CLF Chain Link Fence
- Centerline
- Wood Utility Pole
- Overhead Utility Lines
- Spot Elevation (Typical)
- Tree (Diameter)
- Palm



SURVEY PROVIDED BY OWNER FOR REF. ONLY.



3 ROOF PLAN
SCALE: 1/8" = 1'-0"

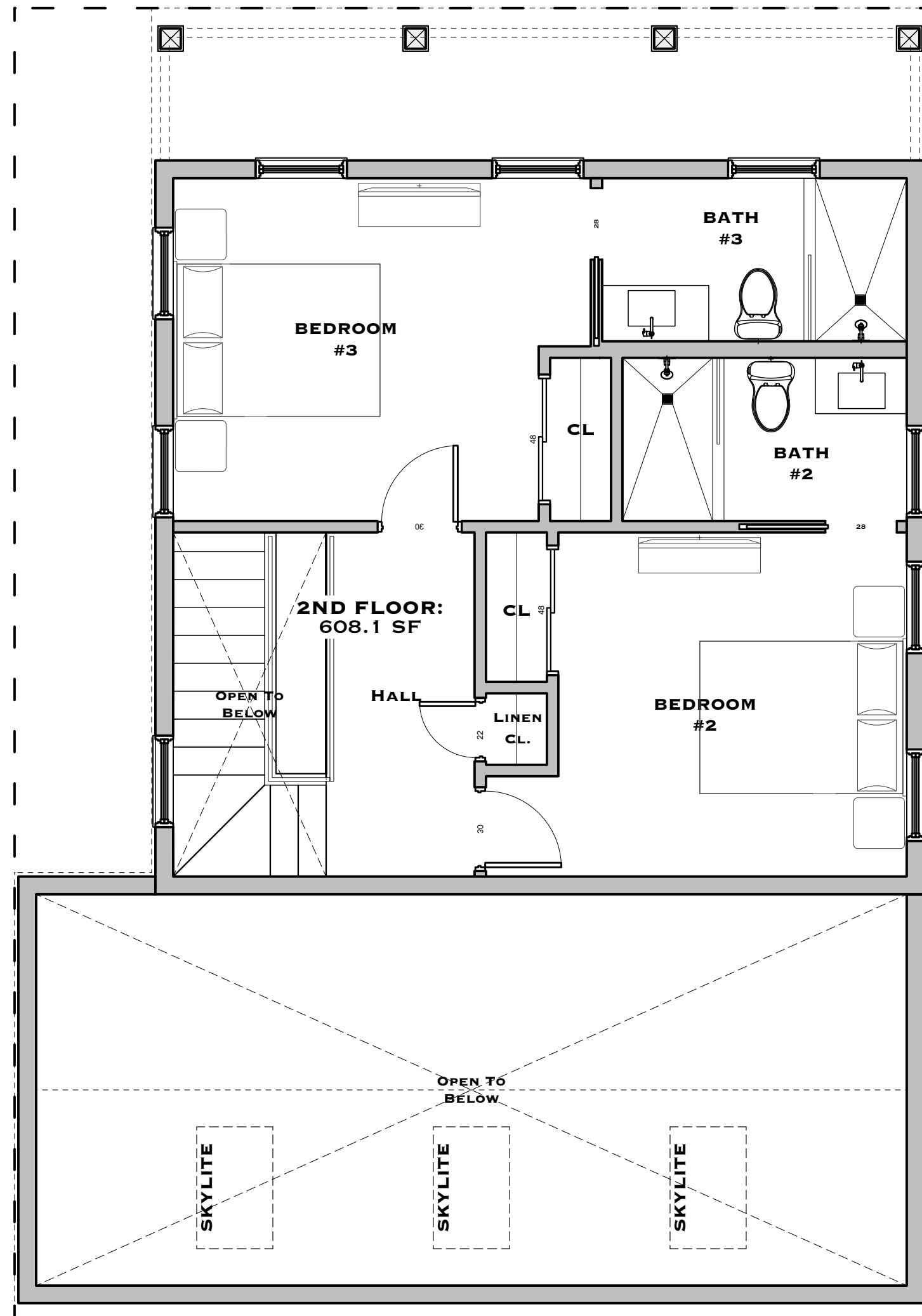


4 SITE DATA DIAGRAM
SCALE: 1/8" = 1'-0"

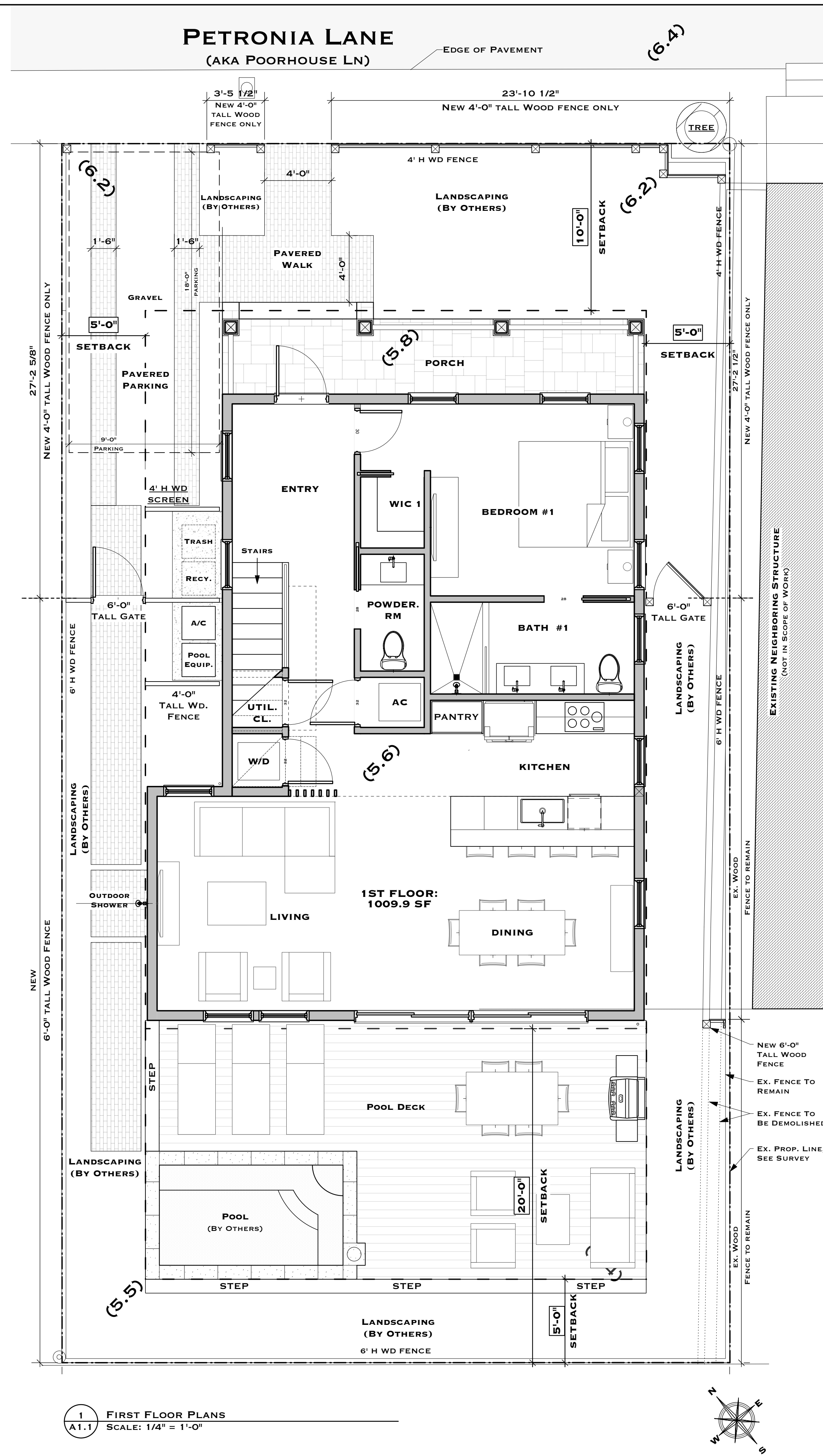
SITE DATA DIAGRAM KEY:

- EXTENT OF BUILDING COVERAGE
- EXTENT OF IMPERVIOUS COVERAGE
- EXTENT OF DECK COVERAGE
- EXISTING PROP. LINE, SEE SURVEY

SITE DATA 719 POORHOUSE LANE RE#00019810-000000				
ITEM	EXISTING	REQ. PER LDR	PROPOSED	REMARK
DISTRICT	HHDR	HHDR	HHDR	NO CHANGE
SITE AREA	2,820 SQ. FT.	4,000 SQ. FT.	EXISTING	NO CHANGE
LOT SIZE	SEE SURVEY	40' X 90' (MIN.)	EXISTING	NO CHANGE
IMPERVIOUS	0.0%	1,750 SQ. FT. (62% MAX.)	1,480 SQ. FT. (53%)	CONFORMS
OPEN SPACE	100.0%	1,032 SQ. FT. (37% MIN.)	1,040.8 SQ. FT. (37%)	CONFORMS
BUILDING COV.	0.0%	1,440 SQ. FT. (51% MAX.)	1,121.6 SQ. FT. (40%)	CONFORMS
ACCESSORY STRUCTURE	0.0%	REAR YARD AREA: 800 SQ. FT. 240 SQ. FT. MAX. W/44' X 14'4" COV.	0 SQ. FT. (0%)	CONFORMS
FRONT YARD SOV.	0.0%	FRONT YARD AREA: 800 SQ. FT. 200 SQ. FT. MAX. W/10' X 10' COV.	288.6 SQ. FT. (36%)	CONFORMS
GREEN SPACE COV.	100.0%	FRONT YARD AREA: 800 SQ. FT. 200 SQ. FT. MAX. W/10' X 10' COV.	288.6 SQ. FT. (36%)	CONFORMS
SETBACKS				
FRONT SETBACK	0'-0"	10'	10'	CONFORMS
REAR SETBACK	0'-0"	20'	20'-0"	CONFORMS
SIDE SETBACK EAST	0'-0"	5'	5'-0"	CONFORMS
SIDE SETBACK WEST	0'-0"	5'	5'-0"	CONFORMS
BUILDING HEIGHT	0'-0"	30'-0"	20'-9"	CONFORMS



2 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLANS
SCALE: 1/4" = 1'-0"

T.S. NEAL
ARCHITECT INC.
22974 OVERSEAS HWY
CUDJOE KEY, FL
33042
305-340-8857
251-422-9547

A NEW RESIDENCE FOR
719 POORHOUSE LANE
KEY WEST, FL 33040

DRAWING TITLE:
FLOOR PLANS & ROOF PLAN

DRAWN: EDSA
CHECKED:
DATE: 12-05-2023

REVISION # DATE

A1.1
SHEET #

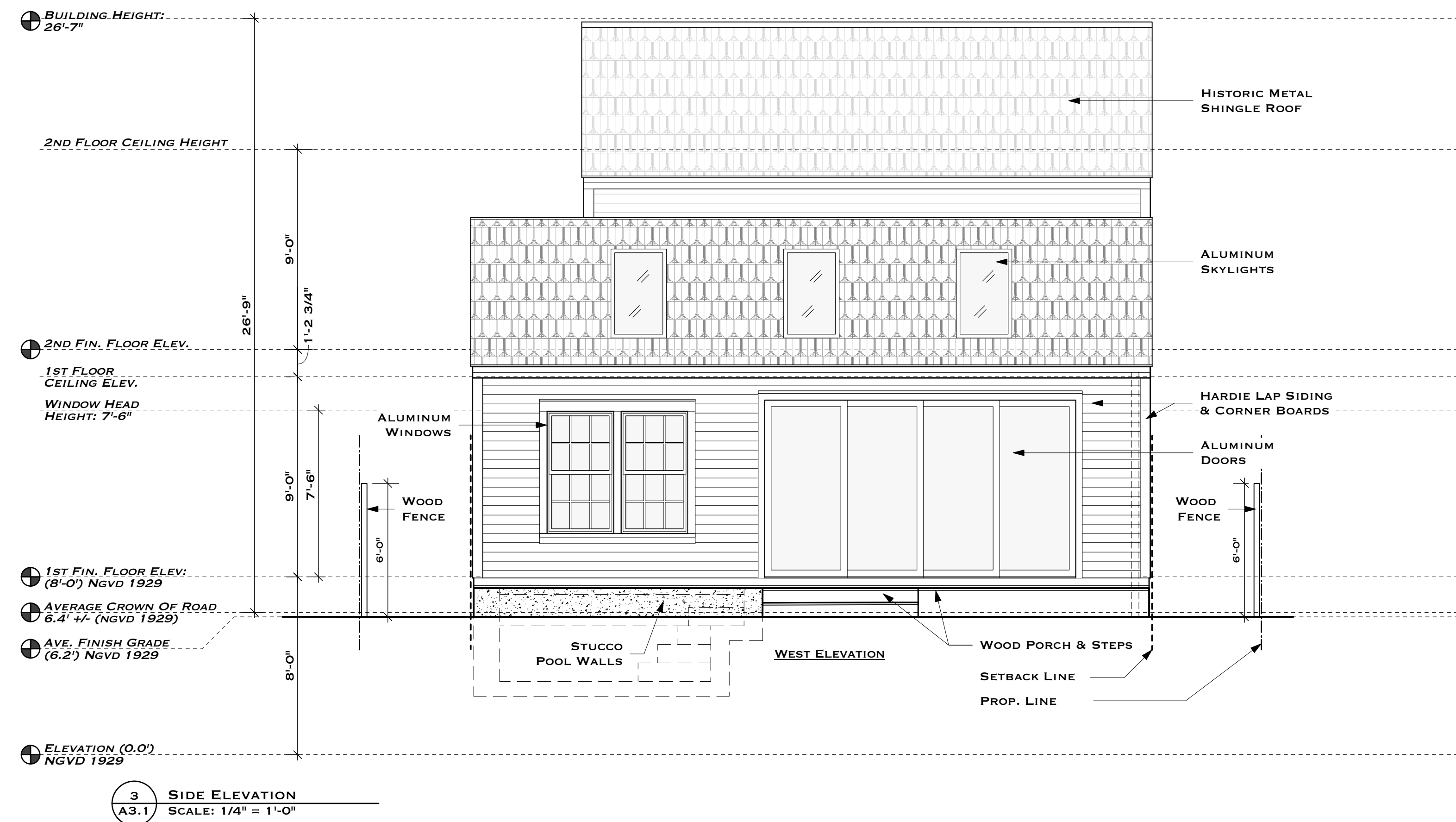
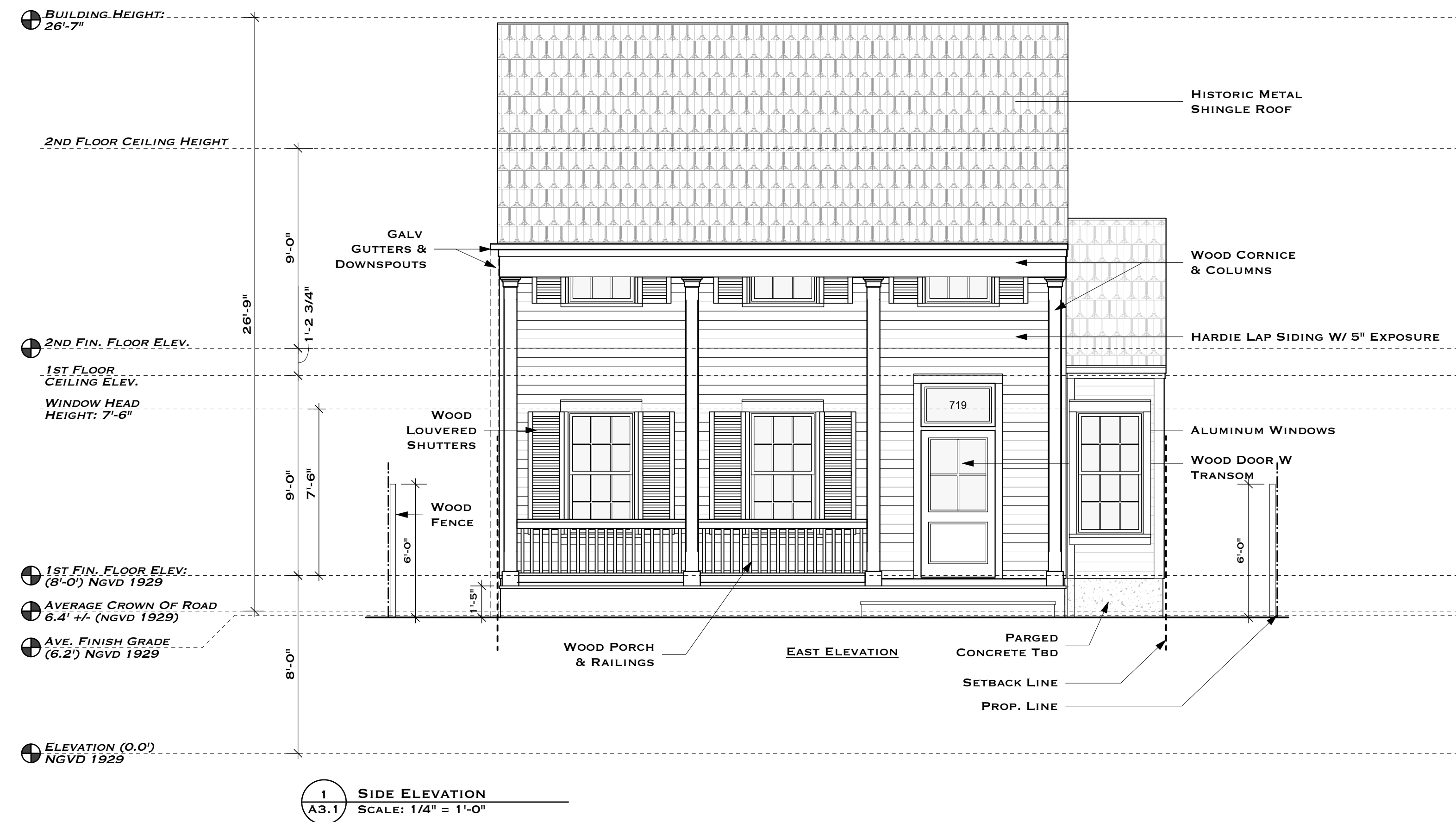
T.S. NEAL ARCHITECTS, INC.

-	-
-	-

VISION # DATE

A3.1

SHEET :





T.S. NEAL
ARCHITECT INC.

22974 OVERSEAS HWY
CUDJOE KEY, FL
33042

305-340-8857
251-422-9547

A NEW RESIDENCE FOR
719 POORHOUSE LANE
KEY WEST, FL 33040

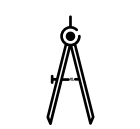
DRAWING TITLE:
ELEVATIONS

DRAWN: ED SA
CHECKED:
DATE: 12-05-2023

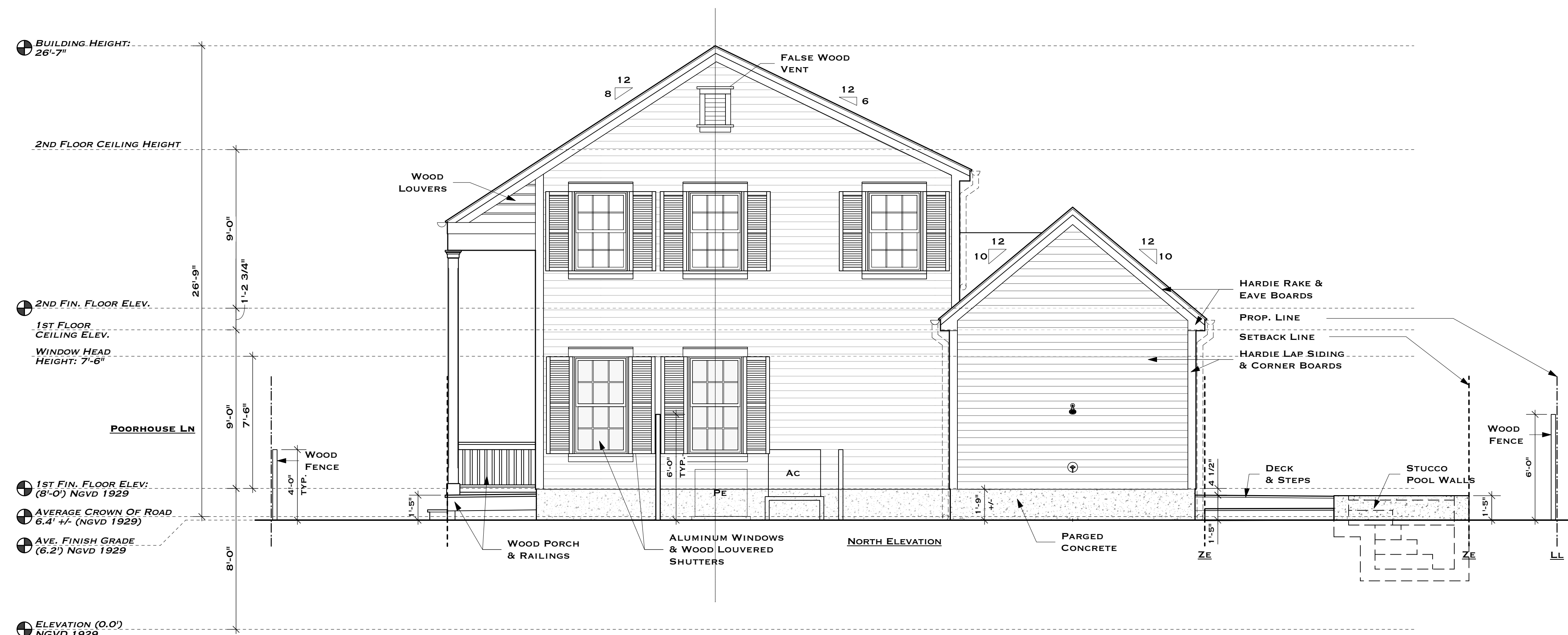
REVISION # DATE

A3.2

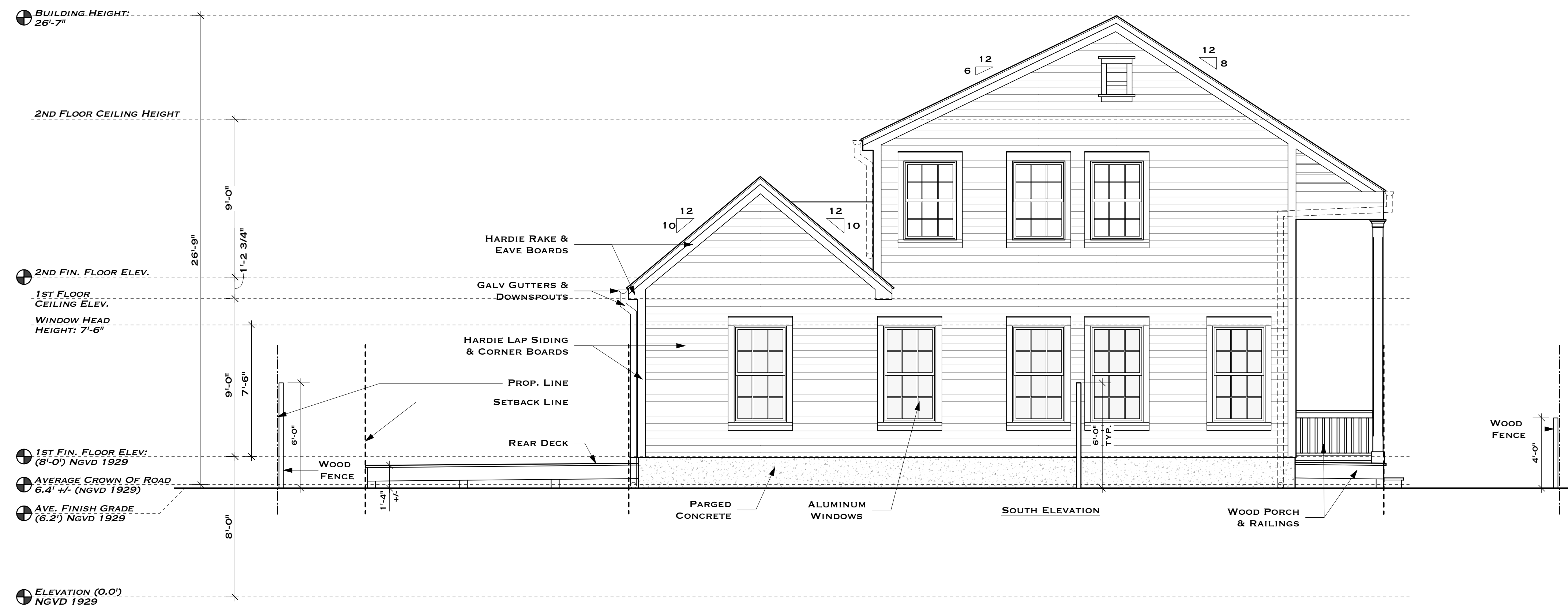
SHEET #



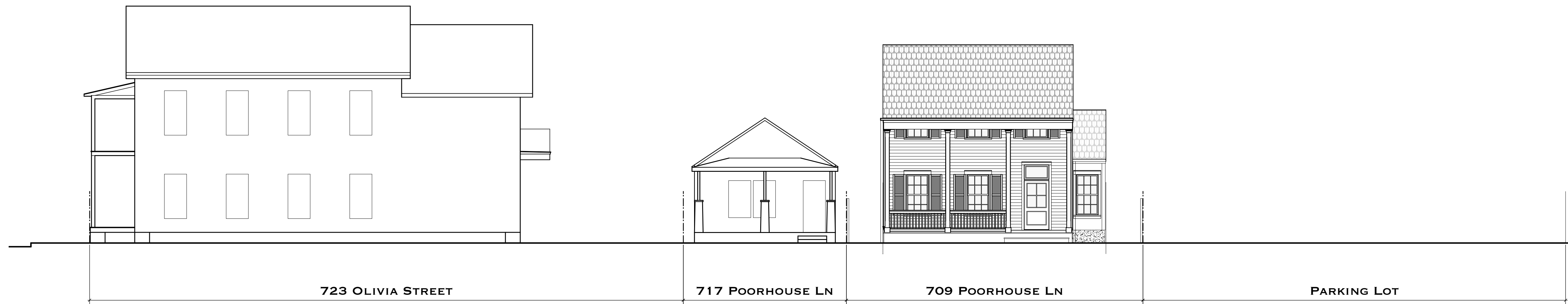
T.S. NEAL ARCHITECTS, INC.



1 SIDE ELEVATION
A3.2 SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION
A3.2 SCALE: 1/4" = 1'-0"



1 SIDE ELEVATION
A3.3 SCALE: 1/8" = 1'-0"



NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at **5:00 p.m., February 27, 2024, at City Hall, 1300 White Street**, Key West, Florida. The purpose of the hearing will be to consider a request for:

**NEW SINGLE-FAMILY HOUSE ON VACANT LOT.
NEW POOL AND DECK AT REAR. NEW DRIVEWAY
AND NEW FENCES.**

#719 POORHOUSE LANE

Applicant – Evan Amato T.S.N Architects Application #H2024-0006

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3973 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

HARC POSTING AFFIDAVIT

STATE OF FLORIDA:
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared EVAN AMATO, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address:
719 POORHOUSE LANE KEY WEST FL on the
20 day of FEBRUARY, 2024.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on FEB. 27 2024, 2024.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is #H2024-0006

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant:



Date: 02-21-2024

Address: 1207 FLORIDA ST


City: KEY WEST

State, Zip: 33040

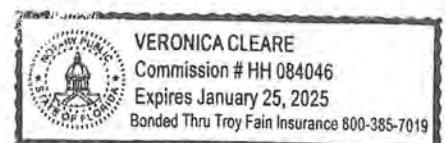
The forgoing instrument was acknowledged before me on this 21 day of
February, 2024.

By (Print name of Affiant) Evan Amato who is
personally known to me or has produced personally known as
identification and who did take an oath.

NOTARY PUBLIC

Sign Name: 
Print Name: Veronica Cleare

Notary Public - State of Florida (seal)
My Commission Expires: 1/25/25



PROPERTY APPRAISER INFORMATION

Monroe County, FL

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00019610-000000
Account# 1020290
Property ID 1020290
Millage Group 10KW
Location Address 719 POORHOUSE Ln, KEY WEST
Legal Description KW PT OF TR 5 G5-38 OR2004-1590 OR3059-2063 OR3260-697 OR3260-698 OR3255-1077 OR3260-0700
 (Note: Not to be used on legal documents.)
Neighborhood 6103
Property Class VACANT RES (0000)
Subdivision
Sec/Twp/Rng 06/68/25
Affordable No
Housing



Owner

TOLES RICHARD ESTATE
 C/O COURTNEY JACKSON EXECUTRIX OF ESTATE
 17 Alameda Pl
 Fleetwood NY 10552

[KEY WEST MODERNIST LLC](#)
 6378 Mill St
 Fl 2
 Rhinebeck NY 12572

Valuation

	2023 Certified Values	2022 Certified Values	2021 Certified Values	2020 Certified Values
+ Market Improvement Value	\$0	\$0	\$11,946	\$12,514
+ Market Misc Value	\$256	\$256	\$925	\$925
+ Market Land Value	\$1,016,186	\$650,359	\$426,121	\$387,506
= Just Market Value	\$1,016,442	\$650,615	\$438,992	\$400,945
= Total Assessed Value	\$519,638	\$472,398	\$438,992	\$400,945
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$1,016,442	\$650,615	\$438,992	\$400,945

Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2022	\$650,359	\$0	\$256	\$650,615	\$472,398	\$0	\$650,615	\$0
2021	\$426,121	\$11,946	\$925	\$438,992	\$438,992	\$0	\$438,992	\$0
2020	\$387,506	\$12,514	\$925	\$400,945	\$400,945	\$0	\$400,945	\$0
2019	\$365,827	\$13,083	\$925	\$379,835	\$379,835	\$0	\$379,835	\$0
2018	\$336,019	\$13,083	\$925	\$350,027	\$350,027	\$0	\$350,027	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RESIDENTIAL DRY (010D)	2,683.00	Square Foot	37.3	73

Yard Items

Description	Year Built	Roll Year	Size	Quantity	Units	Grade
CH LINK FENCE	1974	1975	4 x 72	1	288 SF	1

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
1/29/2024	\$750,000	Warranty Deed	2449322	3260	0700	99 - Unqualified	Improved		
12/18/2023	\$0	Order (to be used for Order Det. Heirs, Probate in	2444869	3255	1077	30 - Unqualified	Improved		
10/27/2020	\$9,900	Warranty Deed	2292867	3059	2063	98 - Unqualified	Vacant		

Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
21-1080	6/4/2021	5/7/2021	\$1,000	Residential	
21-0573	5/7/2021	5/7/2021	\$16,000	Residential	
07-5049	11/15/2007	2/28/2008	\$2,000	Residential	EMERGENCY DEMO OF 171 SF WOOD/CONCRETE STRUCTURE

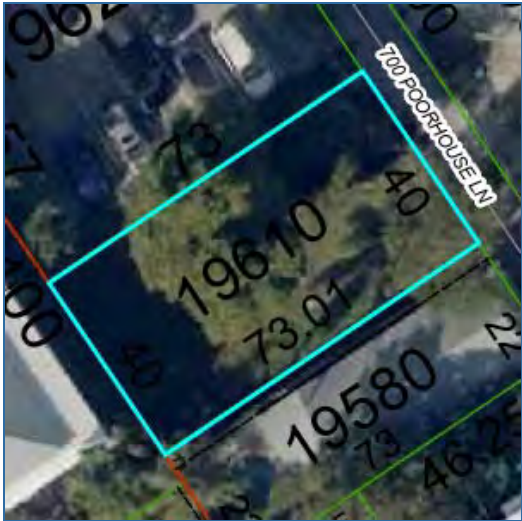
View Tax Info

[View Taxes for this Parcel](#)

Photos



Map



TRIM Notice

[2023 TRIM Notice \(PDF\)](#)

No data available for the following modules: Buildings, Sketches (click to enlarge).

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

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[Last Data Upload: 2/22/2024, 5:14:32 AM](#)

[Contact Us](#)

Developed by

