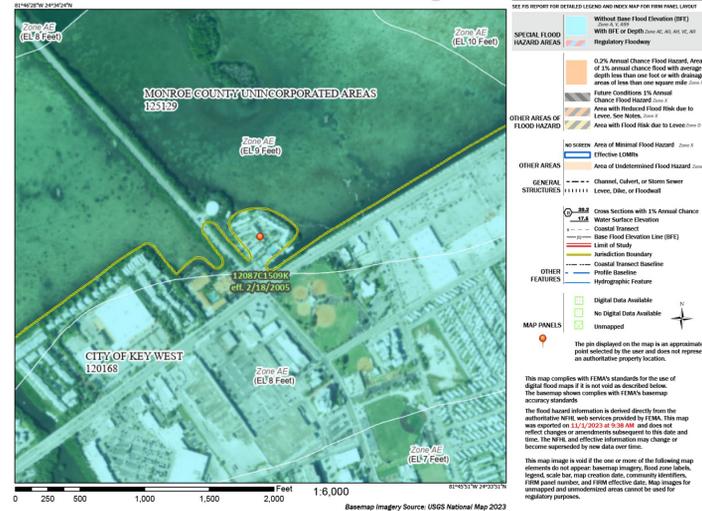


ZONING MAP OF THE CITY OF KEY WEST
 PLATE 5 OF 8.
 Not official version. Please contact the Planning Department or City Clerk for the official version.

3 ZONING MAP
 SCALE: NOT TO SCALE

National Flood Hazard Layer FIRMette



Legend

SEE FIRM REPORT FOR DETAILED LEGEND AND NOTES FOR OTHER PANELS. LOCATED AT: <https://www.fema.gov/national-flood-hazard-database>

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE)
- With BFE or Depth
- Regulatory Floodway

0.2% Annual Chance Flood Hazard, Areas of 2% Annual Chance Flood with average depth less than one foot or with drainage areas of less than one square mile (Zone X)

- Federal Conditions, 1% Annual Chance Flood Hazard (Zone X)
- Area with Reduced Flood Risk due to Levees, Sea Walls, etc. (Zone X)
- Area with Flood Risk due to Levees (Zone X)

OTHER AREAS OF FLOOD HAZARD

- Area of Minimal Flood Hazard (Zone X)
- Effective LOMs
- Area of Undetermined Flood Hazard (Zone X)

OTHER AREAS

- Channel, Culvert, or Stream/Inlet Structure
- Levee, Dike, or Floodwall

OTHER FEATURES

- Cross Sections with 1% Annual Chance Water Surface Elevation
- Coastal Structure
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transverse Baseline
- Public Baseline
- Hydrographic Feature

MAP PANELS

- Digital Data Available
- No Digital Data Available
- Unmapped

This map complies with FEMA's standards for the use of digital flood maps. If it is not an official edition, the base map shows complex with FEMA's base map accuracy standards.

The flood hazard information is derived directly from the authoritative data, with services provided by FEMA. This map was updated on 11/17/2023 at 5:30 AM and does not reflect changes or amendments subsequent to this date and time. The NFIIL and effective information may change or become superseded by new data over time.

This map image is void if the use or reuse of the following map elements do not appear: base map imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, title panel number, and FIRM effective date. Map images for unmapped and unredacted areas cannot be used for regulatory purposes.

2 FEMA FLOOD MAP
 SCALE: NOT TO SCALE

MAJOR DEVELOPMENT PLAN

IBIS BAY WATERFRONT RESORT
 KEY WEST, FL 33040
 PARCEL: 00002360-000000



A2O ARCHITECTURE

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 PROF. REG. AA20003092
 3706 N. ROOSEVELT BLVD., SUITE #202,
 KEY WEST, FL 33040

ARCHITECT:
 NOT VALID FOR CONSTRUCTION
 WITHOUT ORIGINAL SIGN AND SEAL

AILEEN A. OSBORN, R.A.
 LICENSE NO. AR97803
 EXPIRATION DATE: 02/28/27

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CONSULTANTS:

IBIS BAY WATERFRONT RESORT
 PARCEL ID: 00002360-000000

MAJOR DEVELOPMENT PLAN

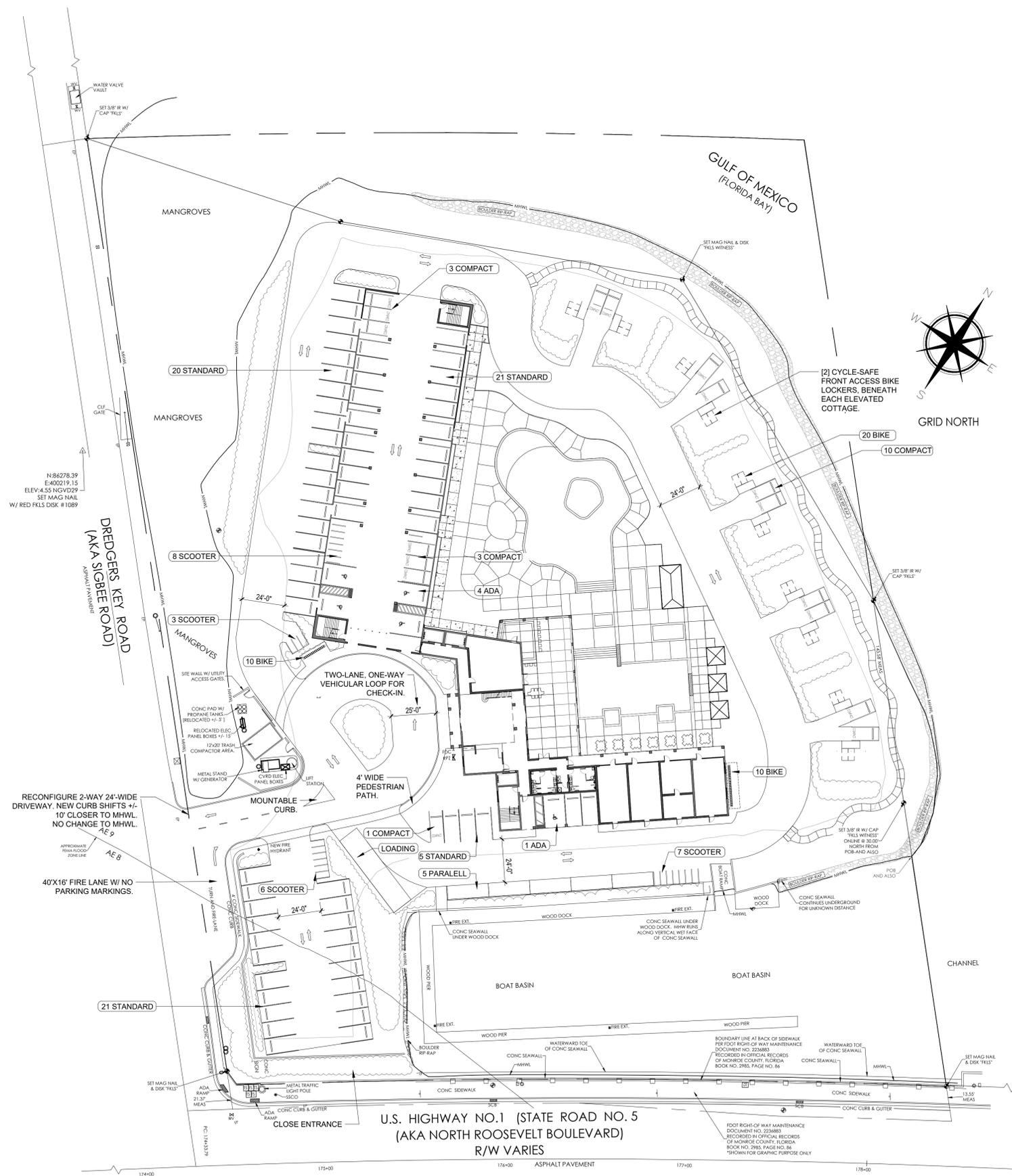
SUBMISSION
 3101 NORTH ROOSEVELT BLVD.,
 KEY WEST, FLORIDA 33040

TITLE:
 COVER PAGE

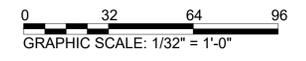
PROJECT #: 23.01
 SHEET:
G7.0

FEBRUARY 27, 2025
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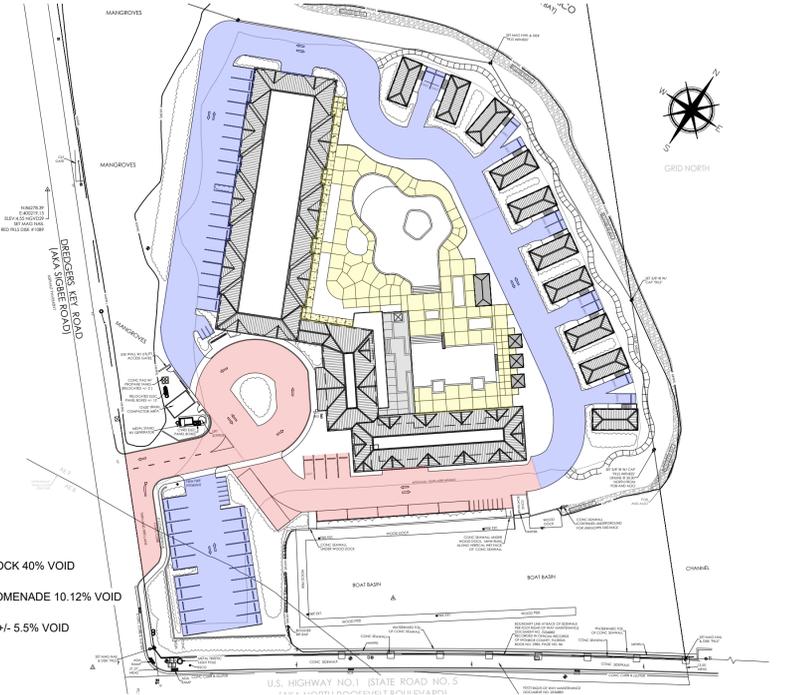
DRAWING SIZE: ARCH1 (DO NOT SCALE DRAWINGS)



1 PROPOSED SITE PLAN GROUND LEVEL W/ TRAFFIC PATTERNS
SCALE: 1/32" = 1'-0"



PROJECT SITE DATA				
IBIS BAY BEACH RESORT, 3101 NORTH ROOSEVELT BOULEVARD , KEY WEST, FLORIDA 33040				
REAL ESTATE NO.: 00002360-000000				
ZONING DISTRICT	CG COMMERCIAL GENERAL			
FLOOD ZONE	AE 7/ AE 8 [NGVD 29]			
CODE REQUIREMENTS:	REQUIRED/ ALLOWED	EXISTING	PROPOSED	COMPLIANCE
PARKING FOR BUILD-BACK OF 80 OUT OF EXISTING 81 TRANSIENT UNITS				
RESORT VEHICLE SEC 108-572 (7)	1/ RES. UNIT +1 = 81	N/A	SEE BELOW	SEE BELOW
FOOD SERVICE VEHICLE SEC 108-572 (9)	1/ 45 SF SERVING [1,669.8SF] = 37			
STANDARD VEHICLE		88	72	
ACCESSIBLE VEHICLE SEC 108-650	101-150 STANDARD=5 ADA	5	5	
COMPACT VEHICLE SEC 108-646	15% OF STALLS = 18 MAX	10	17	
SCOOTER VEHICLE	1 SC. = 1 VEH.	5	24	
SUB BICYCLE SEC 108-574	SUBSTITUTE 4 BIKE=1 VEH.	0	0	
RESORT BICYCLE SEC 108-572 (7)	35% OF TOTAL REQ. VEH.[81] = 29	7	30	
FOOD SERVICE BICYCLE SEC 108-572 (9)	25% OF TOTAL REQ. VEH.[37] = 10	7	10	
LOADING SEC 108-649	1 / 10,000 SF = 2	0	1	
RESORT [TOTAL]	118 VEH / 39 BIKE	108 VEH / 14 BIKE	118 VEH / 40 BIKE	COMPLIES
BIKE RACK [OR SIMILAR]		WAVE STYLE 15-CAPACITY IN GROUND	U-LOCK COMPATIBLE	
BIKE LOCKER [OR SIMILAR]		INDIVIDUAL BIKE STORAGE BOX	KEYED, KEY PAD, PHONE APP.	



2 PERMEABLE PAVEMENT KEY PLAN
SCALE: NOT TO SCALE



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ARCHITECT:
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AILEEN A. OSBORN, R.A.
LICENSE NO. AR97803
EXPIRATION DATE: 02/28/27

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CONSULTANTS:

IBIS BAY WATERFRONT RESORT
 PARCEL ID: 00002360-000000
MAJOR DEVELOPMENT PLAN
SUBMISSION
 3101 NORTH ROOSEVELT BLVD.,
 KEY WEST, FLORIDA 33040

SITE PLAN - GROUND LEVEL PARKING & TRAFFIC

PROJECT #: 23.01
SHEET:

A7.2

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IBIS BAY WATERFRONT RESORT
PARCEL ID: 00002360-000000
MAJOR DEVELOPMENT PLAN
SUBMISSION
3101 NORTH ROOSEVELT BLVD.,
KEY WEST, FLORIDA 33040

TITLE:

FLOOR PLANS:
HOTEL LOBBY
BUILDING

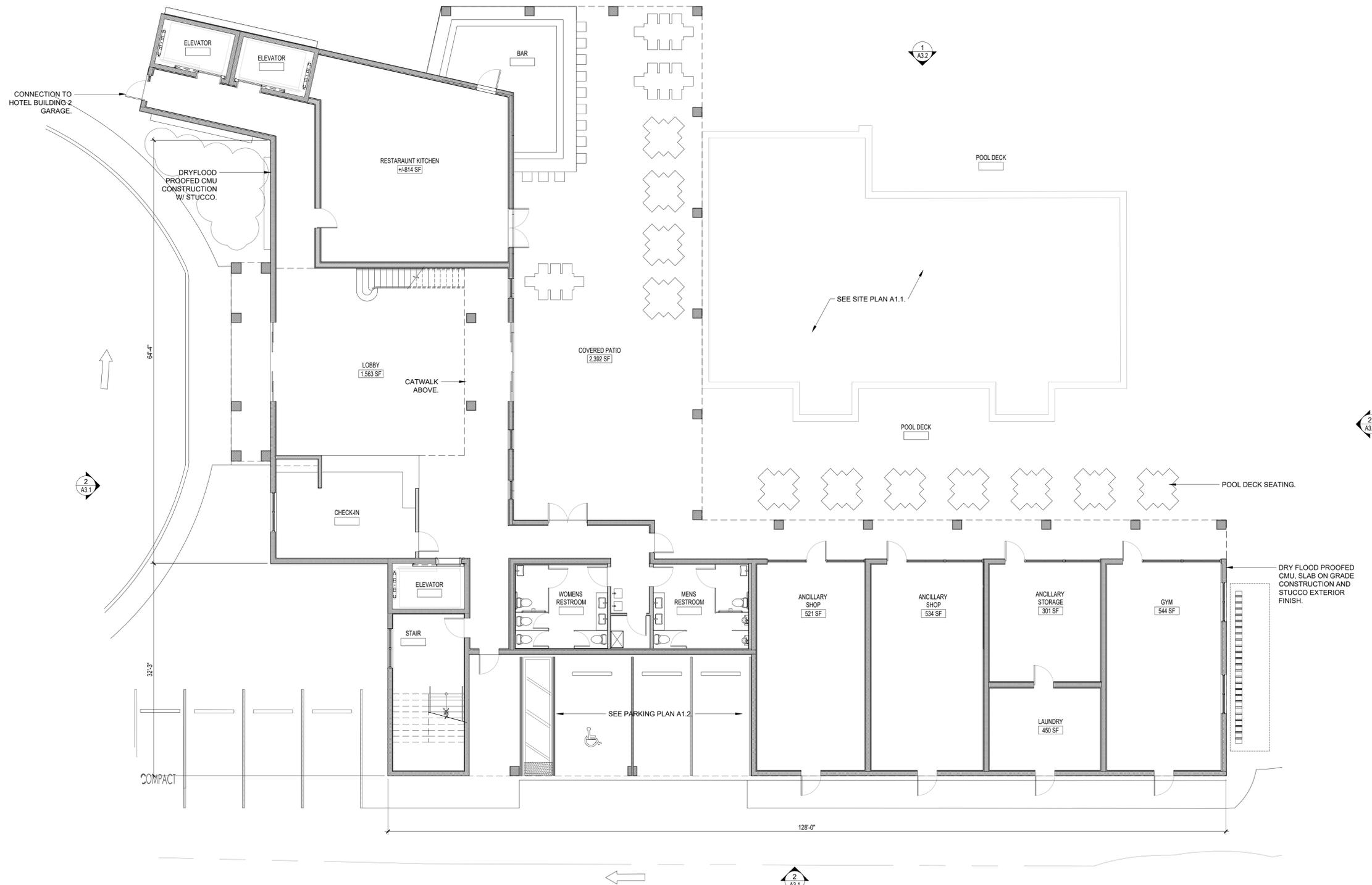
PROJECT #: 23.01

SHEET:

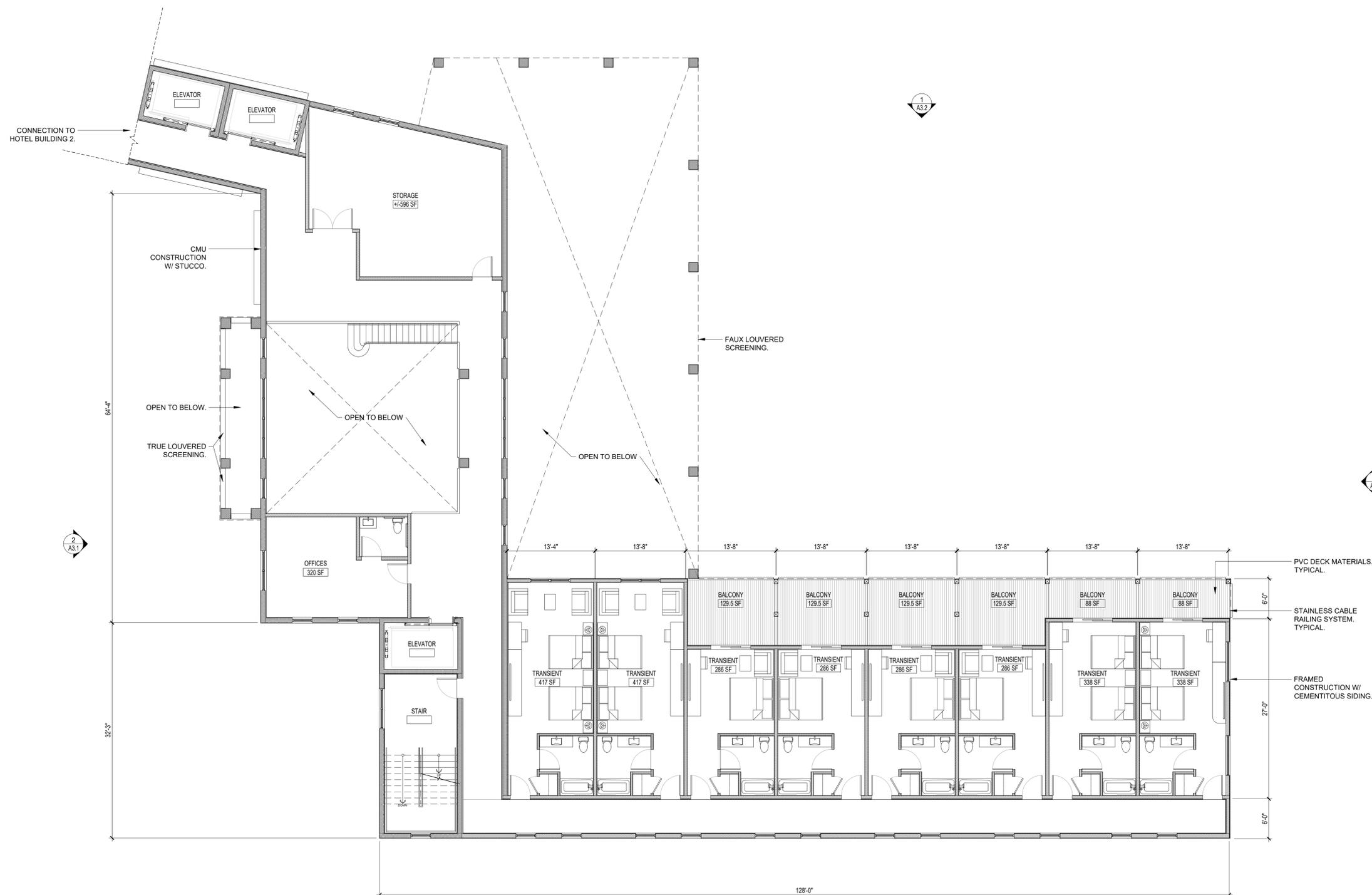
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FEBRUARY 27, 2025

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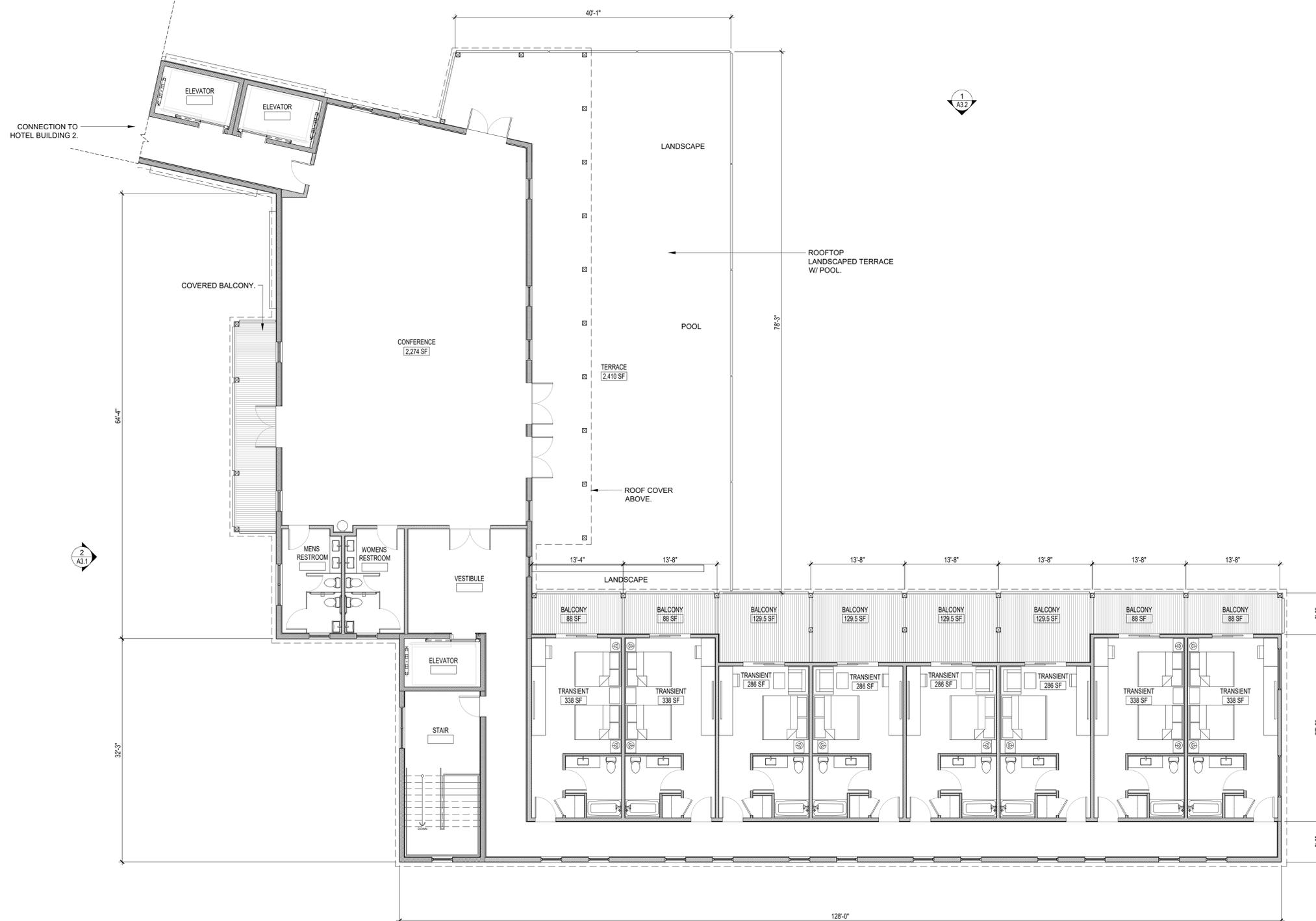


1 GROUND FLOOR PLAN - HOTEL LOBBY BUILDING
SCALE: 1/8"=1'-0" GRAPHIC SCALE: 1/8" = 1'-0"



1 FIRST FLOOR PLAN - HOTEL LOBBY BUILDING
SCALE: 1/8"=1'-0"





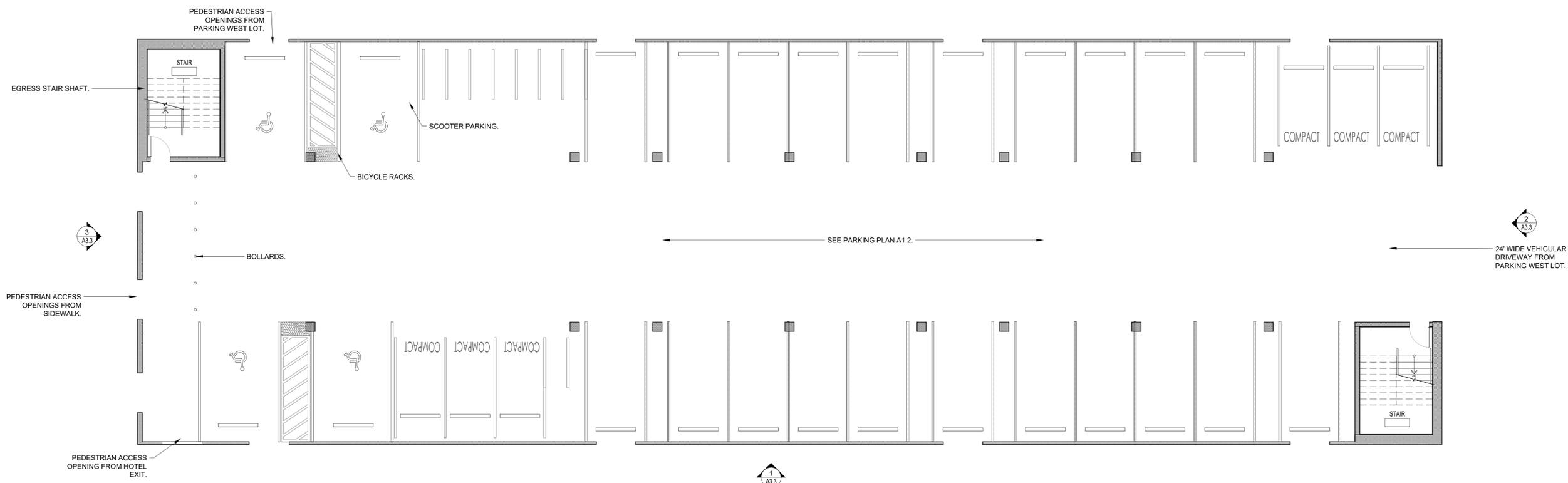
1 SECOND FLOOR PLAN - HOTEL LOBBY BUILDING
SCALE: 1/8"=1'-0"



DRAWING SIZE: ARCH1 (DO NOT SCALE DRAWINGS)

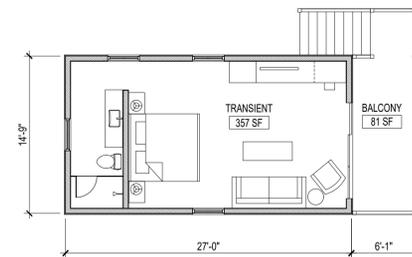


2 FIRST FLOOR PLAN - HOTEL BUILDING 2
SCALE: 1/8"=1'-0"

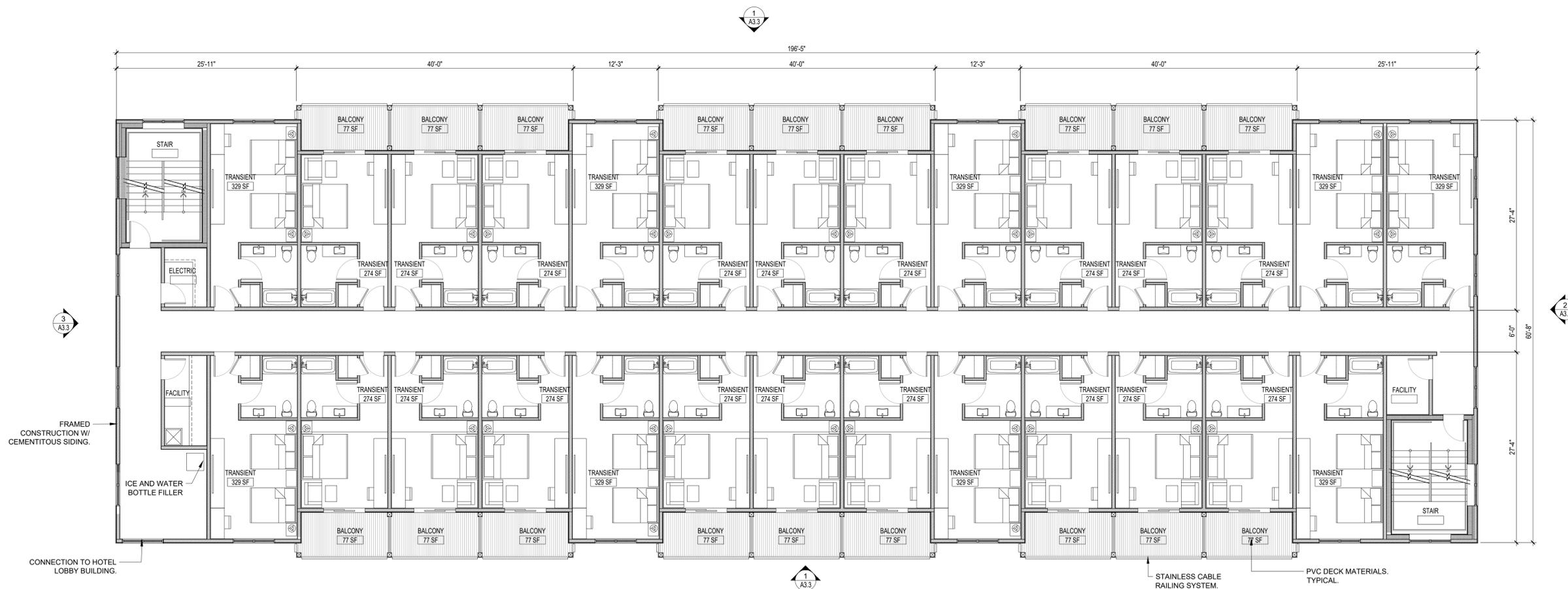


1 GROUND FLOOR PLAN - HOTEL BUILDING 2
SCALE: 1/8"=1'-0"





2 TYPICAL COTTAGE FLOOR PLAN
SCALE: 1/8"=1'-0"



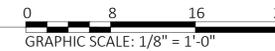
1 SECOND FLOOR PLAN - HOTEL BUILDING 2
SCALE: 1/8"=1'-0"



STAINLESS CABLE RAILING SYSTEM, TYPICAL.
PVC DECK MATERIALS, TYPICAL.



2 HOTEL LOBBY BUILDING: WEST ELEVATION [SIGSBEE]
SCALE: 1/8"=1'-0"



1 HOTEL LOBBY BUILDING: SOUTH ELEVATION [NORTH ROOSEVELT]
SCALE: 1/8"=1'-0"



A3.1



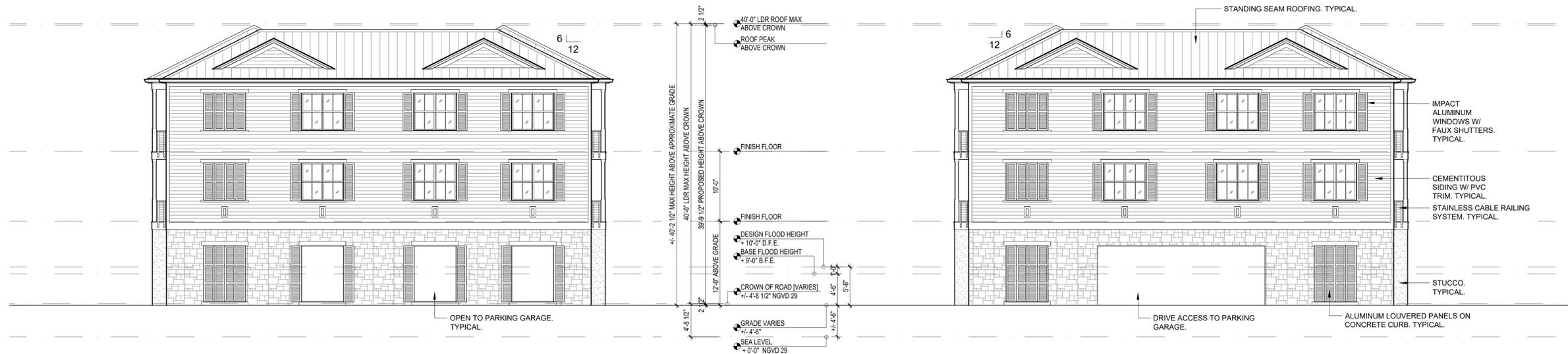
2 HOTEL LOBBY BUILDING: EAST ELEVATION [GULF]
 SCALE: 1/8"=1'-0"



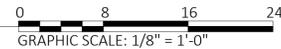
1 HOTEL LOBBY BUILDING: NORTH ELEVATION [GULF]
 SCALE: 1/8"=1'-0"



A3.2



3 HOTEL BUILDING 2: SOUTH ELEVATION [N. ROOSEVELT]
SCALE: 1/8" = 1'-0"



2 HOTEL BUILDING 2: NORTH ELEVATION [GULF]
SCALE: 1/8" = 1'-0"



1 HOTEL BUILDING 2: WEST ELEVATION [SIGSBEE] AND EAST [GULF]
SCALE: 1/8" = 1'-0"



A3.3

IBIS BAY WATERFRONT RESORT
PARCEL ID: 00002360-000000
MAJOR DEVELOPMENT PLAN
SUBMISSION
3101 NORTH ROOSEVELT BLVD.,
KEY WEST, FLORIDA 33040

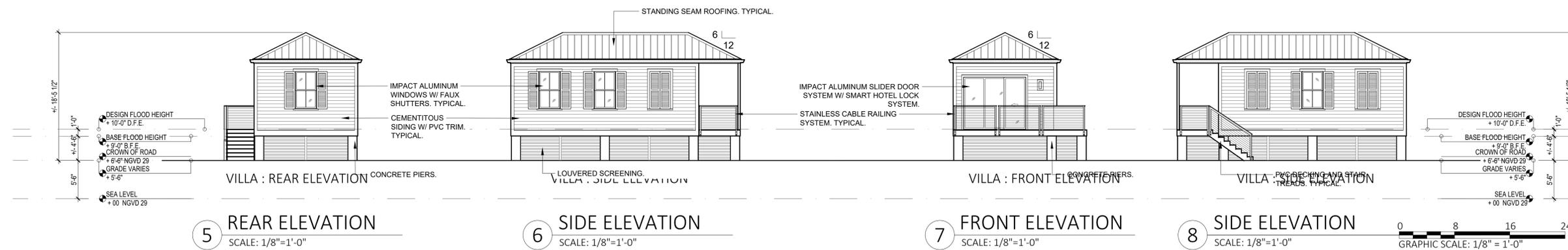
TITLE:

EXTERIOR
ELEVATIONS:
COTTAGE

PROJECT #: 23.01

SHEET:

A3.4
FEBRUARY 27, 2025
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Turning Performance Analysis

01/31/2024

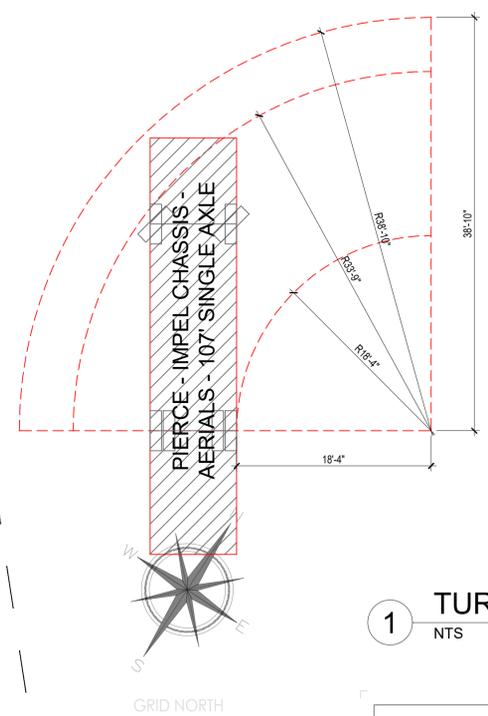
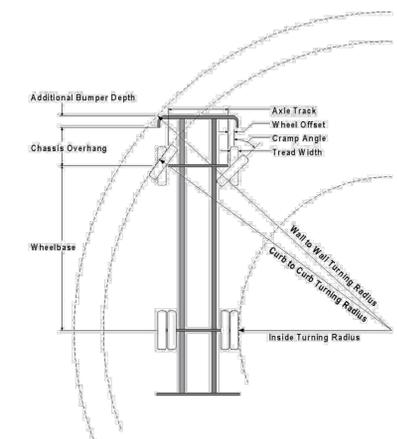
Bid Number: 833
Department: City of Key West Fire Department
Chassis: Impel Chassis, Aerials, Single Axle, Ascendant PUC
Body: Aerial, HD Ladder 107' ASL Single, PUC, Quint, Alum Body

Parameters:

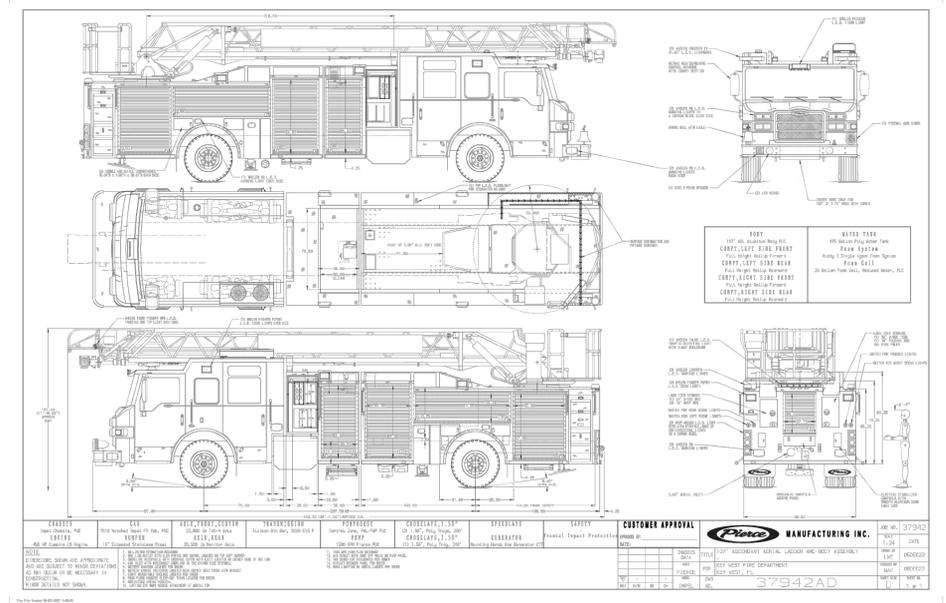
*Inside Cramp Angle:	45°
Axle Track:	82.92 in.
Wheel Offset:	4.68 in.
Tread Width:	16.3 in.
Chassis Overhang:	78 in.
Additional Bumper Depth:	19 in.
Front Overhang:	97 in.
Wheelbase:	233 in.

Calculated Turning Radii:

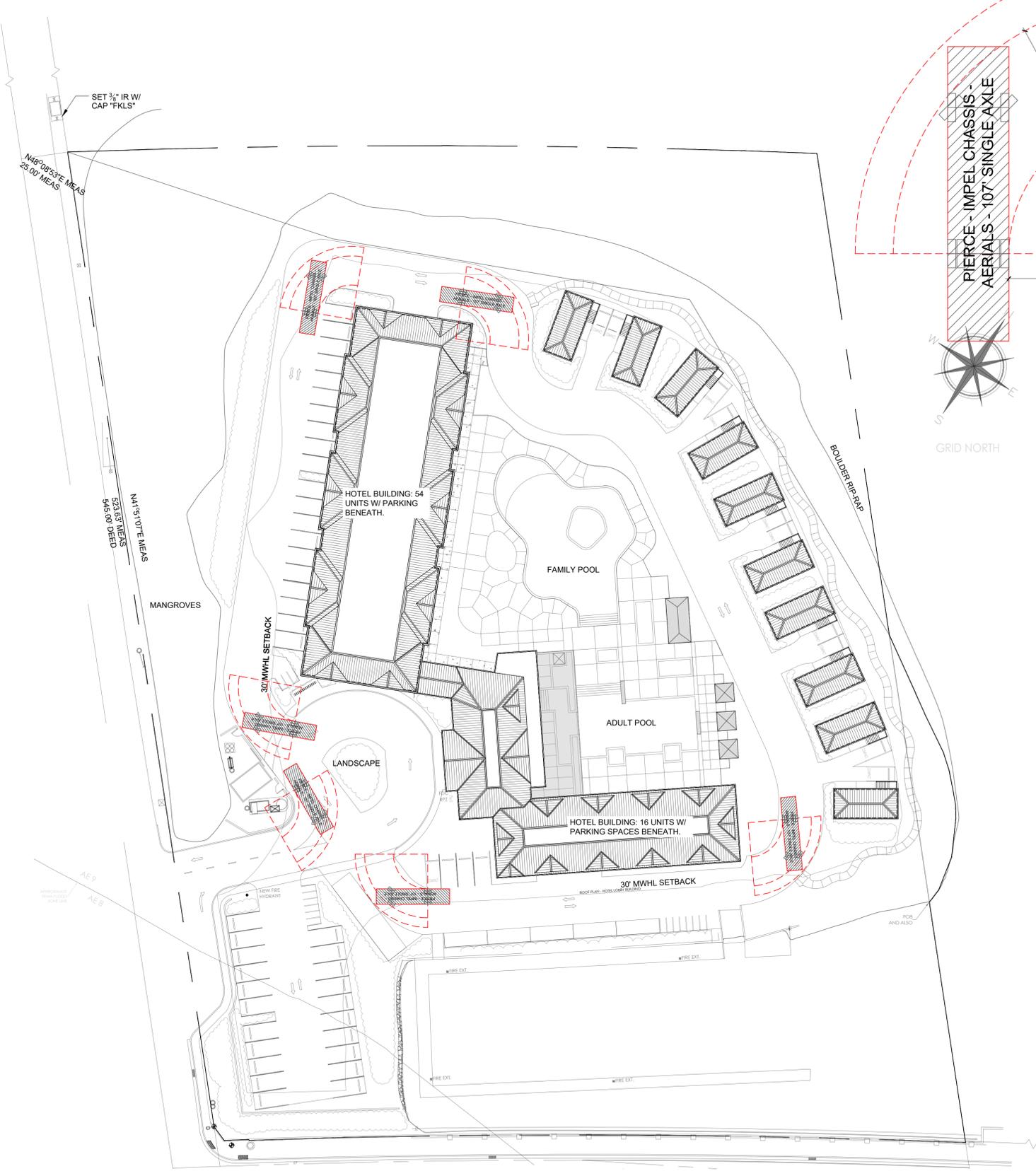
Inside Turn:	18 ft. 4 in.
Curb to curb:	33 ft. 9 in.
Wall to wall:	38 ft. 10 in.



1 TURNING PERFORMANCE ANALYSIS
NTS



1 FIRE TRUCK SPECIFICATIONS
NTS



1 PRELIMINARY LIFE SAFETY PLAN-FIRE TRUCK ACCESS
SCALE: 1/32"=1'-0"
GRAPHIC SCALE: 1/32" = 1'-0"

IBIS BAY WATERFRONT RESORT
PARCEL ID: 00002360-000000
MAJOR DEVELOPMENT PLAN
SUBMISSION
3101 NORTH ROOSEVELT BLVD.,
KEY WEST, FLORIDA 33040

TITLE: LIFE
SAFETY
PLAN AT
FIRST LEVEL

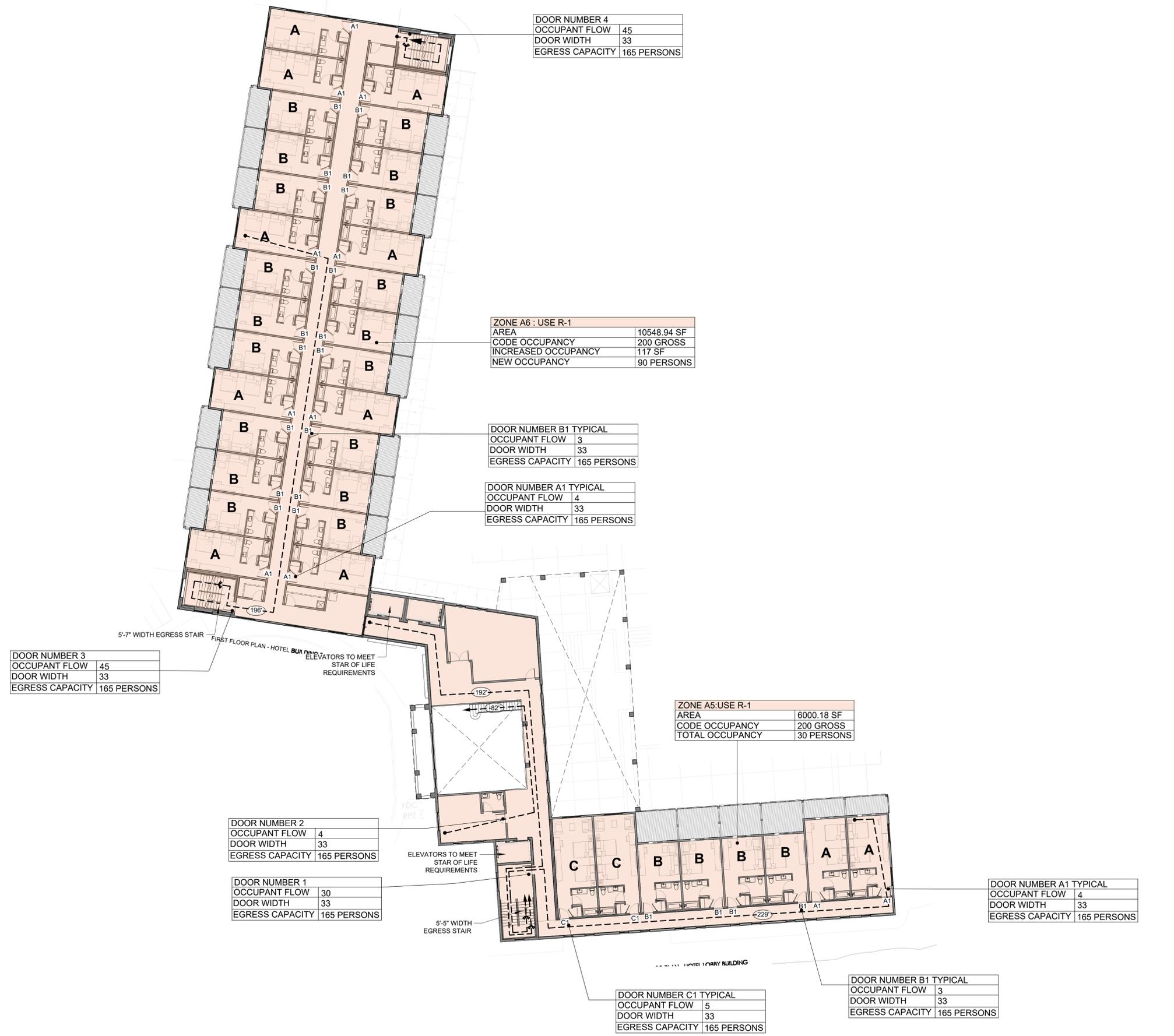
PROJECT #: 23.01

SHEET:

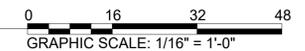
LFS1.2

FEBRUARY 27, 2025

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1 PRELIMINARY LIFE SAFETY PLAN AT FIRST LEVEL
SCALE: 1/16"=1'-0"



LIFE SAFETY - GENERAL NOTES:

1. FINAL LOCATION OF FIRE EXTINGUISHERS TO BE COORDINATED WITH FIRE MARSHAL.
2. CONTRACTOR TO PROVIDE FIRE ALARM SHOP DRAWINGS FOR COMPLIANT SYSTEM.
3. CONTRACTOR TO PROVIDE FIRE PROTECTION SHOP DRAWINGS FOR COMPLIANT SYSTEM.

LIFE SAFETY - CODE REFERENCES:

2020 Florida Building Code, Building, 8th Edition:
Chapter 3: Use and Occupancy Classification
• Section 304 Assembly Group A-2
• Section 309 Mercantile Group M
• Section 310 Residential Group R-1
• Section 311 Low Hazard Storage Group S-2

Chapter 6: Types of Construction
• Type VB

Chapter 10: Means of Egress:

Section 1004: Occupant Load
• Section 1004 : Occupant Load
• 1004.5 Max floor area per occupant
• Assembly unconsolidated : 15 sq ft
• Accessory Storage , Mechanical equipment -300 gross
• Kitchen , commercial - 200 gross
• Mercantile - 60 gross
• Storage/Stock -300 gross
• Parking garage - 200 gross
• Residential 200 gross
• 1004.5.1 Increase occupant load not to exceed 1 person per 7sf of occupiable floor space.

Section 1005: Egress Sizing
• .3 inches per occupant stairs
• .3 [XX occupants / X stairs] = XX" per stair
• .2 inches per occupant for other components
• [DOOR WIDTH- 3"] / .2 = egress capacity of a single door

Section 1006: Exit and Exit Access Doorways
• Two exits for any space shall be provided where:
• Occupant load exceeds 49 for A+M occupancies .
• Occupant load exceeds 29 for S occupancies .
• Occupant load exceeds 10 for R-1 occupancies .
• Common path of egress travel distance 75' per table 1006.2.1

Section 1011: Stairways
• Stairway width shall be per 1005.1 but not less than 44 inches.

Section 1013: Exit Signs
• Exits shall be marked with readily visible sign from any direction of egress travel. Sign placement shall be such that no point in an exit corridor or passageway is more than 100 feet from the nearest visible sign.
• Signs are not required in rooms or areas that only require one exit.
• Main exterior exit doors that are obviously and clearly identifiable as exits need not have exit signs where approved by the building official.

Section 1017: Exit Access Travel Distance
• Travel distances shall not exceed values in Table 1017.2: 250' with sprinkler system.

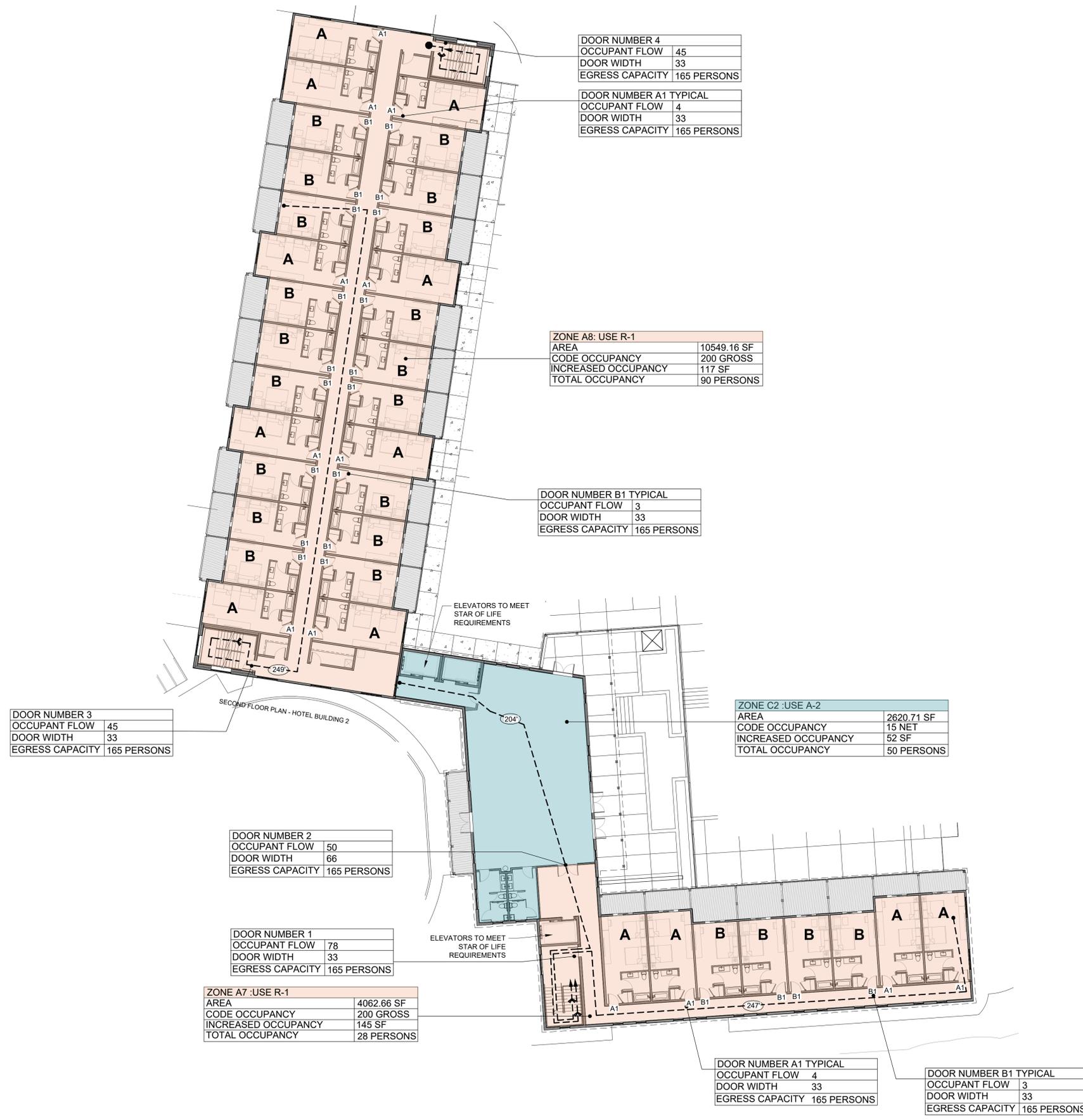
Section 1028: Exit Discharge
• Exits shall discharge directly to the exterior of the building.

OCCUPANCY ZONE LEGEND:

USE R-1	A1,A2,A3, A4,AS,A6, A7,A8	RESIDENTIAL -200 GROSS
USE M	B1	MERCANTILE - 60 GROSS
USE A-2	C1,C2	ASSEMBLY UNCONSECRATED- 15 NET GROSS
USE S-2	D1	STORAGE S-2, STOCK, PARKING - 200 GROSS

LIFE SAFETY - OCCUPANCY CALCULATIONS

FLOOR	ZONE	SF	OCCUPANCY
GROUND FLOOR	ZONE A1=	560.32 SF	= 10 PERSONS
	ZONE A2=	561.13 SF	= 3 PERSONS
	ZONE A3 =	3083.19 SF	= 40 PERSONS
	ZONE A4 =	356.93 X 10 SF = 3569.3 SF	= 40 PERSONS
	USE R-1 (A1+A2+A3+A4)	=7,773.54 SF	= 93 PERSONS
	ZONE B1	= 1096.02 SF	= 18 PERSONS
	USE M	1096.02 SF	= 18 PERSONS
	ZONE C1	= 845.15 SF	= 48 PERSONS
	USE A-2	845.15 SF	= 48 PERSONS
	ZONE D1	= 11636.30 SF	= 58 PERSONS
USE S-2	= 11636.30 SF	= 58 PERSONS	
GROUND FLOOR TOTAL OCCUPANCY			USE R-1+ M + A-2 + S-2= 21251.41 SF = 217 PERSONS
FIRST FLOOR	ZONE A5 =	6000.18 SF	= 30 PERSONS
	ZONE A6 =	10548.94 SF	= 90 PERSONS
	USE R-1	= 16549.12 SF	= 120 PERSONS
FIRST FLOOR TOTAL OCCUPANCY			USE R-1 = 16549.12 SF = 120 PERSONS
SECOND FLOOR	ZONE A7 =	4062.66 SF	= 28 PERSONS
	ZONE A8 =	10549.16 SF	= 90 PERSONS
	USE R-1	= 14611.82 SF	= 118 PERSONS
SECOND FLOOR TOTAL OCCUPANCY			ZONE C2 = 2620.71 SF = 50 PERSONS USE A-2 2620.71 SF = 50 PERSONS
SECOND FLOOR TOTAL OCCUPANCY			USE R-1 + A-2 17232.53 SF = 168 PERSONS
TOTAL BUILDING OCCUPANCY			GROUND FLOOR 21251.41 SF = 217 PERSONS FIRST FLOOR 16549.12 SF = 120 PERSONS SECOND FLOOR 17232.53 SF = 168 PERSONS
BUILDING TOTAL OCCUPANCY:			55033.06 SF = 505 PERSONS



DOOR NUMBER 4

OCCUPANT FLOW	45
DOOR WIDTH	33
EGRESS CAPACITY	165 PERSONS

DOOR NUMBER A1 TYPICAL

OCCUPANT FLOW	4
DOOR WIDTH	33
EGRESS CAPACITY	165 PERSONS

ZONE A8: USE R-1

AREA	10549.16 SF
CODE OCCUPANCY	200 GROSS
INCREASED OCCUPANCY	117 SF
TOTAL OCCUPANCY	90 PERSONS

DOOR NUMBER B1 TYPICAL

OCCUPANT FLOW	3
DOOR WIDTH	33
EGRESS CAPACITY	165 PERSONS

ZONE C2 :USE A-2

AREA	2620.71 SF
CODE OCCUPANCY	15 NET
INCREASED OCCUPANCY	52 SF
TOTAL OCCUPANCY	50 PERSONS

DOOR NUMBER 3

OCCUPANT FLOW	45
DOOR WIDTH	33
EGRESS CAPACITY	165 PERSONS

DOOR NUMBER 2

OCCUPANT FLOW	50
DOOR WIDTH	66
EGRESS CAPACITY	165 PERSONS

DOOR NUMBER 1

OCCUPANT FLOW	78
DOOR WIDTH	33
EGRESS CAPACITY	165 PERSONS

ZONE A7 :USE R-1

AREA	4062.66 SF
CODE OCCUPANCY	200 GROSS
INCREASED OCCUPANCY	145 SF
TOTAL OCCUPANCY	28 PERSONS

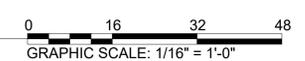
DOOR NUMBER A1 TYPICAL

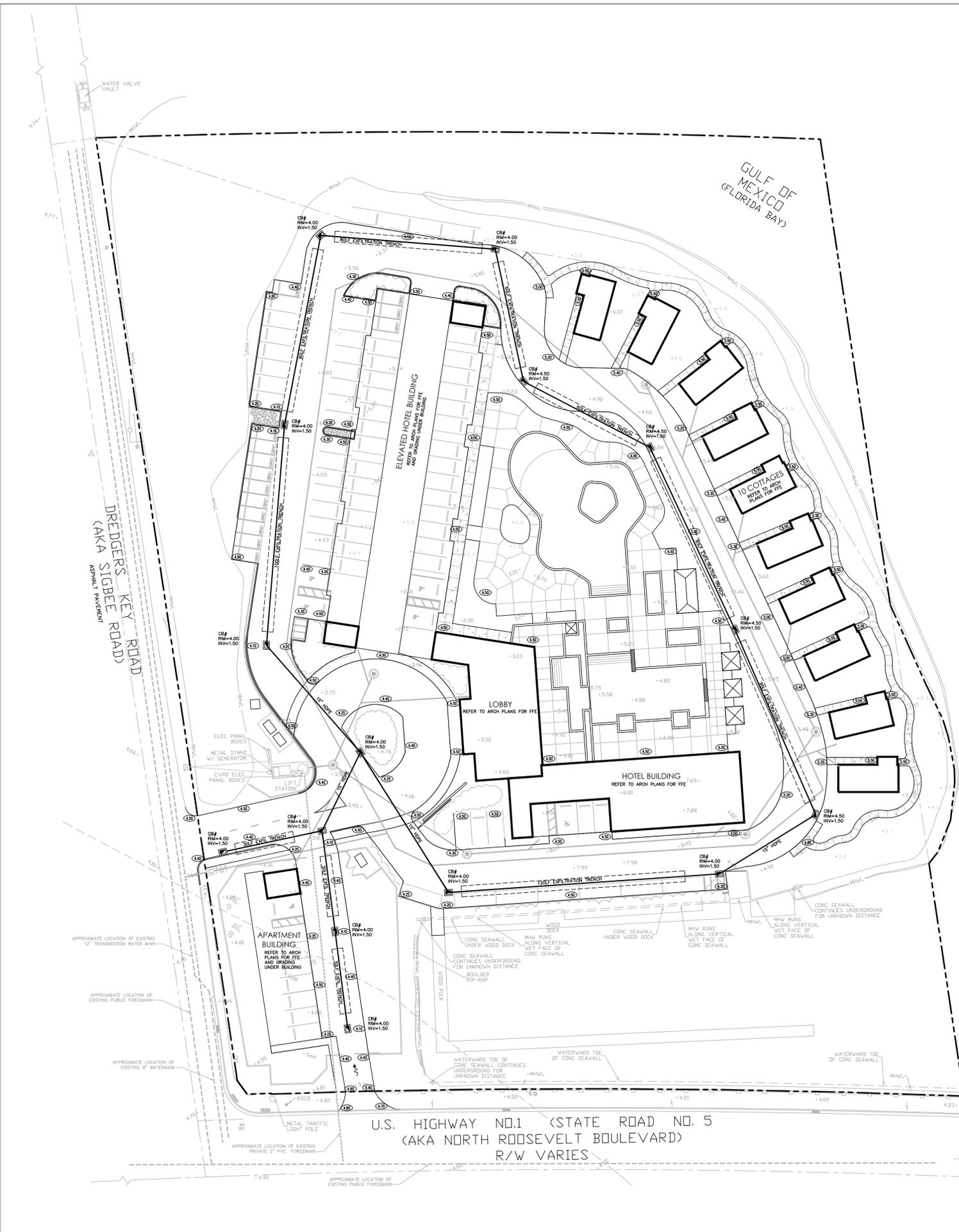
OCCUPANT FLOW	4
DOOR WIDTH	33
EGRESS CAPACITY	165 PERSONS

DOOR NUMBER B1 TYPICAL

OCCUPANT FLOW	3
DOOR WIDTH	33
EGRESS CAPACITY	165 PERSONS

1 PRELIMINARY LIFE SAFETY PLAN AT SECOND LEVEL
SCALE: 1/16"=1'-0"





IBIS Bay Resort FIS Project No. 24-1799.00

EXFILTRATION TRENCH DETAIL
N.T.S.

E1 = 4.00	ft. NAVD	$k_1 = 1.00E-03$	cfs / ft ² - ft. head (Hydraulic Conductivity)
E2 = 3.25	ft. NAVD	$k_2 = 1.00E-03$	cfs / ft ² - ft. head (Hydraulic Conductivity)
E3 = 2.75	ft. NAVD	$K = (k_1 + k_2) / 2$	= 1.00E-03 cfs / ft ² - ft. head
E4 = 1.50	ft. NAVD		
E5 = -0.25	ft. NAVD		
Water Table = 1.50	ft. NAVD		
Width (W) = 7.00	ft.		

L = 790	lineal feet of trench provided
K = 1.00E-03	cfs / ft ² - ft. head (Hydraulic Conductivity)
D ₁ = 1.75	ft. (Non-Saturated Trench Depth) D ₂ = E2 - (The Shallower of Water Table or E5)
D ₃ = 1.75	ft. (Saturated Trench Depth) D ₃ = (The Shallower of Water Table or E5) - E5
H ₂ = 2.50	ft. (Depth to water table) H ₂ = E1 - (The Shallower of Water Table or E5)
W = 7.00	ft. (Width of Trench)
V _{wq} = 6.08	ac-in (Volume to be treated for water quality)
%WQ = 0.50	
FS = 2.00	

$$L_{wq} = \frac{FS[(\%WQ)(V_{wq})]}{K(H_2W + 2H_2D_1 - D_1^2 + 2H_2D_3) + (0.000139)WD_1} = \frac{6.08}{0.0319 + 0.0017} = 181 \text{ LF}$$

L_{wq} = 181 lineal feet of trench required for water quality

$$V_{total} = V_{wq} + V_{qn} = 15.58 \text{ ac-in (Total Volume required to be treated for water quantity)}$$

$$V_{qn} = V_{total} - V_{wq} = 9.50 \text{ ac-in (Volume to be treated in addition to water quality for water quantity)}$$

$$L_{qn} = \frac{FS[(\%WQ)(V_{qn}) + V_{qn}]}{K(H_2W + 2H_2D_1 - D_1^2 + 2H_2D_3) + (0.000139)WD_1} = \frac{25.08}{0.0319 + 0.0017} = 746 \text{ LF}$$

L_{qn} = 746 lineal feet of trench required for water quantity

$$V_{add} = [L \times (K(H_2W + 2H_2D_1 - D_1^2 + 2H_2D_3) + (0.000139)WD_1)] - V_{wq} = [790 \times (0.0319 + 0.0017)] - 6.08 = 10.25 \text{ ac-in (Volume provided in addition to } V_{wq})$$

V = V _{wq} + V _{add} = 16.33	acre-inches treated (Total volume treated)
= 1.36	acre-feet treated

IBIS Bay Resort FIS Project No. 24-1799.00

I. GENERAL INFORMATION

PROPOSED LAND USAGE

A. TOTAL ACREAGE =	212,020 SF =	4.87 AC
B. BUILDING COVERAGE =	28,765 SF =	0.66 AC 14%
C. PARKING GARAGE =	0 SF =	0.00 AC 0%
D. LAKE =	67,057 SF =	1.54 AC 32%
E. TOTAL ASPHALT & WALKS =	67,934 SF =	1.56 AC 32%
F. TOTAL IMPERVIOUS =	163,756 SF =	3.76 AC 77%
G. % WATER QUALITY IMPERVIOUS =		58%
H. Pervious Area =	48,264 SF =	1.11 AC 23%
		100%

EXISTING LAND USAGE

A. TOTAL ACREAGE =	212,020 SF =	4.87 AC
B. BUILDING COVERAGE =	22,395 SF =	0.51 AC 11%
C. TOTAL ASPHALT & WALKS =	52,467 SF =	1.20 AC 25%
D. LAKE =	67,057 SF =	1.54 AC 69%
E. TOTAL IMPERVIOUS =	141,919 SF =	3.26 AC 67%
F. % WATER QUALITY IMPERVIOUS =		63%
G. Pervious Area =	70,101 SF =	1.61 AC 33%
		100%

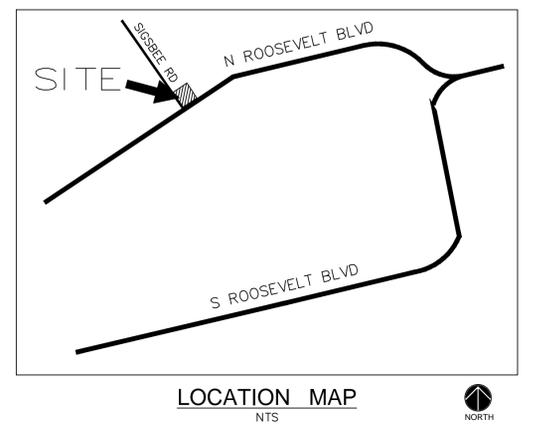
II. WATER QUALITY CRITERIA

A. COMPUTE FIRST INCH OF RUNOFF FROM TOTAL SITE
1" / 12" Total Acreage = 0.41 AC-FT = 4.87 AC-IN

B. COMPUTE 2.5 TIMES THE % OF "WATER QUALITY" IMPERVIOUS
2.5" x % Imperv. X Total Acreage = 0.51 AC-FT = 6.08 AC-IN

III. WATER QUANTITY CRITERIA

A. COMPUTE THE 5-YR 1-HOUR VOLUME FOR TOTAL SITE
3.2" x Total Acreage = 1.30 AC-FT = 15.58 AC-IN



FLOOD DATA:

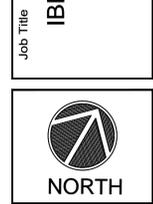
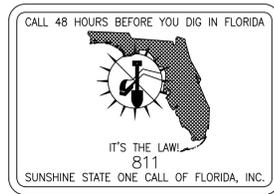
COMMUNITY NO.: 120168 & 125129
 MAP NO.: 12087C-1509K
 MAP DATE: 02-18-2005
 FLOOD ZONE: AE
 BASE ELEVATION(S): 9.0'

AVERAGE WET SEASON
 WATER LEVEL = ELEV. (1.50) NGVD

LEGEND:

○ 0.00	PROPOSED ELEVATION (NGVD)	●	PROPOSED MANHOLE
+5.32	EXISTING ELEVATION (NGVD)	- - -	WATER MAIN
■	PROPOSED CATCH BASIN	-FM-	SANITARY FORCE MAIN
□	PROPOSED PLUG	⊕	VALVE
⊕	TEE	⊕	FIRE HYDRANT
⊕	WATER METER	⊕	SIAMSE CONNECTION
⊕	DOUBLE DETECTOR CHECK W/ WAFER CHECK VALVE ON DOWNSTREAM SIDE	⊕	CLEANOUT
⊕	REDUCED PRESSURE BACKFLOW PREVENTOR	⊕	EDGE OF PROPOSED PAVEMENT (ASPHALT)
⊕	DIRECTIONAL FLOW ARROW AND GRAVITY SEWER	⊕	DIRECTION OF SURFACE DRAINAGE
		⊕	SAMPLE POINT
		⊕	EXIST. WATER MAIN
		⊕	EXIST. UTILITY LINE TO BE ABANDONED IN PLACE

- GRADING AND DRAINAGE NOTES:**
1. ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF KEY WEST.
 2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL GIVE TIMELY NOTIFICATION TO ALL UTILITY COMPANIES WITH FACILITIES IN THE AREA.
 3. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES, UTILITIES, AND SURVEY MARKERS.
 4. ALL STORM DRAINAGE LINE FROM THE BLDG SHALL BE LAID @ 1.0% MINIMUM SLOPE UNLESS NOTED OTHERWISE ON PLANS.
 5. CLEANOUTS ON STORM DRAINAGE LINES ARE TO BE ADJUSTED TO BE FLUSH W/FINISHED GRADE.
 6. CONTRACTOR SHALL PROVIDE FITTINGS (WYES, TEES, REDUCERS, ETC.) AS REQUIRED TO FURNISH A COMPLETE WORKING SYSTEM BASED ON THE LAYOUT SHOWN ON THESE PLANS.
 7. LANDSCAPED AREAS SHALL BE GRADED TO DRAIN TO THE CATCH BASIN INLETS. FIELD ADJUST GRADING AS REQUIRED.
 8. SITE UTILITY CONTRACTOR SHALL COORDINATE WITH THE BUILDING PLUMBING CONTRACTOR FOR EXACT LOCATION OF CONNECTION POINTS BETWEEN THE BUILDING AND SITE WATER, SEWER AND DRAINAGE LINES (VERTICALLY AND HORIZONTALLY).
 9. RECTANGULAR CATCH BASIN AND YARD DRAIN GRATES SHALL BE INSTALLED SUCH THAT THE LONG AXIS OF GRATE PARALLELS THE CLOSEST ADJACENT WALK, BLDG., DRIVE WAY, PROPERTY LINE, OR ROADWAY.
 10. COORDINATE LOCATION IN FIELD OF ALL CATCH BASINS & YARD DRAINS WITH LANDSCAPE CONTRACTOR TO AVOID CONFLICTS.
 11. CENTERLINE OF YARD DRAINS @ BASE OF DOWN SPOUTS MUST ALIGN WITH CENTERLINE OF DOWN SPOUT PRIOR TO FINAL ACCEPTANCE BY OWNER. REFERENCE ARCH. PLANS FOR EXACT LOCATION OF DOWN SPOUTS.
 12. SLOPE ON SIDEWALKS SHALL NOT EXCEED 5% SLOPE IN DIRECTION OF TRAVEL OR 2% CROSS SLOPE. NOTIFY ENGINEER PRIOR TO CONSTRUCTION OF ANY GRADING THAT DOES NOT COMPLY WITH THIS REQUIREMENT.
 13. SLOPE IN HANDICAP PARKING AND ACCESS AISLES SHALL NOT EXCEED 2% CROSS SLOPE. NOTIFY ENGINEER PRIOR TO CONSTRUCTION OF ANY GRADING THAT DOES NOT COMPLY WITH THIS REQUIREMENT.
 14. SLOPE IN CROSSWALKS SHALL NOT EXCEED 2% CROSS SLOPE. NOTIFY ENGINEER PRIOR TO CONSTRUCTION OF ANY GRADING THAT DOES NOT COMPLY WITH THIS REQUIREMENT.
 15. SURVEY INFORMATION BASED ON SURVEY PROVIDED BY FLORIDA KEYS LAND SURVEYING DATED 08/28/2023.
 16. ELEVATIONS SHOWN ARE NGVD88.
 17. FINAL RIM ELEVATIONS SHALL BE FIELD ADJUSTED TO MATCH SLOPE OF PROPOSED PAVEMENT.
 20. ASPHALT PAVEMENT RESTORATION ON CITY RIGHT-OF-WAY MUST BE PERFORMED BY A LICENSED ENGINEERING CONTRACTOR OR PAVING CONTRACTOR IN BROWARD COUNTY.

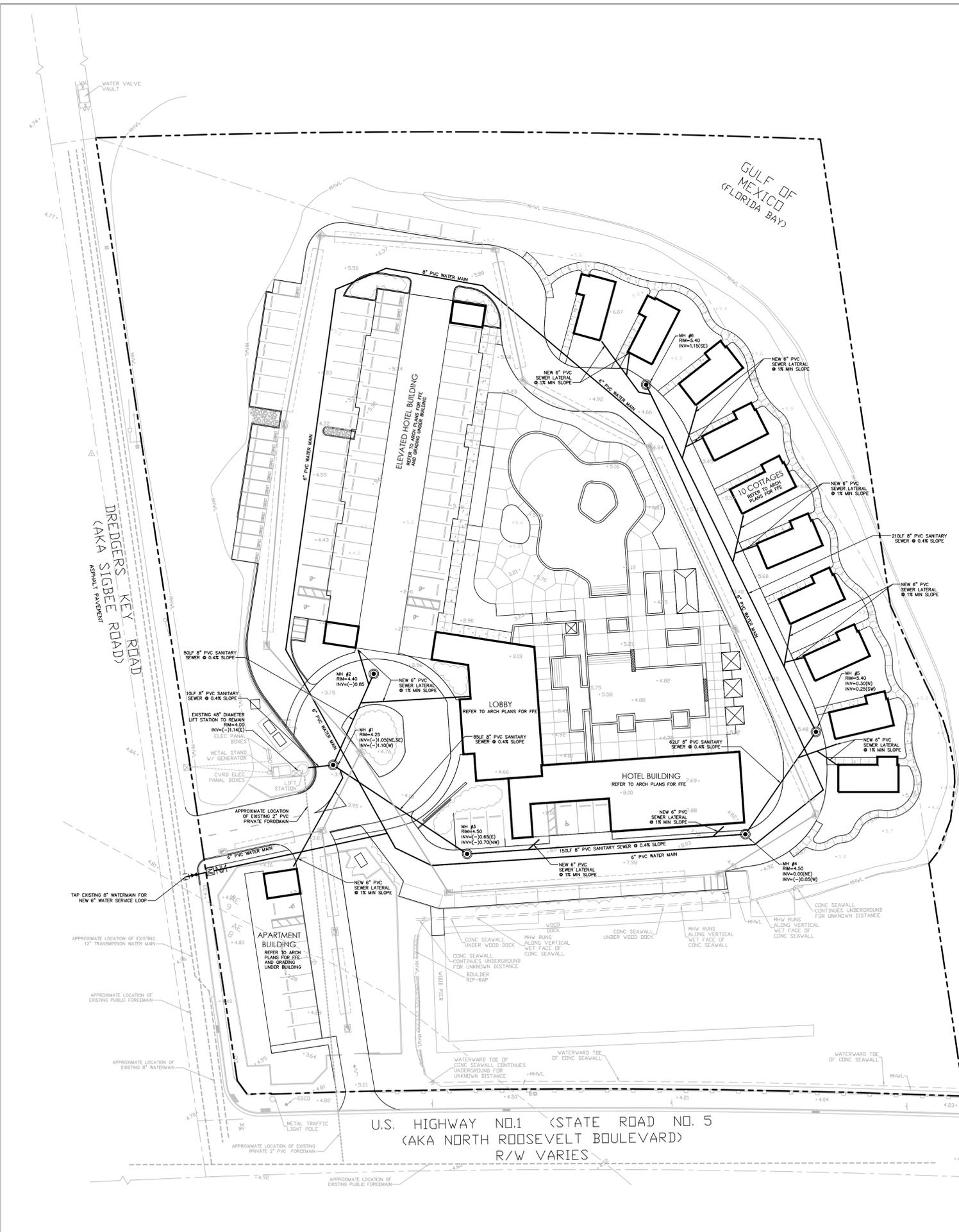


Revisions

Phase:
 PERMIT DOCUMENTS

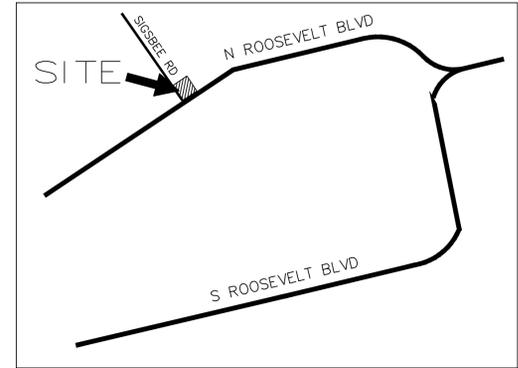
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Job No. 24-1799.00	Plot Date: 08/09/24
Drawn by: SHG	Sheet No. C1
Proj. Mgr. SHG	
Appr. by: SHG	1 of 2



WATER AND SEWER NOTES:

- CONTRACTOR SHALL PROVIDE FITTINGS (WYES, TEE, REDUCERS, ETC.) AS REQUIRED TO FURNISH A COMPLETE WORKING SYSTEM BASED ON THE LAYOUT SHOWN ON THESE PLANS.
- CONTRACTOR SHALL PROVIDE ANY EASEMENT DOCUMENTATION AROUND MH'S, BACKFLOW PREVENTORS, MAINLINES, METERS, ETC. AS REQUIRED BY THE CITY SO THAT THE OWNER MAY RECORD ANY EASEMENTS WITH THE CITY. CONTRACTOR'S SURVEYOR MUST COORDINATE WITH THE CITY AND PROVIDE ALL NECESSARY EASEMENT DOCUMENTATION TO THE OWNER. THE OWNER MUST THEN PROVIDE ALL RECORDED UTILITY EASEMENT DOCUMENTS TO THE CITY PRIOR TO FINAL ACCEPTANCE.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE CITY UTILITY DEPT. ANY WATER MAIN CONNECTIONS, UTILITY CONNECTIONS AND SCHEDULE MUST BE APPROVED BY THE CITY PRIOR TO IMPLEMENTATION. THE CONTRACTOR IS REQUIRED TO PAY FOR ALL COSTS ASSOCIATED WITH THIS WORK REGARDLESS OF WHETHER OR NOT THE UTILITY OR THE CONTRACTOR PERFORMS THE WORK.
- SITE UTILITY CONTRACTOR SHALL COORDINATE WITH THE BUILDING PLUMBING CONTRACTOR FOR EXACT LOCATION OF CONNECTION POINTS BETWEEN THE BUILDING AND SITE WATER, SEWER AND DRAINAGE LINES (VERTICALLY AND HORIZONTALLY).
- W.M./S.S. MAINS TO BE LOCATED 5' CLEAR OF ALL OBSTRUCTIONS, POLES, BOXES, CULVERTS, ETC. W.M./S.S. MAINS MUST BE LOCATED 5' FROM TREES. F.H.'S MUST HAVE A 7.5' CLEAR RADIUS FROM ALL OBSTRUCTIONS.
- PRESSURE TESTING AND CERTIFICATION SHALL FOLLOW THE FDEP, CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT, AND FLYNN ENGINEERING SERVICES STANDARDS.
- 18" VERTICAL CLEARANCE PREFERRED FOR ALL UTILITY CROSSINGS. MINIMUM OF 12" REQUIRED FOR WM-WM CROSSING AND WM-FM CROSSING. CONTRACTOR SHALL CALL 811 AND LOCATE UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES. ALL SANITARY SEWER LATERALS SHALL CROSS UNDER WATER MAINS WHERE ABLE. IF THE WATER MAIN MUST CROSS BELOW THE SEWER, A MINIMUM OF 12' SEPARATION SHALL BE PROVIDED. A 20 FOOT SECTION OF DUCTILE IRON PIPE WATER MAIN CENTERED CROSSING IS REQUIRED IF LESS THAN 18" VERTICAL SEPARATION OCCURS BETWEEN SEWER AND WATER MAIN.
- ALL UNDERGROUND UTILITIES TO BE REMOVED SHALL BE CAPPED OFF AT THE POINT NEAREST TO THE UTILITIES OR DRAINAGE LINES THAT WILL REMAIN IN SERVICE. NOTIFY THE ENGINEER OF RECORD BEFORE REMOVING ANY UTILITIES THAT ARE CURRENTLY IN SERVICE. THE CONTRACTOR SHALL NOT REMOVE ANY UTILITY SERVICE TO ANY EXISTING BUILDING THAT WILL REMAIN AND SHALL DIG UP AND COMPLETELY REMOVE AND/OR ABANDON ANY UTILITY SERVICE THAT IS NO LONGER REQUIRED. THE CONTRACTOR SHALL INFORM AND CONSULT THE ENGINEER OF RECORD PRIOR TO REMOVING ANY LINES.
- CONTRACTOR SHALL VERIFY EXISTING WATER MAIN LOCATION AND ELEVATION AND NOTIFY THE ENGINEER OF ANY DIFFERENCE FROM THE DESIGN PRIOR TO CONSTRUCTION AND/OR EXCAVATION.
- CLEANOUTS AND MANHOLES ON SANITARY LINES ARE TO BE ADJUSTED TO BE FLUSH WITH FINISHED GRADE.
- PROPOSED FIRE LINES (I.E. MAINS, SERVICES, SIAMASE CONNECTION LINES, ETC.) TO BE INSTALLED BY A STATE LICENSED FIRE LINE CONTRACTOR PER F.S. 633.
- FIRE LINES TO BE INSPECTED BY A CERTIFIED FIRE LINE INSPECTOR.
- STATE LICENSED FIRE LINE CONTRACTOR, UPON COMPLETION OF REQUIRED TESTING, SHALL ISSUE A "LICENSED UNDERGROUND TEST CERTIFICATE" PRIOR TO ACCEPTANCE FOR PLACING FIRE LINE INTO SERVICE.
- CORING INTO EXISTING MANHOLE MAY RESULT IN COMPLETE RECONSTRUCTION OF EXISTING MANHOLE AT CONTRACTOR'S EXPENSE IF MANHOLE IS IN A DETERIORATED CONDITION.
- ON-SITE MANHOLES TO HAVE STANDARD SANITARY SEWER USF 420 COVER.
- THE MINIMUM COVER DEPTHS FOR PVC AND DIP SEWER MAINS ARE RESPECTIVELY 36 INCHES AND 30 INCHES.
- EXFILTRATION TESTING AND LAMPING OF THE GRAVITY SEWER SHALL BE COORDINATED BY THE CONTRACTOR PRIOR TO THE COMPLETION OF THE PROJECT.
- ALL WATER AND SEWER WORK IN THE PUBLIC RIGHT-OF-WAY, PRIVATE THOROUGHFARES OR UTILITY EASEMENT MUST BE PERFORMED BY A LICENSED ENGINEERING CONTRACTOR OR CERTIFIED UNDERGROUND UTILITY AND EXCAVATION CONTRACTOR.
- FINAL SEWER MANHOLE RIM ELEVATIONS SHALL BE ADJUSTED TO MATCH FINAL PAVEMENT ELEVATIONS AND MATCH PAVEMENT SLOPE AS APPLICABLE.



FLOOD DATA:

COMMUNITY NO.: 120168 & 125129
 MAP NO.: 12087C-1509K
 MAP DATE: 02-18-2005
 FLOOD ZONE: AE
 BASE ELEVATION(S): 9.0'

AVERAGE WET SEASON
 WATER LEVEL= ELEV. (1.50) NGVD

LEGEND:

(0.00)	PROPOSED ELEVATION (NGVD)	●	PROPOSED MANHOLE
+5.32	EXISTING ELEVATION (NGVD)	- W -	WATER MAIN
[]	PROPOSED CATCH BASIN	- FM -	SANITARY FORCE MAIN
[]	PROPOSED PLUG	+	VALVE
[]	TEE	+	FIRE HYDRANT
[]	WATER METER	+	SIAMASE CONNECTION
[]	DOUBLE DETECTOR CHECK W/ WAFER CHECK VALVE ON DOWNSTREAM SIDE	+	CLEANOUT
[]	REDUCED PRESSURE BACKFLOW PREVENTER	+	EDGE OF PROPOSED PAVEMENT (ASPHALT)
[]	DIRECTIONAL FLOW ARROW AND GRAVITY SEWER	+	DIRECTION OF SURFACE DRAINAGE
		+	SAMPLE POINT
		+	EXIST. WATER MAIN
		+	EXIST. UTILITY LINE TO BE ABANDONED IN PLACE

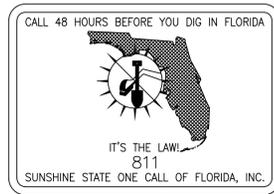


Revisions

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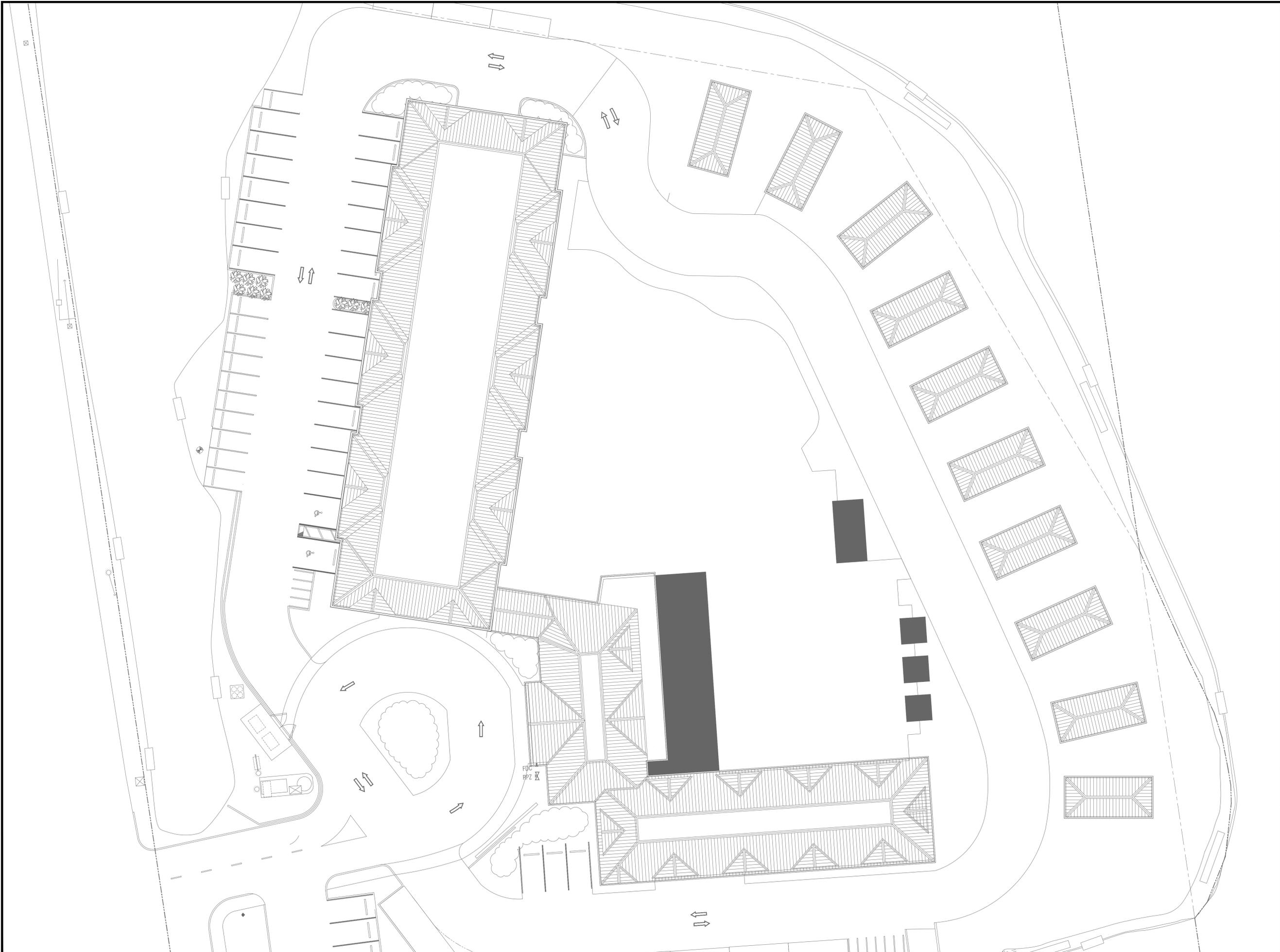
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24-1799.00	08/09/24
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Proj. Mgr.	
SHG	
Appr. by	2 of 2
SHG	



TREE COMMISSION REVIEW	29 JAN 2025



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VIET BACH NGUYEN
 FLORIDA P.E. #69753

**IBIS BAY WATERFRONT
 RESORT
 3101 NORTH ROOSEVELT BLVD.,
 KEYWEST, FL 33040**

REVISIONS

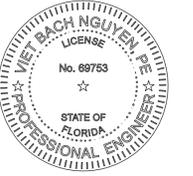
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PROJECT No: 121324
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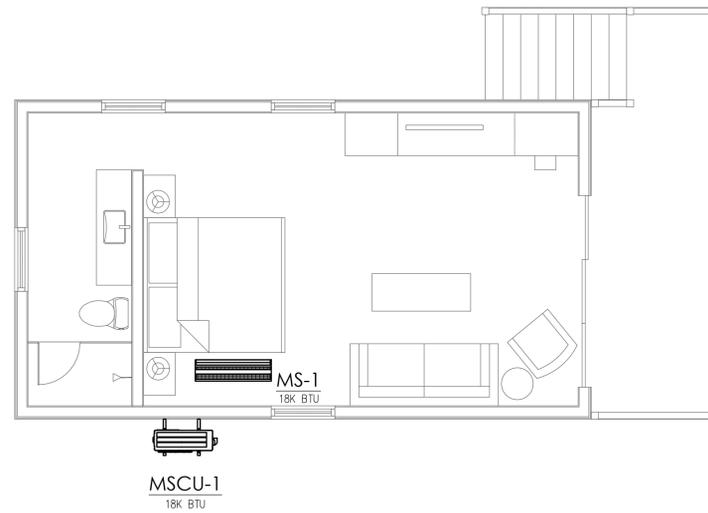
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 FLORIDA P.E. #69753

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 RESORT
 3101 NORTH ROOSEVELT BLVD.,
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MECHANICAL FLOOR PLAN

scale: 1/4" = 1'-0"

REVISIONS

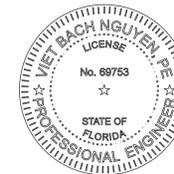
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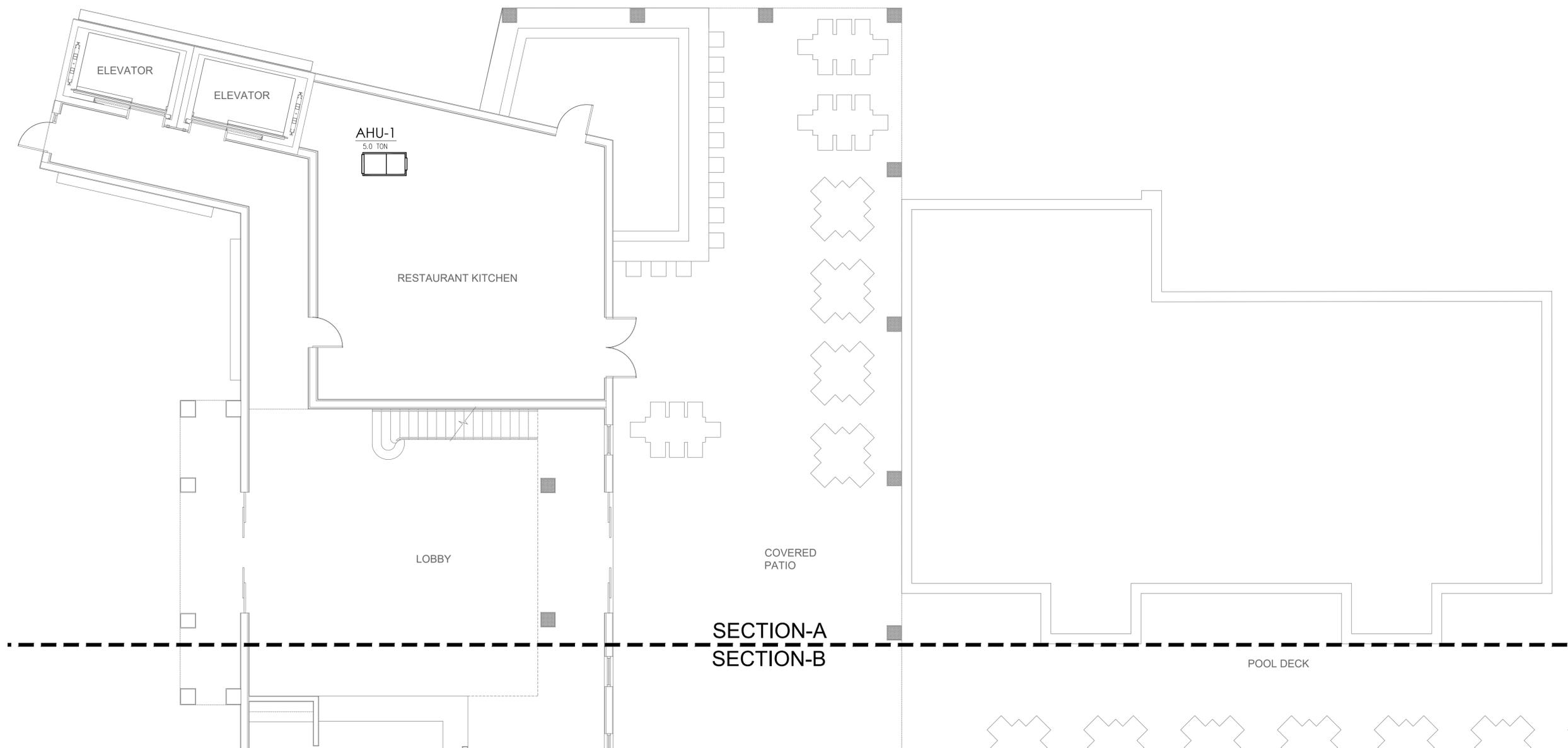
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 KEYWEST, FL 33040

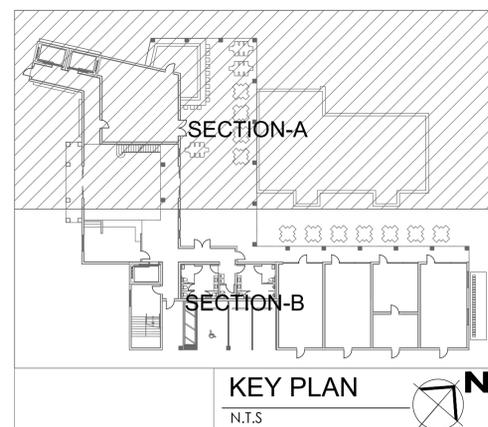


SECTION-A
 SECTION-B

POOL DECK

MECHANICAL GROUND FLOOR PLAN - HOTEL LOBBY BUILDING (SECTION-A)

scale: 3/16" = 1'-0"



KEY PLAN
 N.T.S



REVISIONS

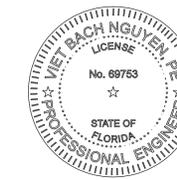
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PROJECT No: 121324
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 (SECTION-A)**

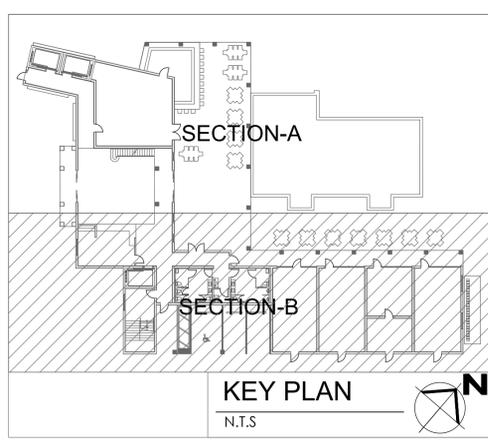
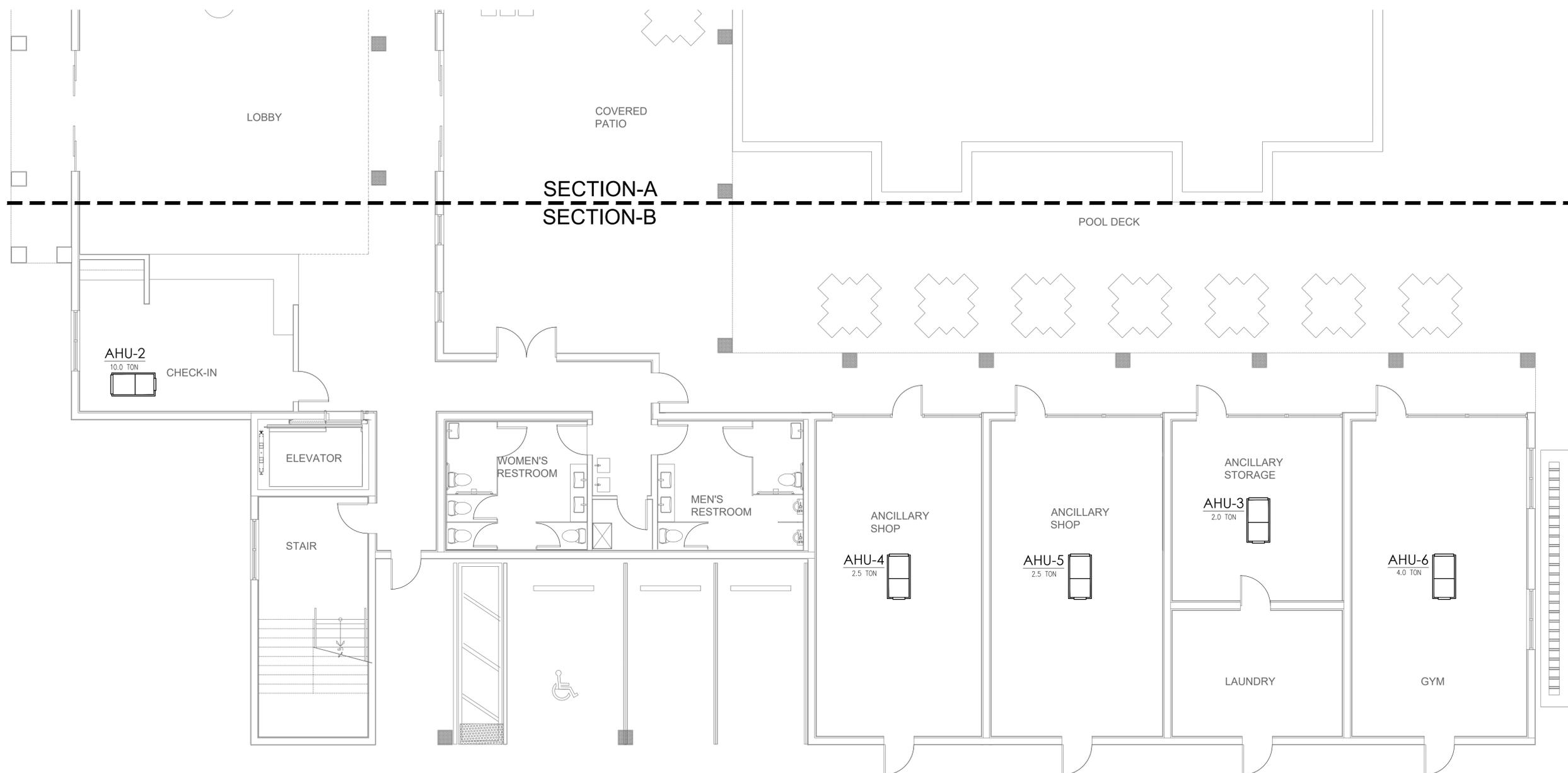
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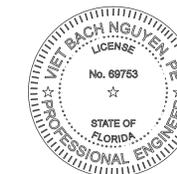
MECHANICAL GROUND FLOOR PLAN - HOTEL LOBBY BUILDING (SECTION-B)
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REVISIONS		
No.	Description	Date

PROJECT No: 121324
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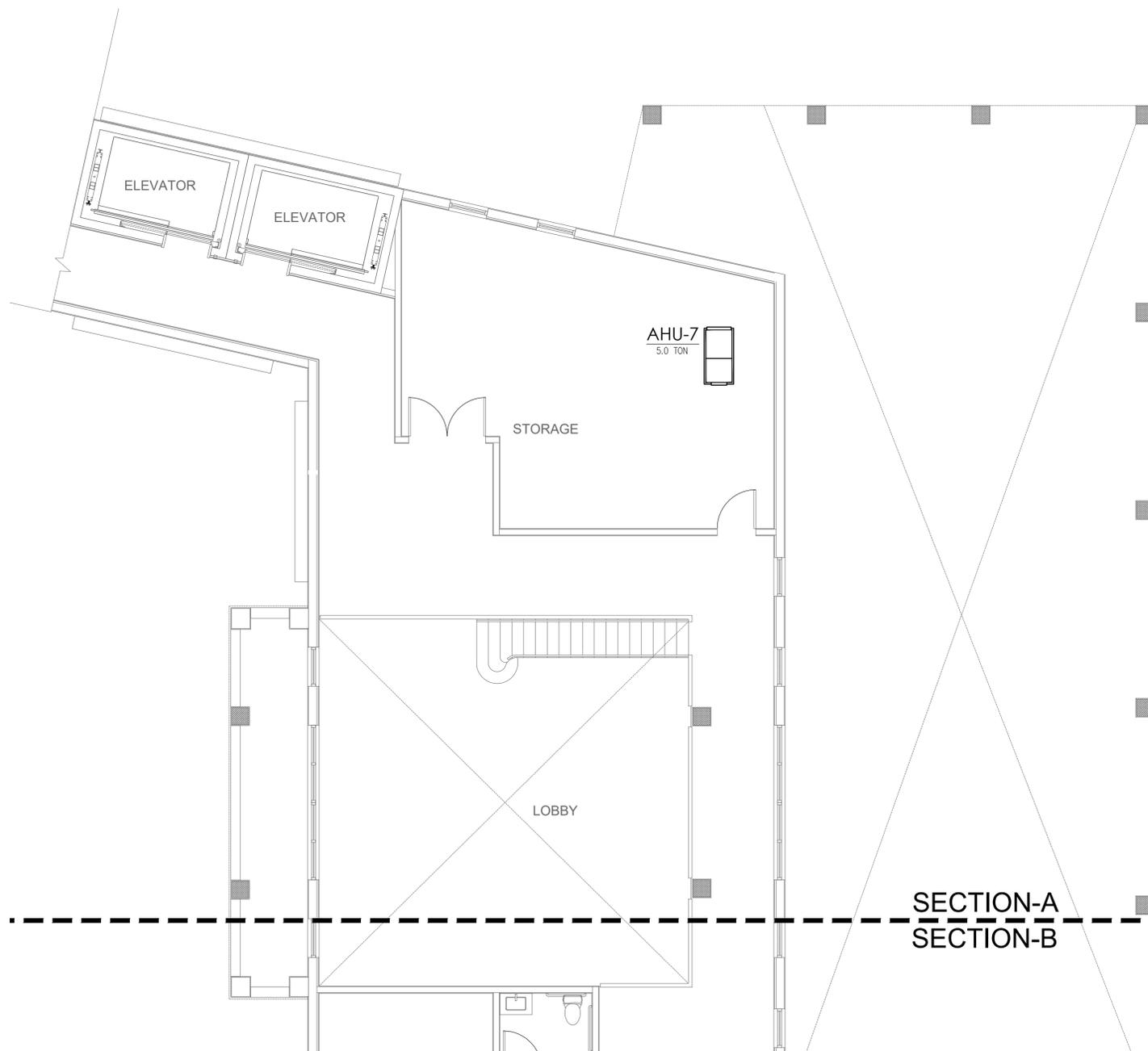
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 HOTEL LOBBY BUILDING
 (SECTION-B)**

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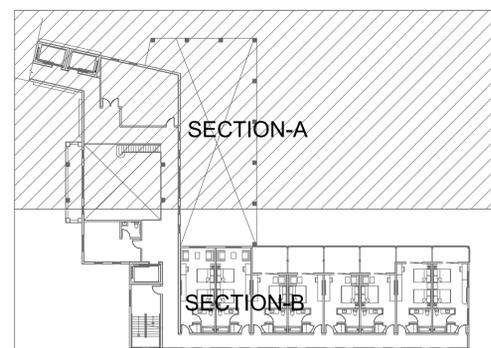
**IBIS BAY WATERFRONT
 RESORT**
 3101 NORTH ROOSEVELT BLVD.,
 KEYWEST, FL 33040



SECTION-A
 SECTION-B

MECHANICAL FIRST FLOOR PLAN - HOTEL LOBBY BUILDING (SECTION-A)

scale: 3/16" = 1'-0"



KEY PLAN
 N.T.S.



REVISIONS

No.	Description	Date

PROJECT No: 121324
 DATE:

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 (SECTION-A)**

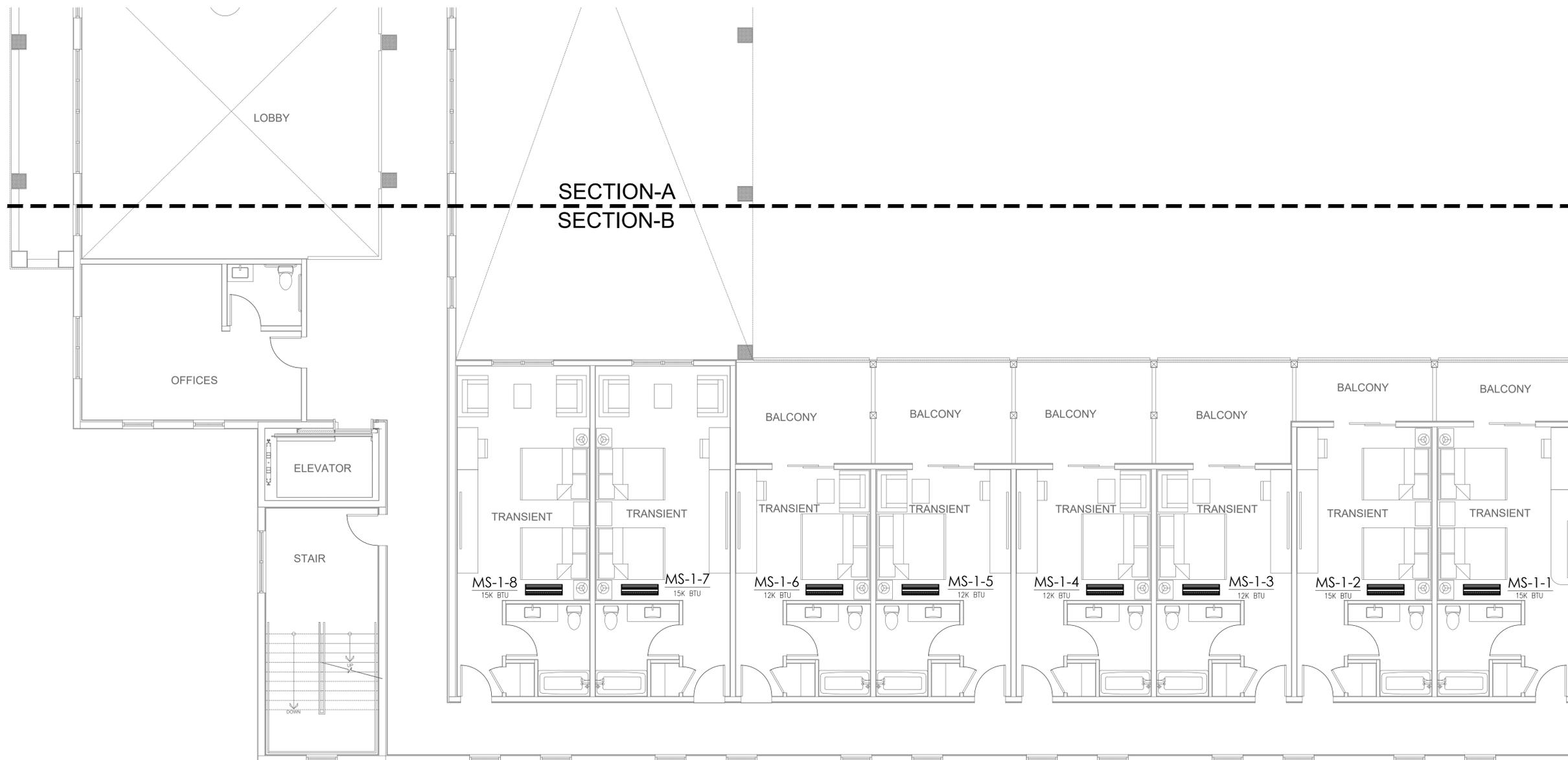
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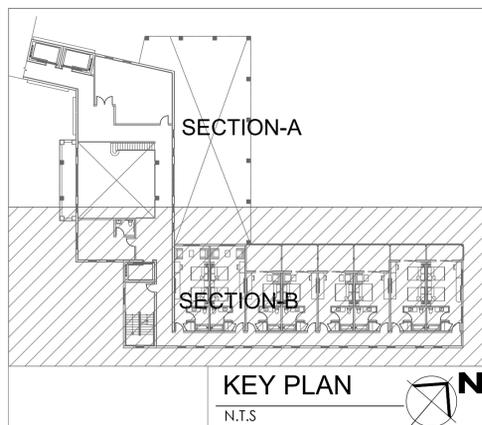
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MECHANICAL FIRST FLOOR PLAN - HOTEL LOBBY BUILDING (SECTION-B)

scale: 3/16" = 1'-0"



KEY PLAN
 N.T.S.



REVISIONS

No.	Description	Date

PROJECT No: 121324
 DATE:

SHEET TITLE:
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 (SECTION-B)**

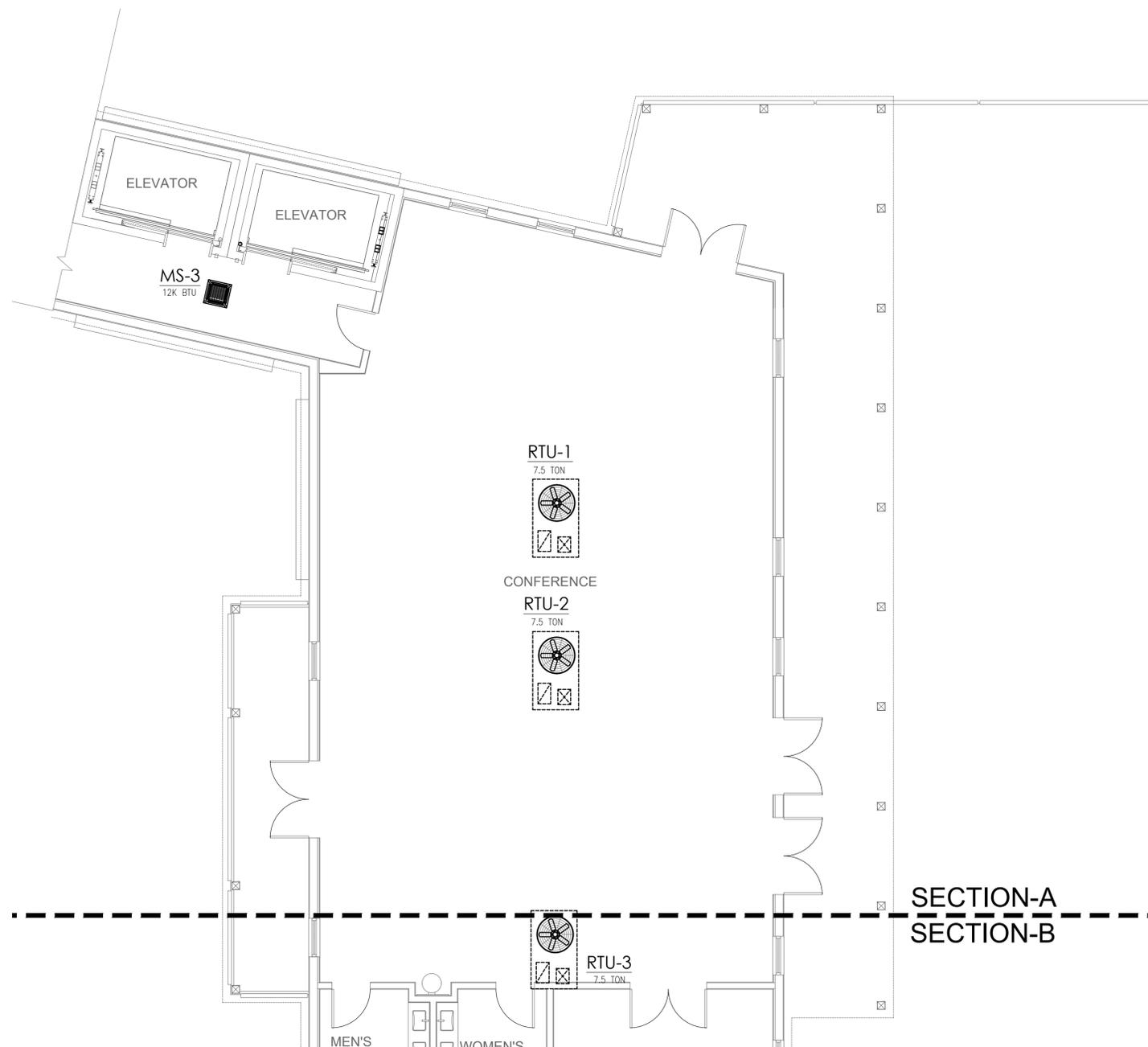
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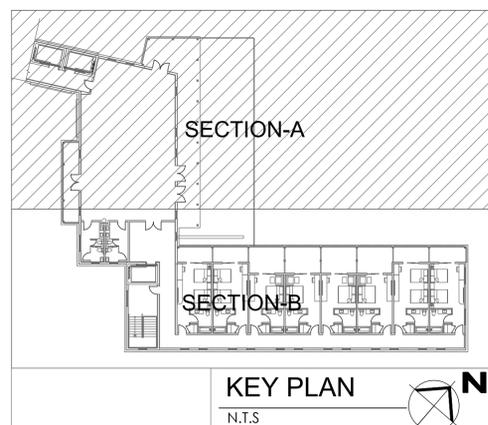


SECTION-A
 SECTION-B



MECHANICAL SECOND FLOOR PLAN - HOTEL LOBBY BUILDING (SECTION-A)

scale: 3/16" = 1'-0"



KEY PLAN
 N.T.S.



REVISIONS

No.	Description	Date

PROJECT No: 121324
 DATE:

SHEET TITLE:
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 HOTEL LOBBY BUILDING
 (SECTION-A)**

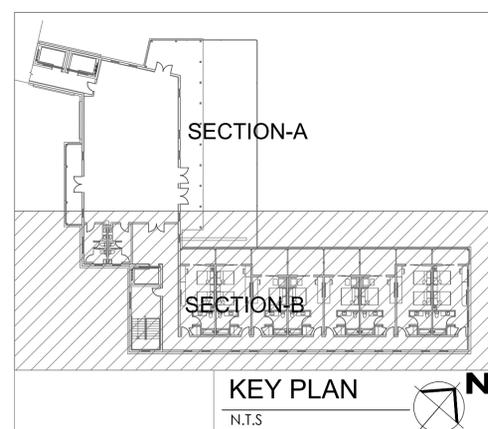
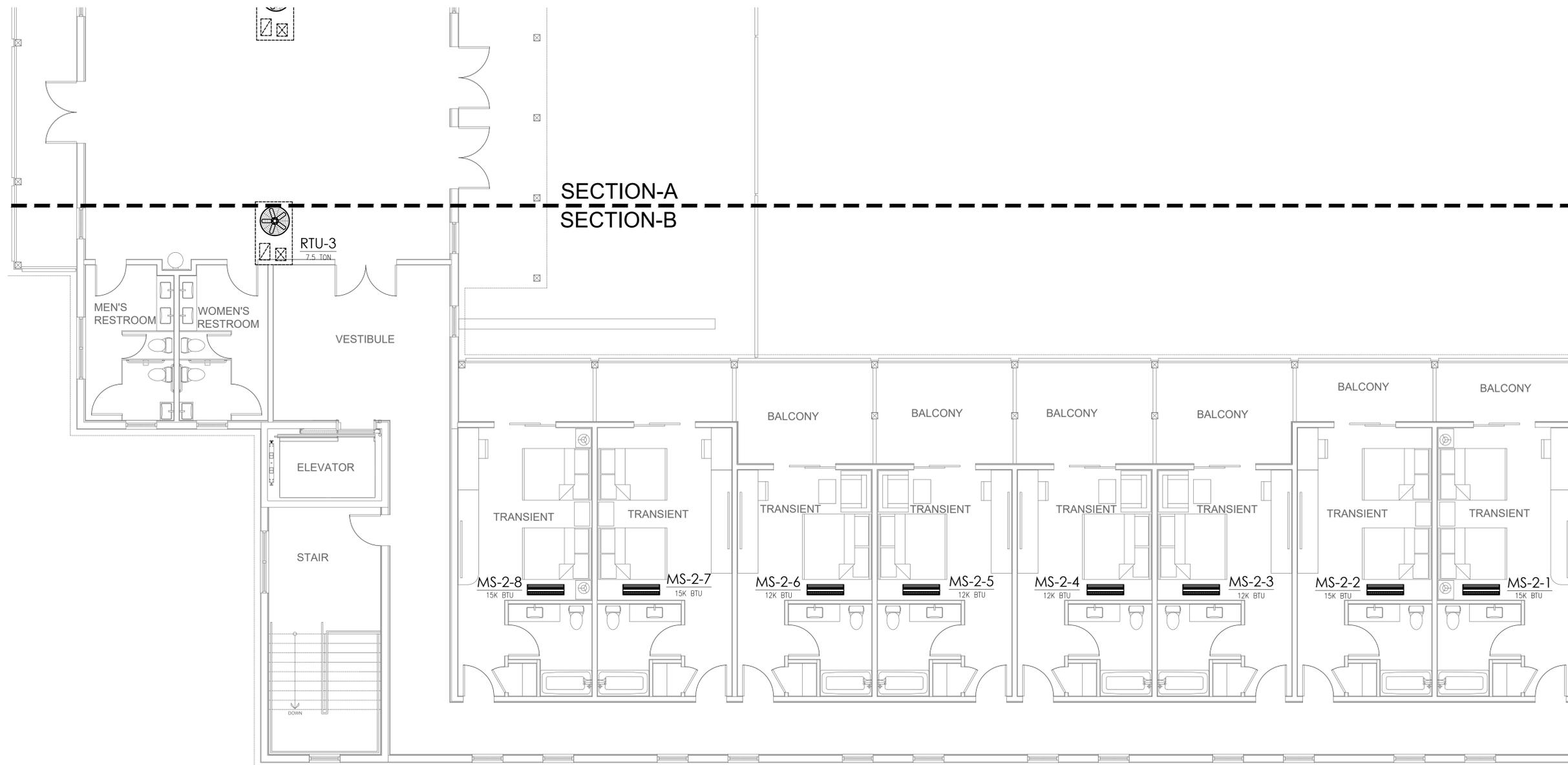
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**IBIS BAY WATERFRONT
 RESORT**
 3101 NORTH ROOSEVELT BLVD.,
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MECHANICAL SECOND FLOOR PLAN - HOTEL LOBBY BUILDING (SECTION-B)

scale: 3/16" = 1'-0"



REVISIONS

No.	Description	Date

PROJECT No: 121324
 DATE:

SHEET TITLE:
**MECHANICAL SECOND
 FLOOR PLAN - HOTEL
 LOBBY BUILDING
 (SECTION-B)**

SHEET No:

M-3.5



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**IBIS BAY WATERFRONT
 RESORT**
 3101 NORTH ROOSEVELT BLVD.,
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REVISIONS

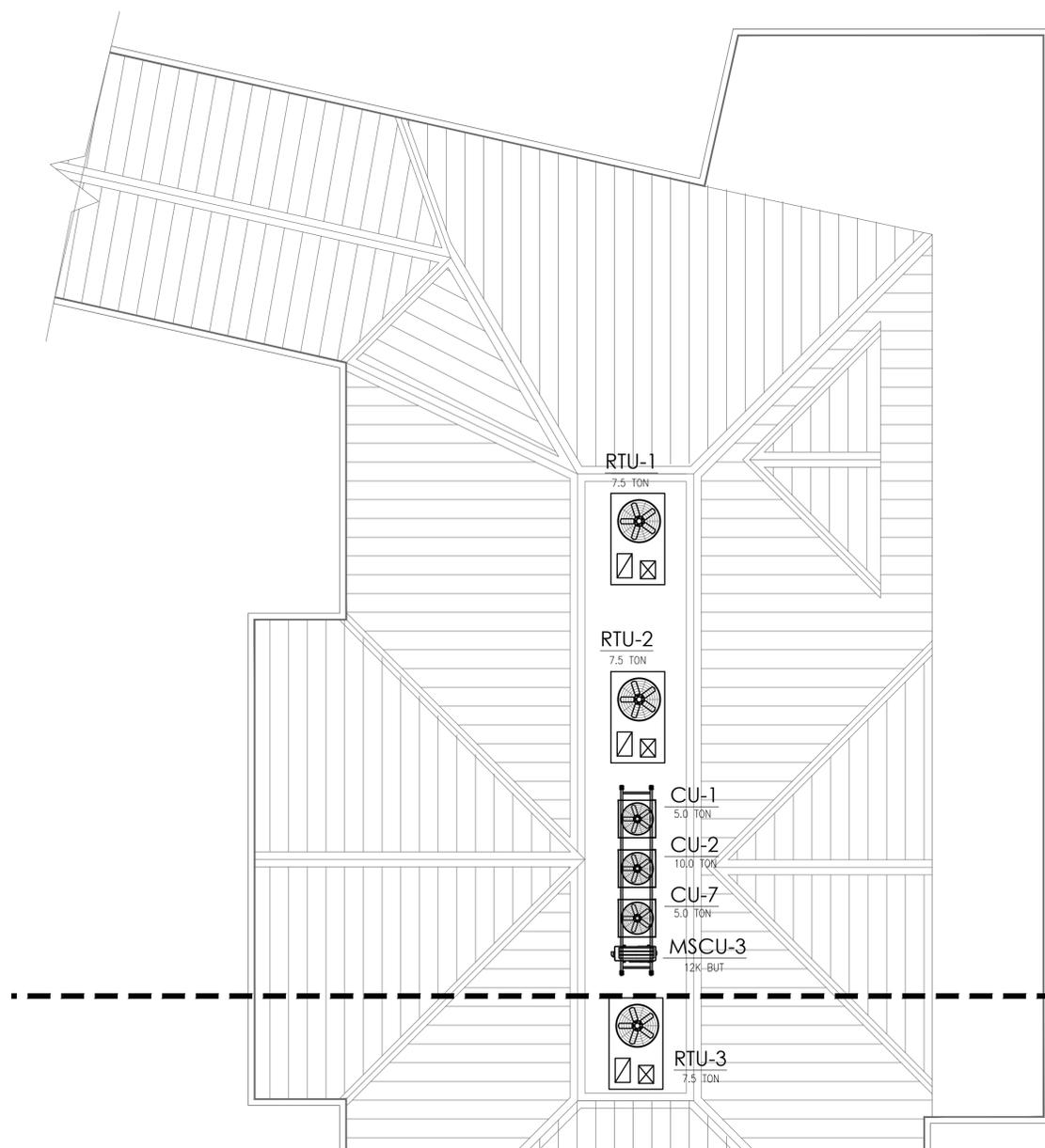
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PROJECT No: 121324
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SHEET TITLE:
**MECHANICAL ROOF
 PLAN - HOTEL LOBBY
 BUILDING (SECTION-A)**

SHEET No:

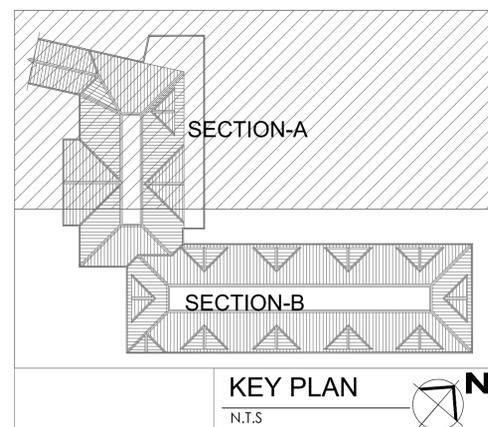
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SECTION-A
 SECTION-B

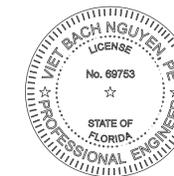
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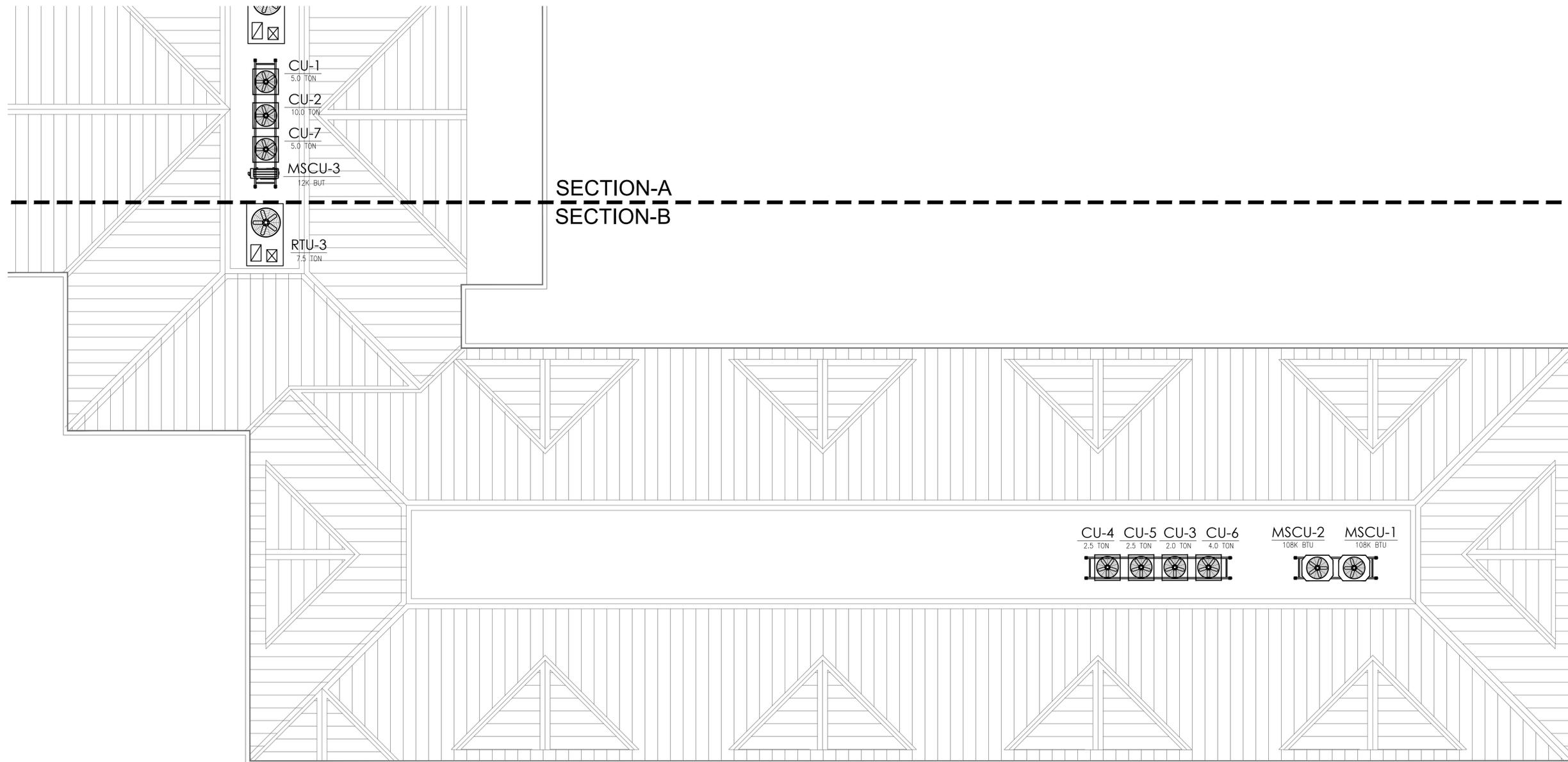
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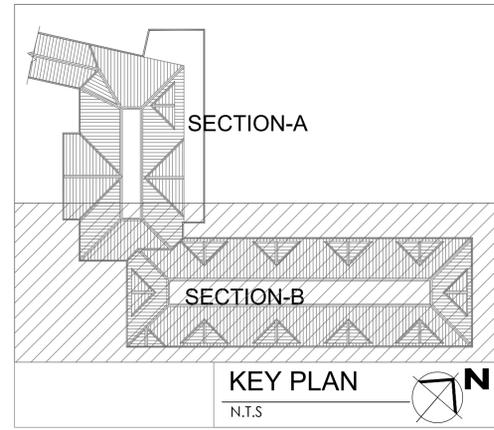
VIET BACH NGUYEN
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**IBIS BAY WATERFRONT
 RESORT**
 3101 NORTH ROOSEVELT BLVD.,
 KEYWEST, FL 33040



MECHANICAL ROOF PLAN - HOTEL LOBBY BUILDING (SECTION-B)

scale: 3/16" = 1'-0"



KEY PLAN
 N.T.S

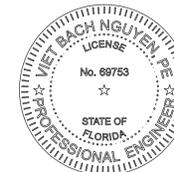
REVISIONS

No.	Description	Date

PROJECT No: 121324
 DATE:

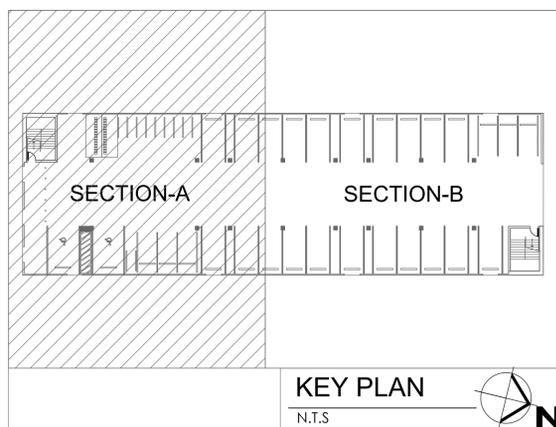
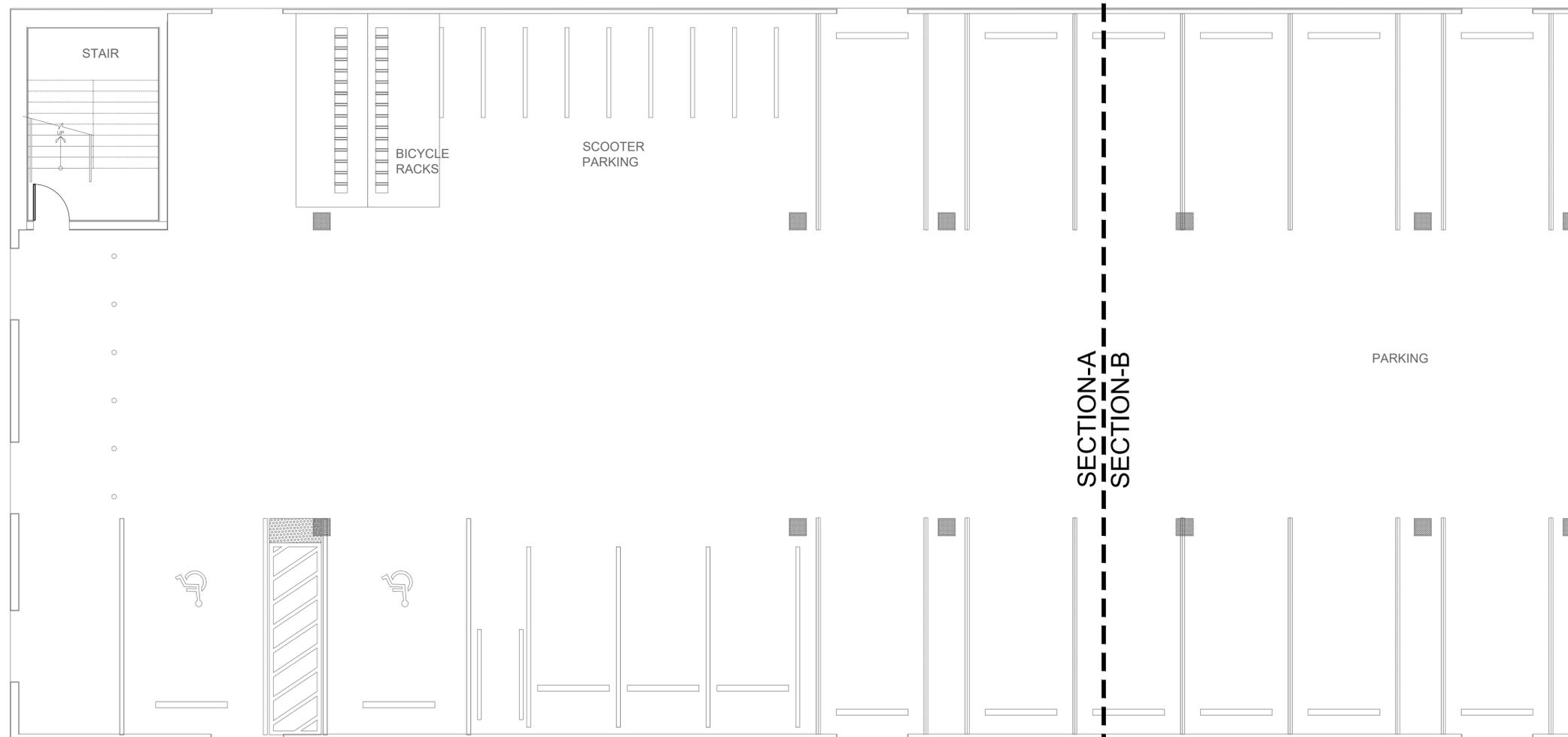
SHEET TITLE:
**MECHANICAL ROOF
 PLAN - HOTEL LOBBY
 BUILDING (SECTION -B)**

SHEET No:
M-3.7



VIET BACH NGUYEN
 FLORIDA P.E. #69753

**IBIS BAY WATERFRONT
 RESORT**
 3101 NORTH ROOSEVELT BLVD.,
 KEYWEST, FL 33040



MECHANICAL GROUND FLOOR PLAN - HOTEL BUILDING 2 (SECTION-A)

scale: 3/16" = 1'-0"



REVISIONS

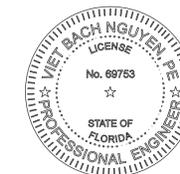
No.	Description	Date

PROJECT No: 121324
 DATE:

SHEET TITLE: **MECHANICAL
 GROUND FLOOR
 PLAN - HOTEL
 BUILDING 2
 (SECTION-A)**

SHEET No:

M-4.0



VIET BACH NGUYEN
 FLORIDA P.E. #69753

**IBIS BAY WATERFRONT
 RESORT**
 3101 NORTH ROOSEVELT BLVD.,
 KEYWEST, FL 33040

REVISIONS

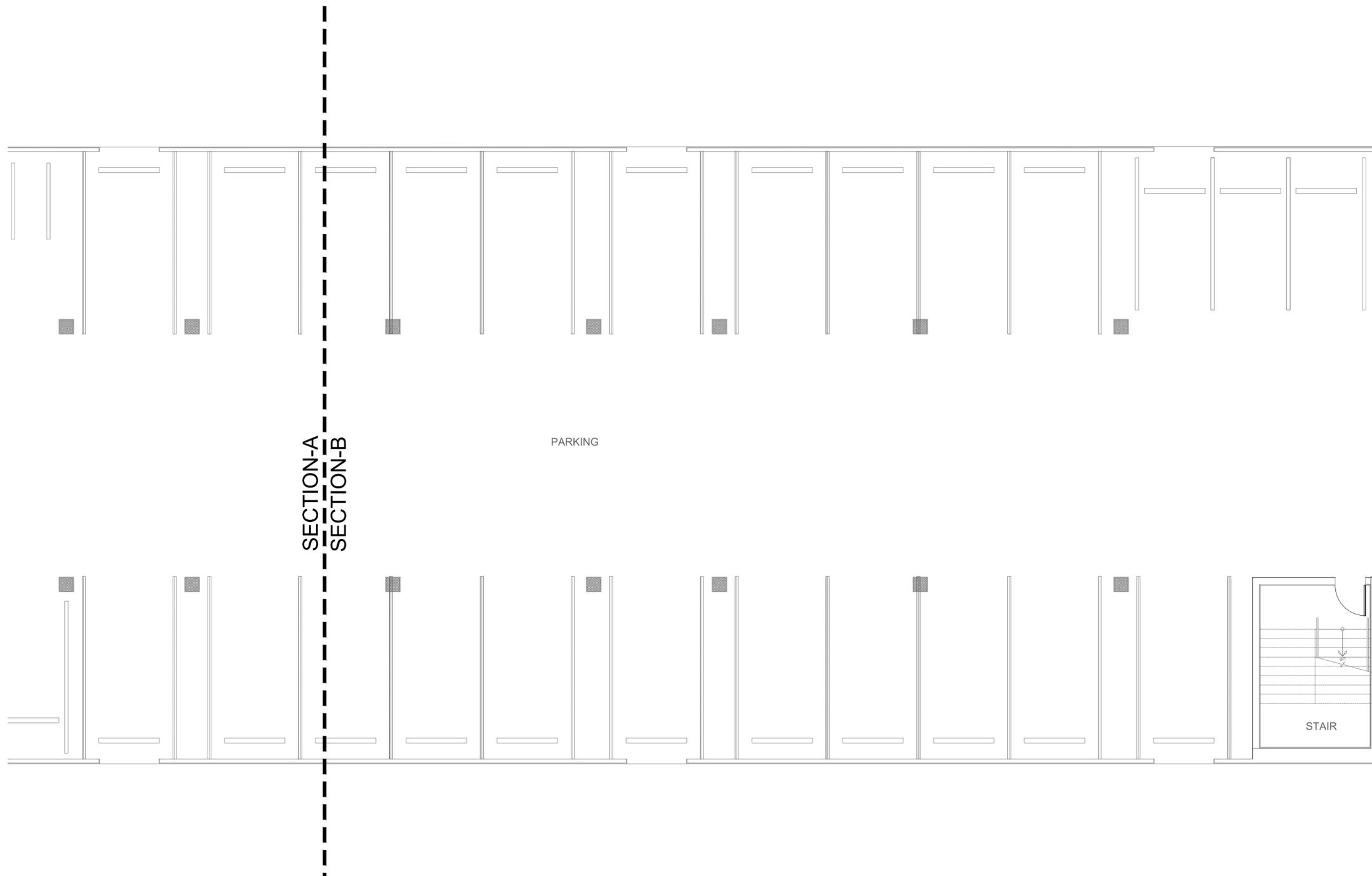
No.	Description	Date

PROJECT No: 121324
 DATE:

SHEET TITLE: **MECHANICAL
 SECOND FLOOR
 PLAN - HOTEL
 BUILDING 2
 (SECTION-B)**

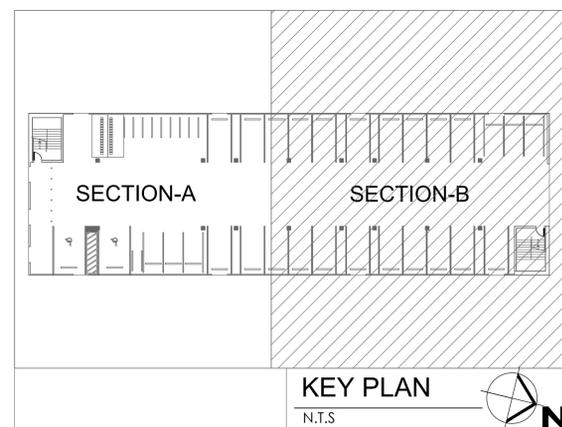
SHEET No:

M-4.1

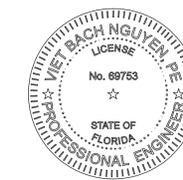


MECHANICAL SECOND FLOOR PLAN - HOTEL BUILDING 2 (SECTION-B)

scale: 3/16" = 1'-0"



KEY PLAN
 N.T.S



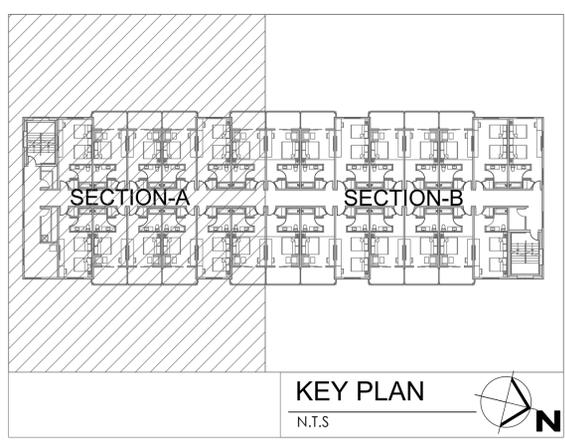
VIET BACH NGUYEN
 FLORIDA P.E. #69753

**IBIS BAY WATERFRONT
 RESORT**
 3101 NORTH ROOSEVELT BLVD.,
 KEYWEST, FL 33040



MECHANICAL FIRST FLOOR PLAN - HOTEL BUILDING 2 (SECTION-A)

scale: 3/16" = 1'-0"



REVISIONS		
No.	Description	Date

PROJECT No: 121324
 DATE:

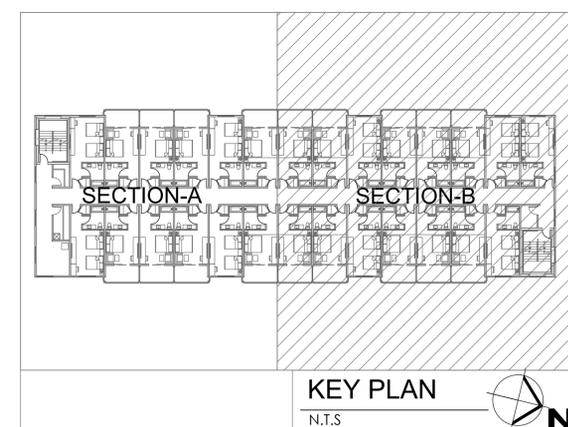
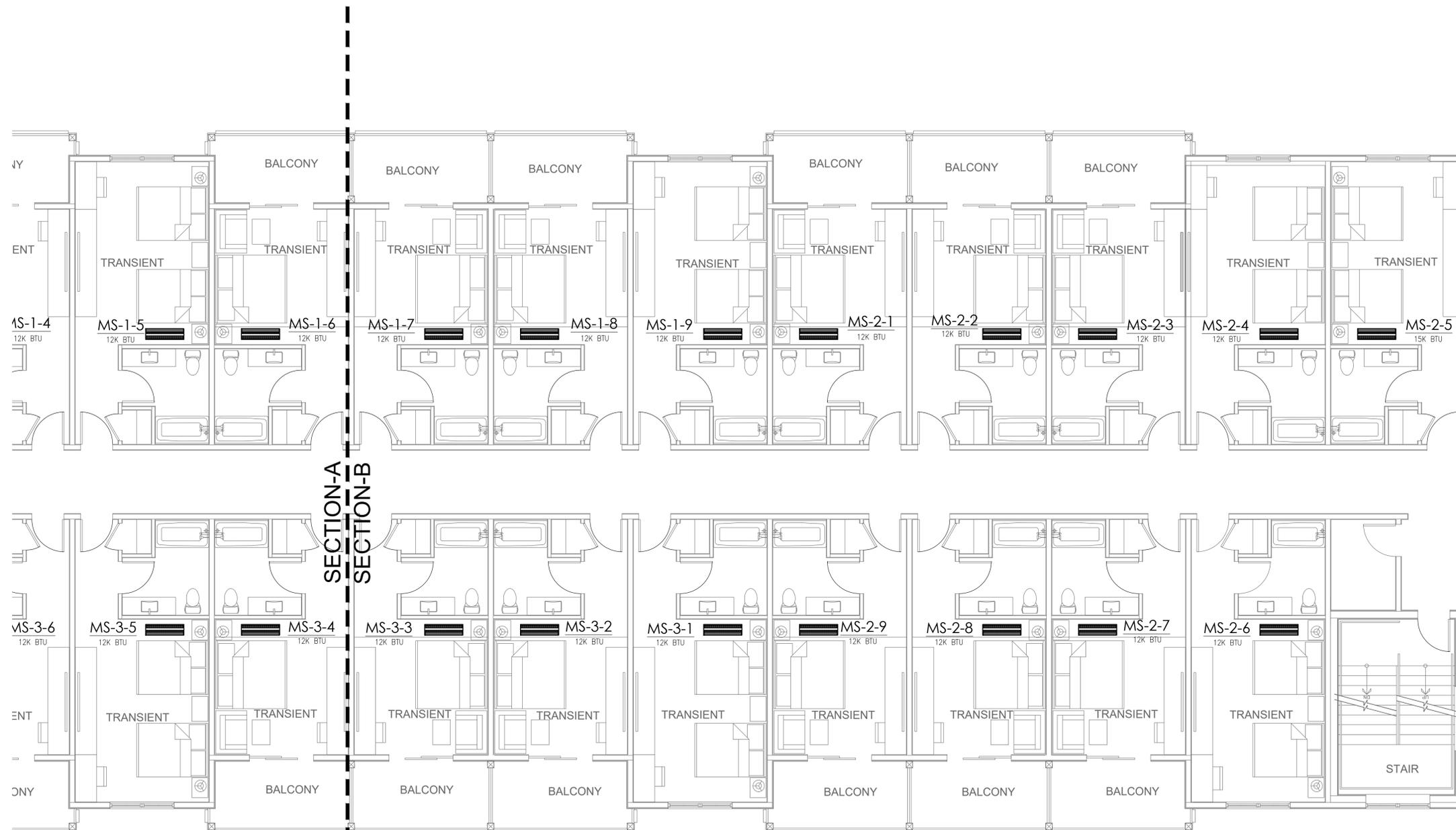
SHEET TITLE: **MECHANICAL FIRST FLOOR PLAN - HOTEL BUILDING 2 (SECTION-A)**

SHEET No:
M-4.2



VIET BACH NGUYEN
 FLORIDA P.E. #69753

**IBIS BAY WATERFRONT
 RESORT**
 3101 NORTH ROOSEVELT BLVD.,
 KEYWEST, FL 33040



MECHANICAL FIRST FLOOR PLAN - HOTEL BUILDING 2 (SECTION-B)

scale: 3/16" = 1'-0"



REVISIONS

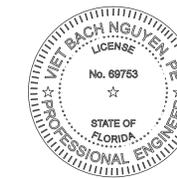
No.	Description	Date

PROJECT No: 121324
 DATE:

SHEET TITLE: **MECHANICAL FIRST
 FLOOR PLAN -
 HOTEL BUILDING 2
 (SECTION-B)**

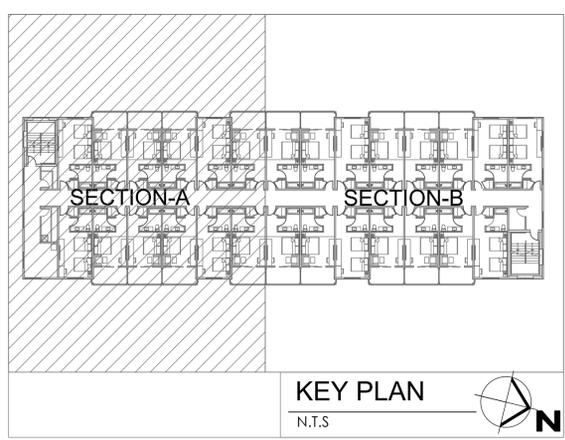
SHEET No:

M-4.3



VIET BACH NGUYEN
 FLORIDA P.E. #69753

**IBIS BAY WATERFRONT
 RESORT**
 3101 NORTH ROOSEVELT BLVD.,
 KEYWEST, FL 33040



MECHANICAL SECOND FLOOR PLAN - HOTEL BUILDING 2 (SECTION-A)
 scale: 3/16" = 1'-0"

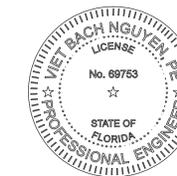


REVISIONS		
No.	Description	Date

PROJECT No: 121324
 DATE:

SHEET TITLE: **MECHANICAL
 SECOND FLOOR
 PLAN - HOTEL
 BUILDING 2
 (SECTION-A)**

SHEET No:
M-4.4



VIET BACH NGUYEN
 FLORIDA P.E. #69753

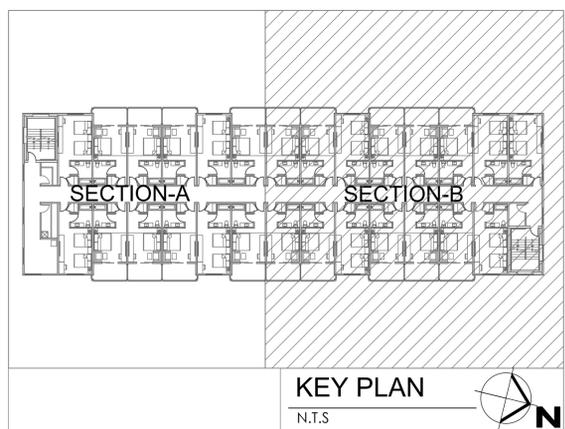
**IBIS BAY WATERFRONT
 RESORT**
 3101 NORTH ROOSEVELT BLVD.,
 KEYWEST, FL 33040



SECTION-A
 SECTION-B



MECHANICAL SECOND FLOOR PLAN - HOTEL BUILDING 2 (SECTION-B)
 scale: 3/16" = 1'-0"



KEY PLAN
 N.T.S.

REVISIONS

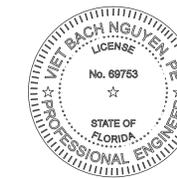
No.	Description	Date

PROJECT No: 121324
 DATE:

SHEET TITLE: **MECHANICAL
 SECOND FLOOR
 PLAN - HOTEL
 BUILDING 2
 (SECTION-B)**

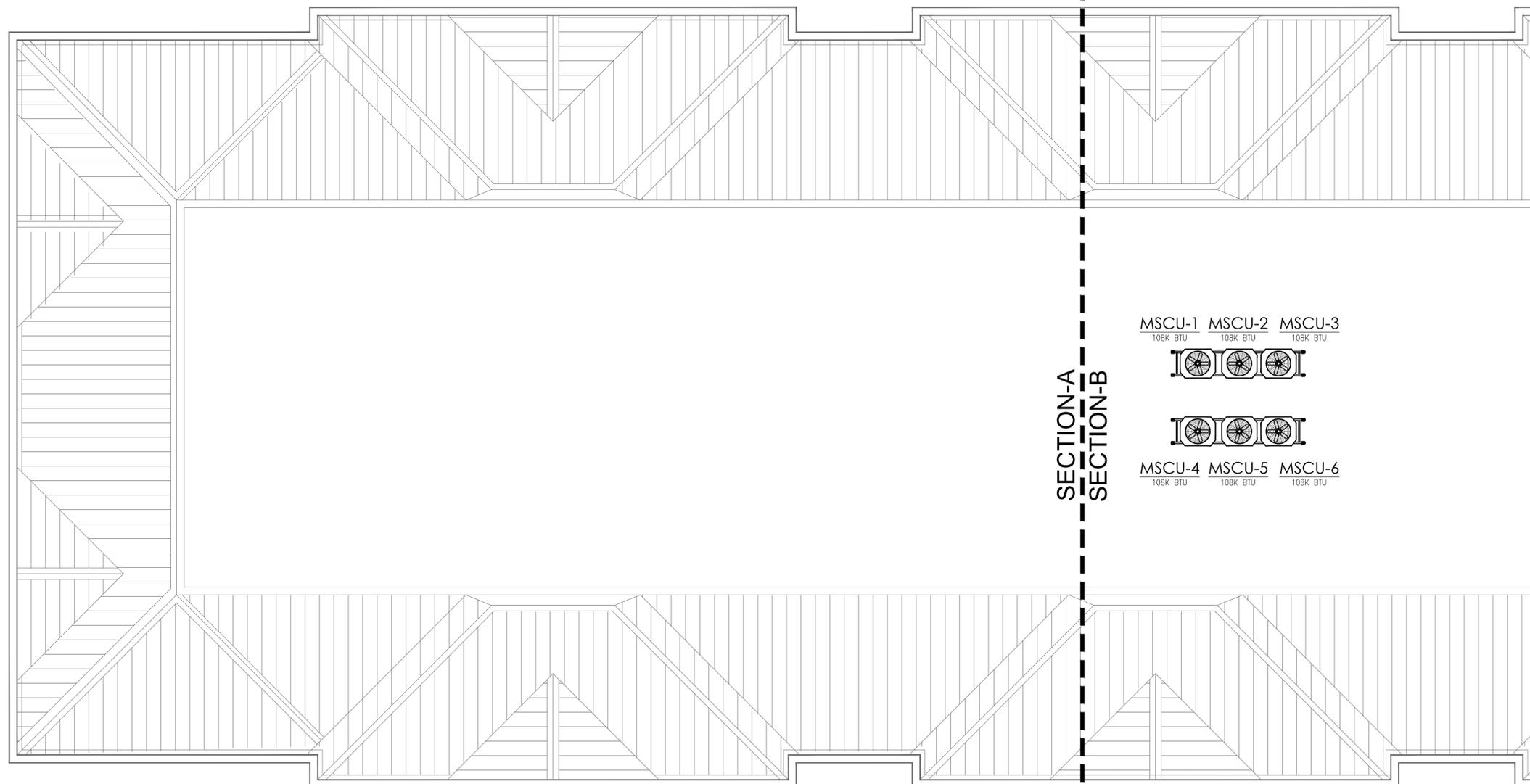
SHEET No:

M-4.5

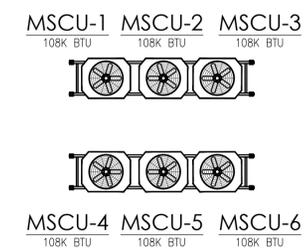


VIET BACH NGUYEN
 FLORIDA P.E. #69753

**IBIS BAY WATERFRONT
 RESORT**
 3101 NORTH ROOSEVELT BLVD.,
 KEYWEST, FL 33040

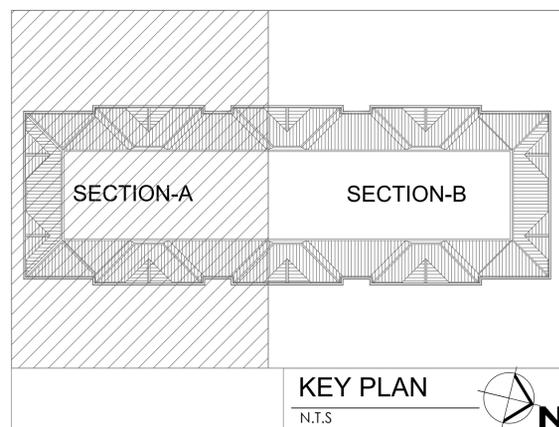


SECTION-A
 SECTION-B



MECHANICAL ROOF PLAN - HOTEL BUILDING 2 (SECTION-A)

scale: 3/16" = 1'-0"



REVISIONS

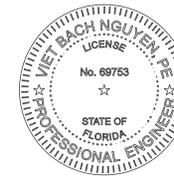
No.	Description	Date

PROJECT No: 121324
 DATE:

**MECHANICAL
 ROOF PLAN -
 HOTEL BUILDING 2
 (SECTION-A)**

SHEET No:

M-4.6



VIET BACH NGUYEN
 FLORIDA P.E. #69753

**IBIS BAY WATERFRONT
 RESORT**
 3101 NORTH ROOSEVELT BLVD.,
 KEYWEST, FL 33040

REVISIONS

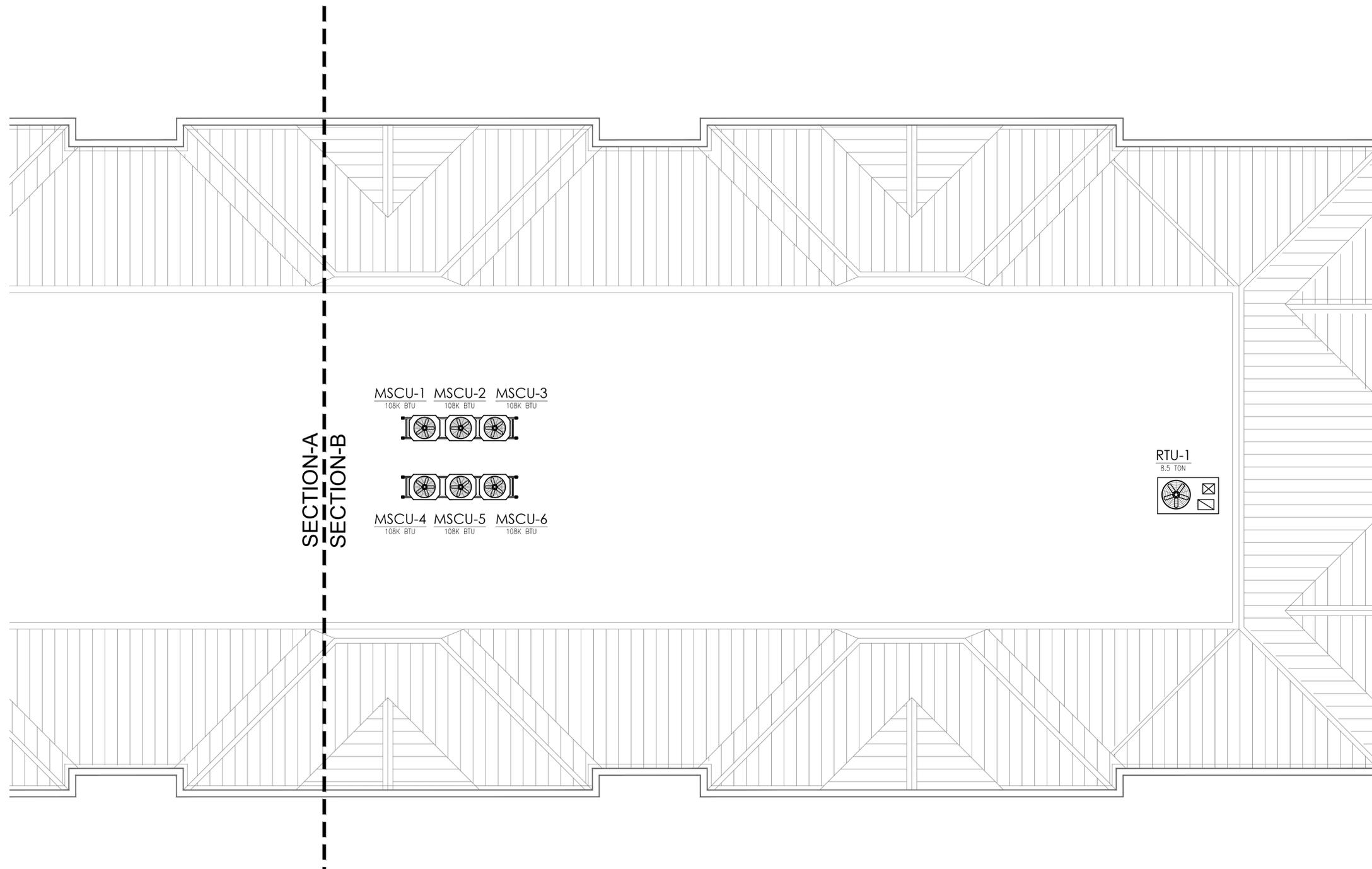
No.	Description	Date

PROJECT No: 121324
 DATE:

SHEET TITLE: **MECHANICAL
 ROOF PLAN -
 HOTEL BUILDING 2
 (SECTION-B)**

SHEET No:

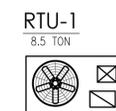
M-4.7



MSCU-1 MSCU-2 MSCU-3
 108K BTU 108K BTU 108K BTU



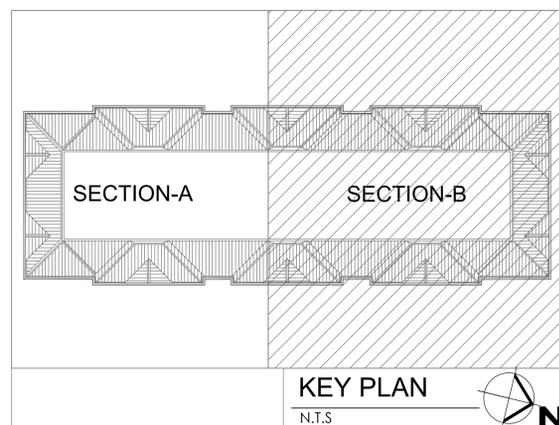
MSCU-4 MSCU-5 MSCU-6
 108K BTU 108K BTU 108K BTU

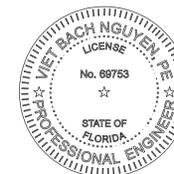


SECTION-A
 SECTION-B

MECHANICAL ROOF PLAN - HOTEL BUILDING 2 (SECTION-B)

scale: 3/16" = 1'-0"





VIET BACH NGUYEN
 FLORIDA P.E. #69753

**IBIS BAY WATERFRONT
 RESORT
 3101 NORTH ROOSEVELT BLVD.,
 KEYWEST, FL 33040**

REVISIONS

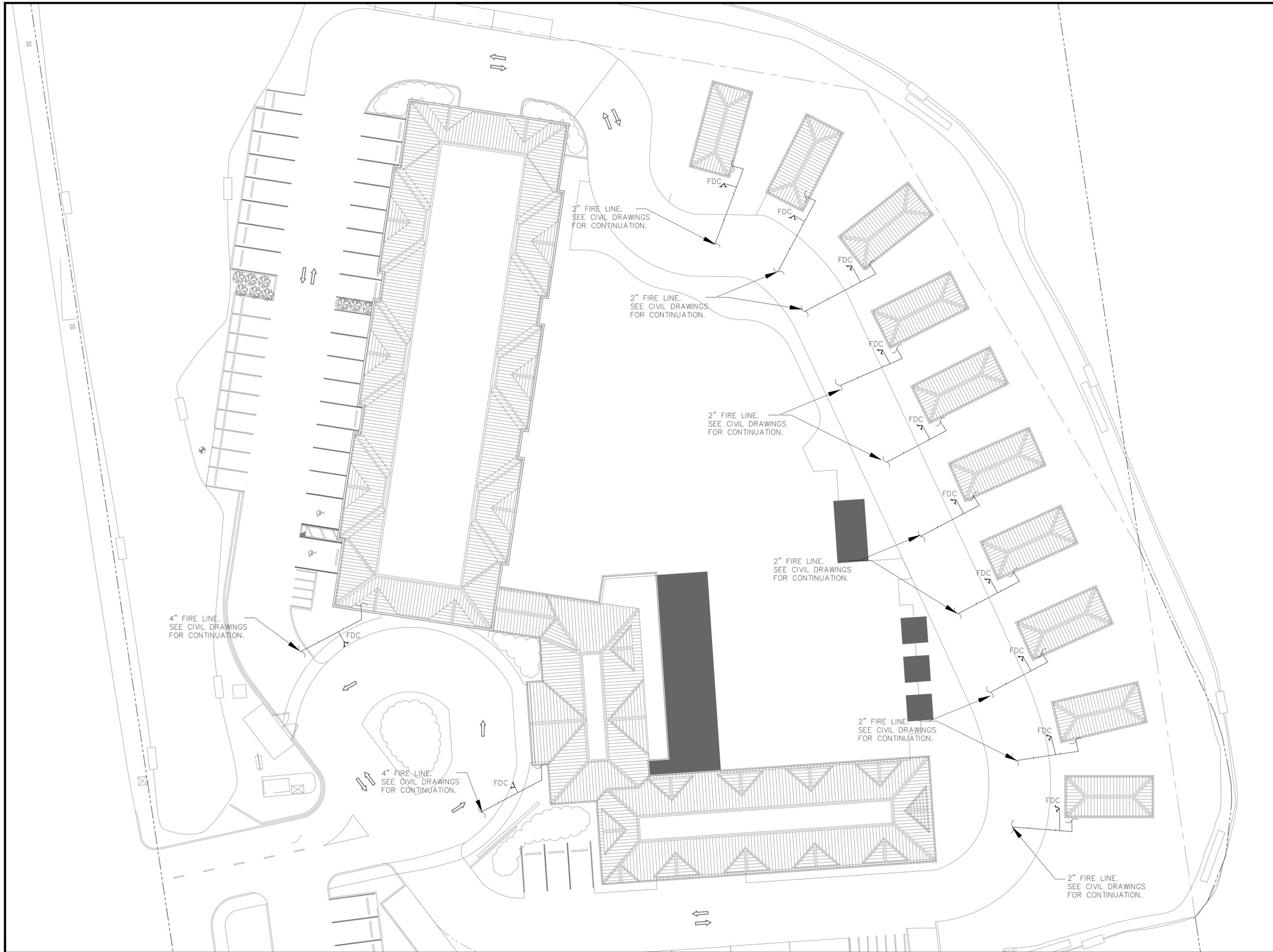
No.	Description	Date

PROJECT No: 121324
 DATE:

SHEET TITLE:
**FIRE SPRINKLER
 SITE PLAN**

SHEET No:

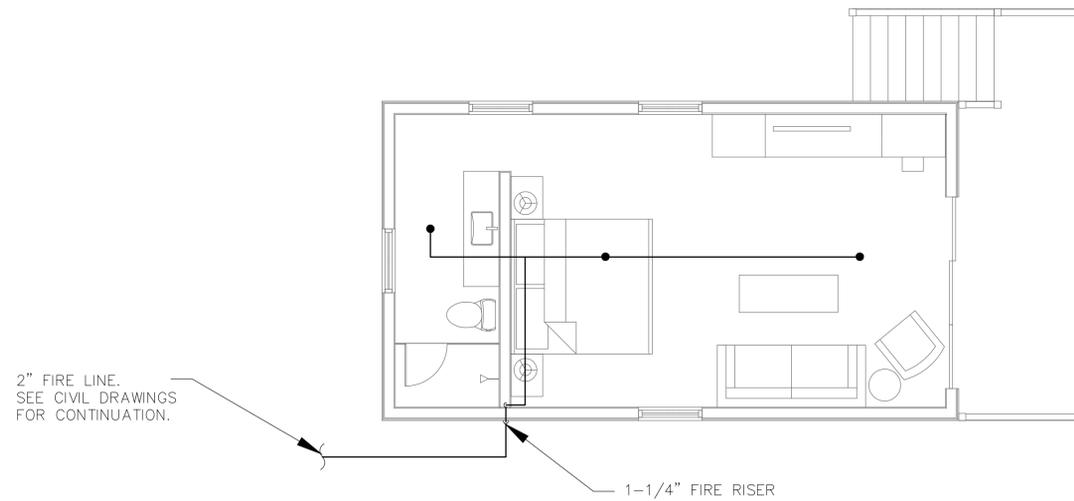
FP-1.0





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 FLORIDA P.E. #69753

**IBIS BAY WATERFRONT
 RESORT
 3101 NORTH ROOSEVELT BLVD.,
 KEYWEST, FL 33040**



2" FIRE LINE.
 SEE CIVIL DRAWINGS
 FOR CONTINUATION.

1-1/4" FIRE RISER

FIRE SPRINKLER FLOOR PLAN

scale: 1/4" = 1'-0"

REVISIONS

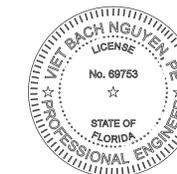
No.	Description	Date

PROJECT No: 121324
 DATE:

SHEET TITLE:
**FIRE SPRINKLER
 TYPICAL COTTAGE
 FLOOR PLAN**

SHEET No:

FP-2.0



VIET BACH NGUYEN
 FLORIDA P.E. #69753

**IBIS BAY WATERFRONT
 RESORT**
 3101 NORTH ROOSEVELT BLVD.,
 KEYWEST, FL 33040

REVISIONS

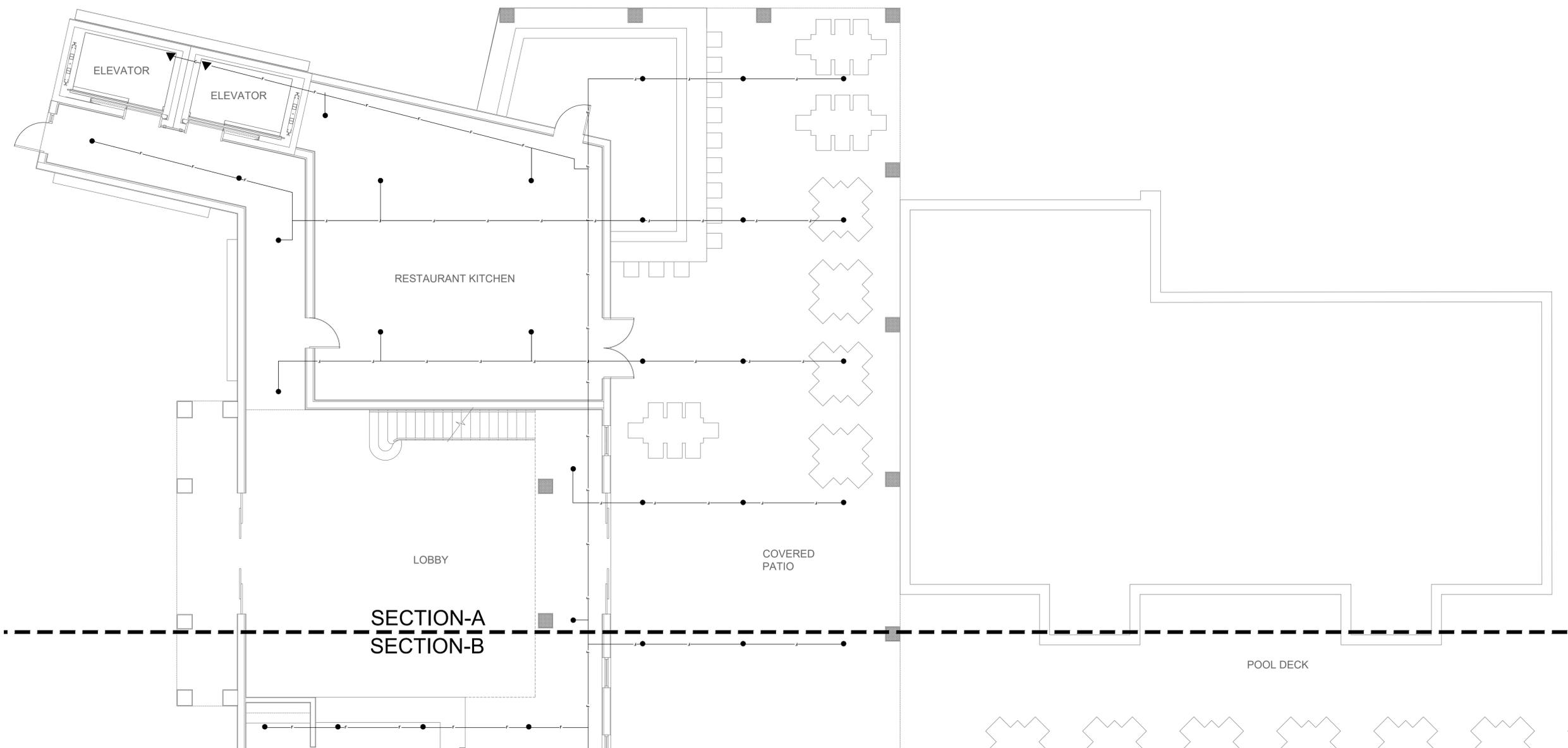
No.	Description	Date

PROJECT No: 121324
 DATE:

SHEET TITLE:
**FIRE SPRINKLER
 GROUND FLOOR PLAN -
 HOTEL LOBBY BUILDING
 (SECTION-A)**

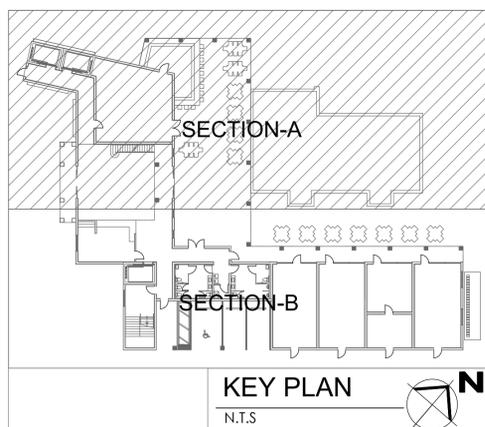
SHEET No:

FP-3.0



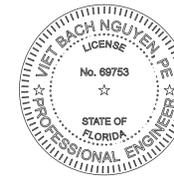
FIRE SPRINKLER GROUND FLOOR PLAN - HOTEL LOBBY BUILDING (SECTION-A)

scale: 3/16" = 1'-0"



KEY PLAN
 N.T.S.





VIET BACH NGUYEN
 FLORIDA P.E. #69753

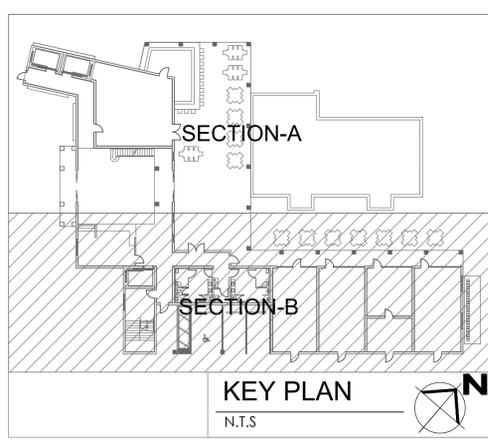
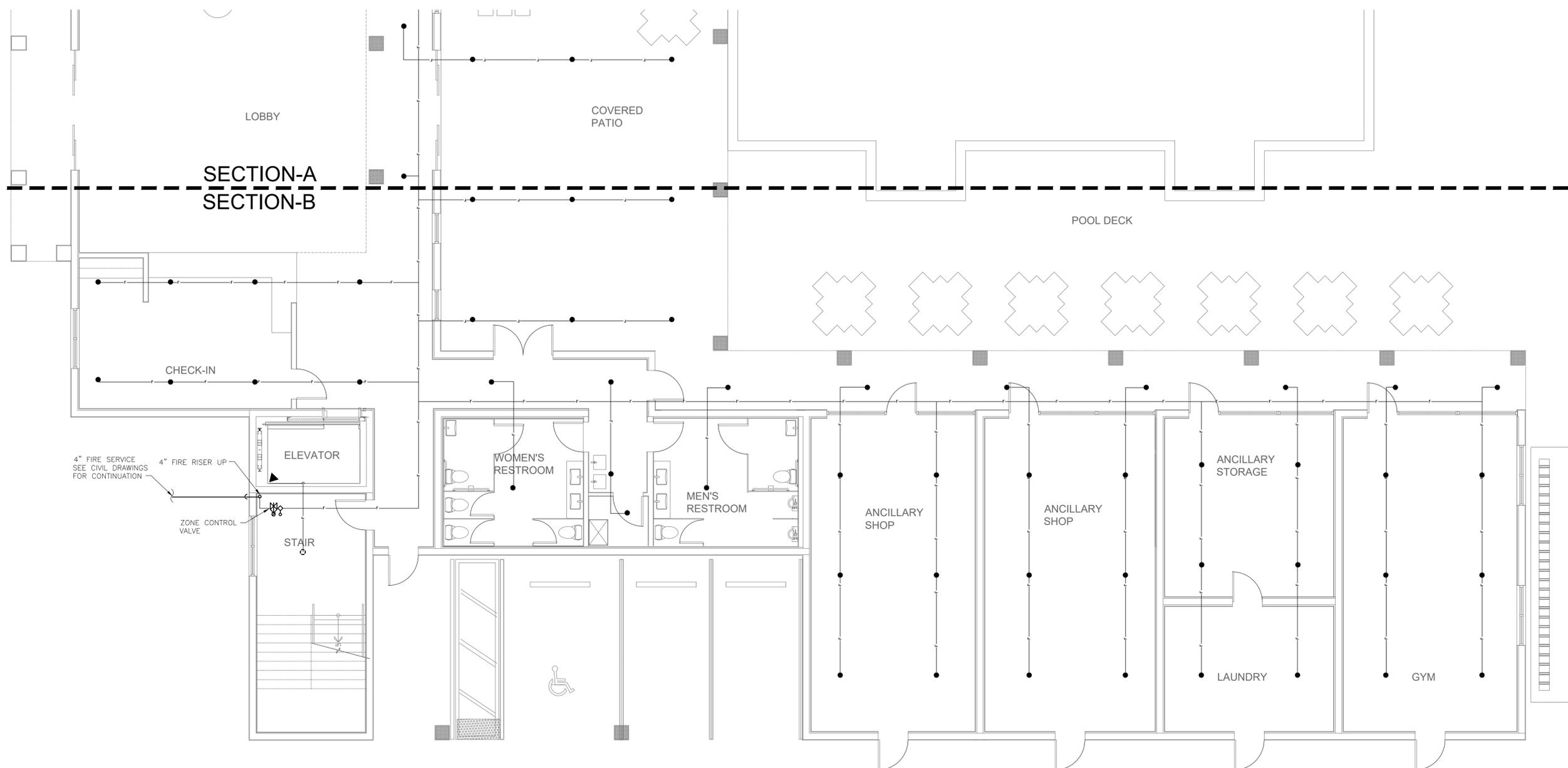
**IBIS BAY WATERFRONT
 RESORT**
 3101 NORTH ROOSEVELT BLVD.,
 KEYWEST, FL 33040

REVISIONS		
No.	Description	Date

PROJECT No: 121324
 DATE:

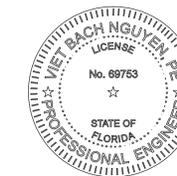
SHEET TITLE:
**FIRE SPRINKLER
 GROUND FLOOR PLAN -
 HOTEL LOBBY BUILDING
 (SECTION-B)**

SHEET No:
FP-3.1



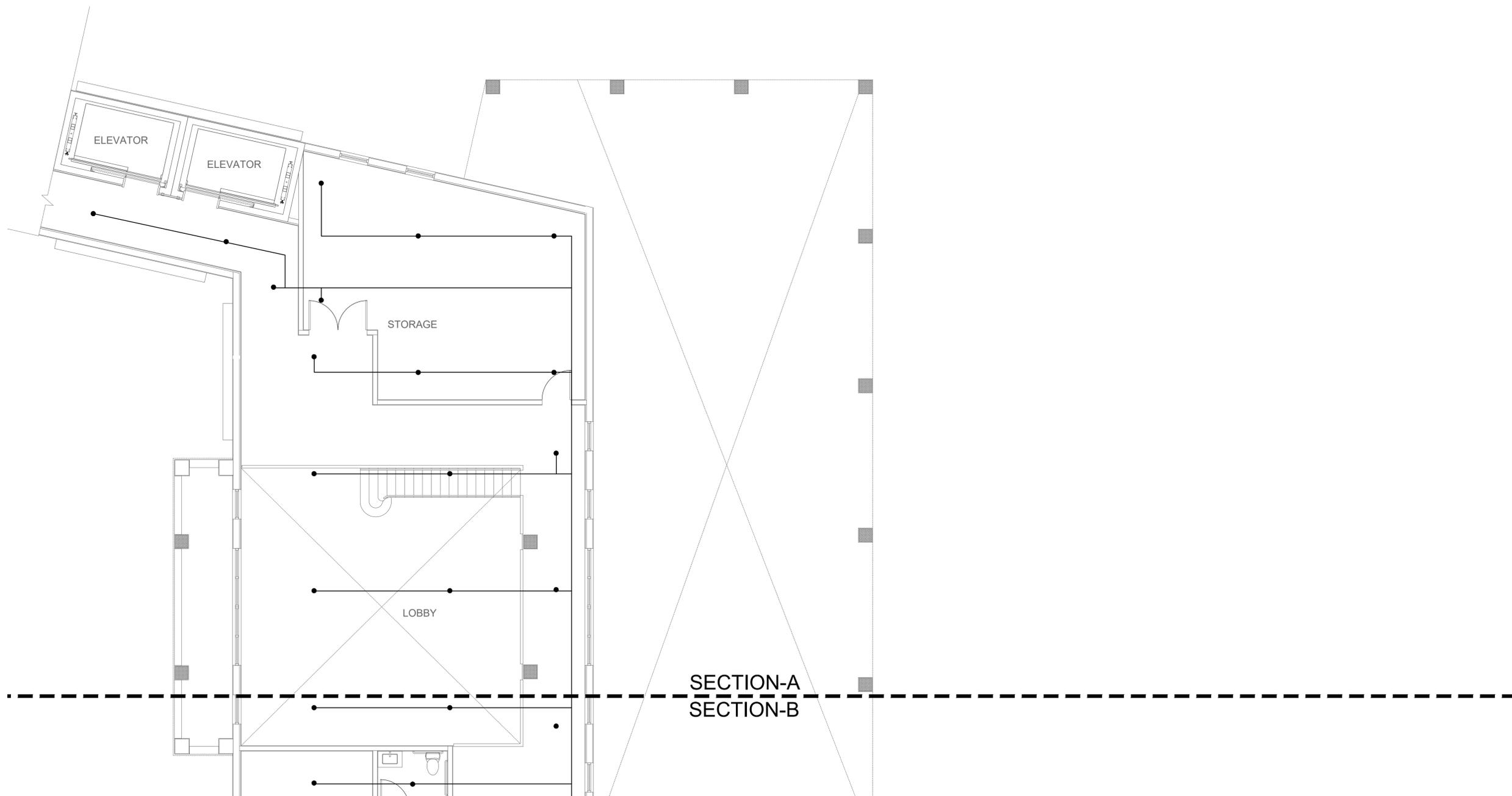
FIRE SPRINKLER GROUND FLOOR PLAN - HOTEL LOBBY BUILDING (SECTION-B)
 scale: 3/16" = 1'-0"





VIET BACH NGUYEN
 FLORIDA P.E. #69753

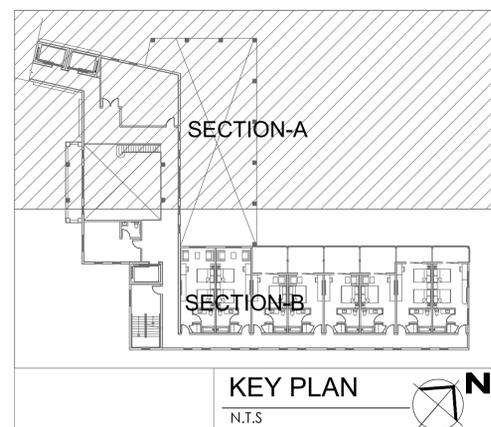
**IBIS BAY WATERFRONT
 RESORT**
 3101 NORTH ROOSEVELT BLVD.,
 KEYWEST, FL 33040



SECTION-A
 SECTION-B

FIRE SPRINKLER FIRST FLOOR PLAN - HOTEL LOBBY BUILDING (SECTION-A)

scale: 3/16" = 1'-0"



KEY PLAN
 N.T.S.



REVISIONS

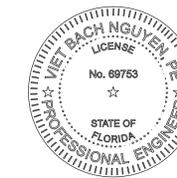
No.	Description	Date

PROJECT No: 121324
 DATE:

SHEET TITLE:
**FIRE SPRINKLER FIRST
 FLOOR PLAN - HOTEL
 LOBBY BUILDING
 (SECTION-A)**

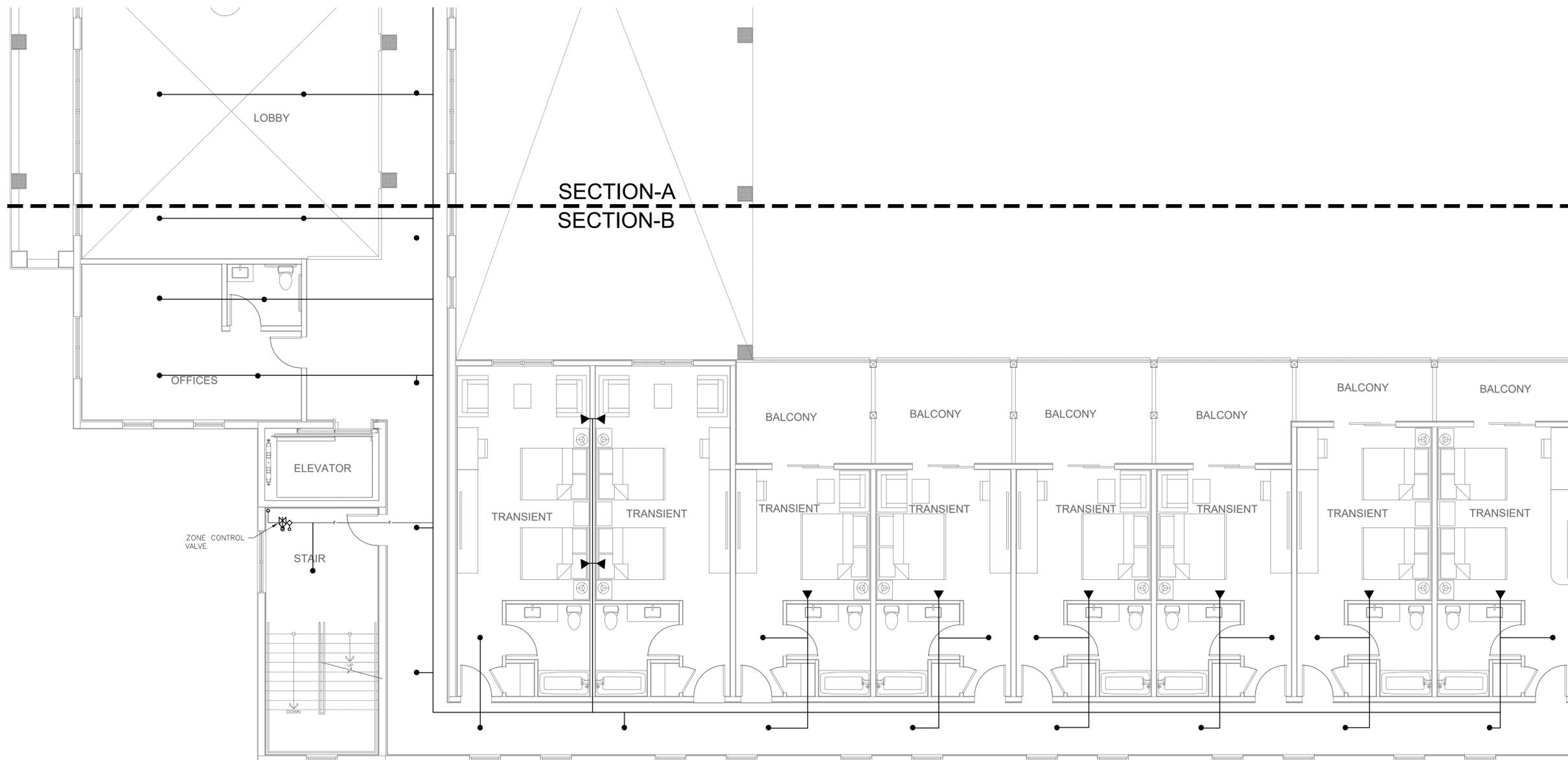
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FP-3.2



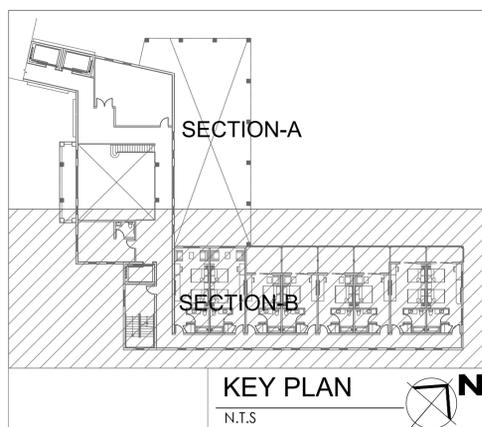
VIET BACH NGUYEN
 FLORIDA P.E. #69753

**IBIS BAY WATERFRONT
 RESORT**
 3101 NORTH ROOSEVELT BLVD.,
 KEYWEST, FL 33040



FIRE SPRINKLER FIRST FLOOR PLAN - HOTEL LOBBY BUILDING (SECTION-B)

scale: 3/16" = 1'-0"



KEY PLAN
 N.T.S.



REVISIONS

No.	Description	Date

PROJECT No: 121324
 DATE:

SHEET TITLE:
**FIRE SPRINKLER FIRST
 FLOOR PLAN - HOTEL
 LOBBY BUILDING
 (SECTION-B)**

SHEET No:

FP-3.3



VIET BACH NGUYEN
 FLORIDA P.E. #69753

**IBIS BAY WATERFRONT
 RESORT**
 3101 NORTH ROOSEVELT BLVD.,
 KEYWEST, FL 33040

REVISIONS

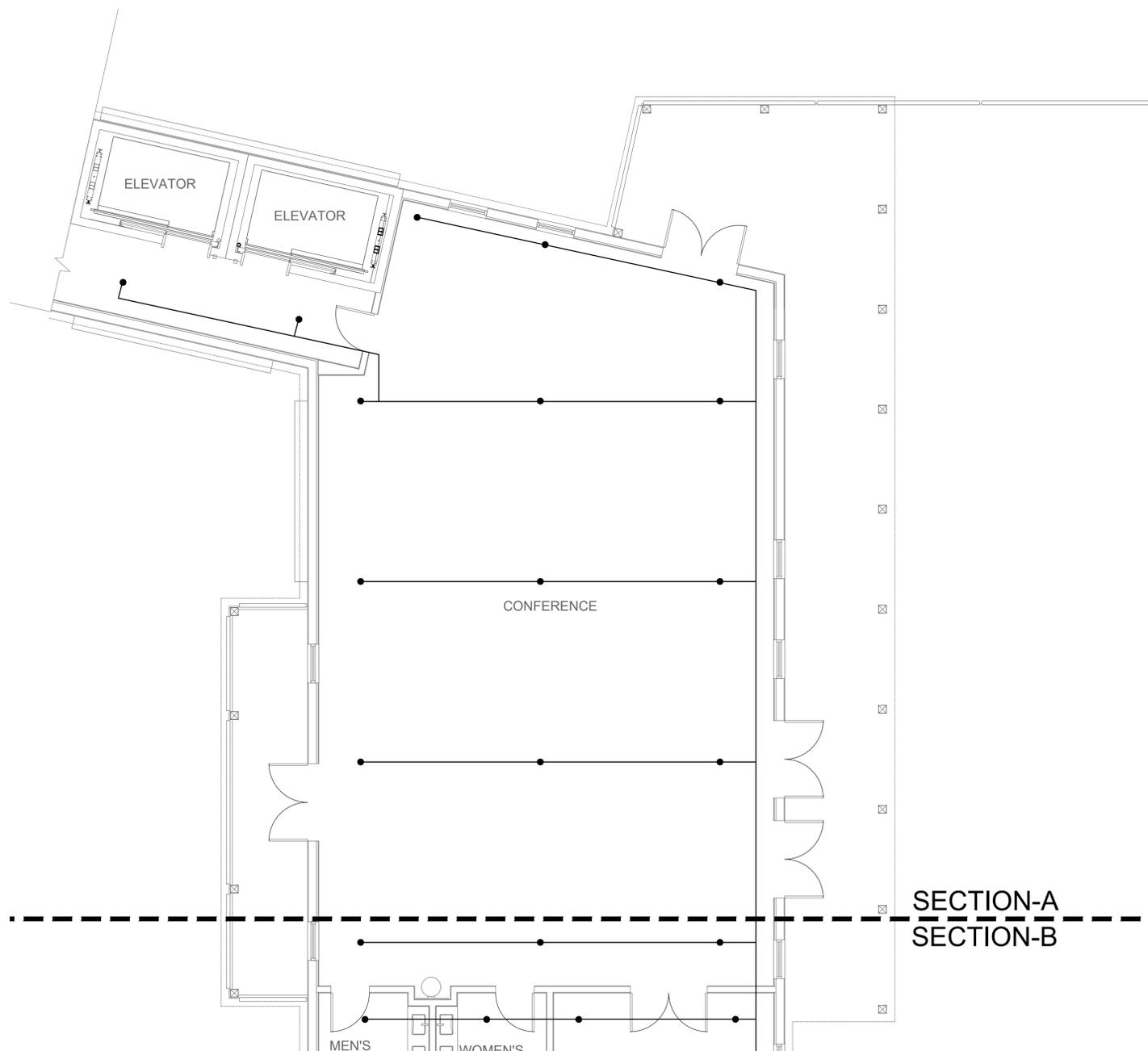
No.	Description	Date

PROJECT No: 121324
 DATE:

SHEET TITLE:
**FIRE SPRINKLER
 SECOND FLOOR PLAN -
 HOTEL LOBBY BUILDING
 (SECTION-A)**

SHEET No:

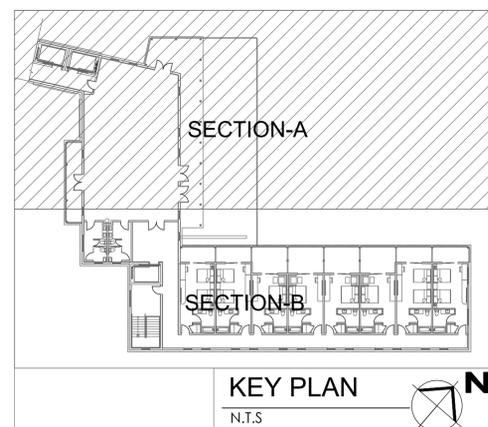
FP-3.4



SECTION-A
 SECTION-B

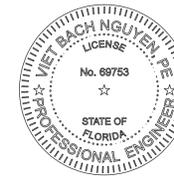
FIRE SPRINKLER SECOND FLOOR PLAN - HOTEL LOBBY BUILDING (SECTION-A)

scale: 3/16" = 1'-0"



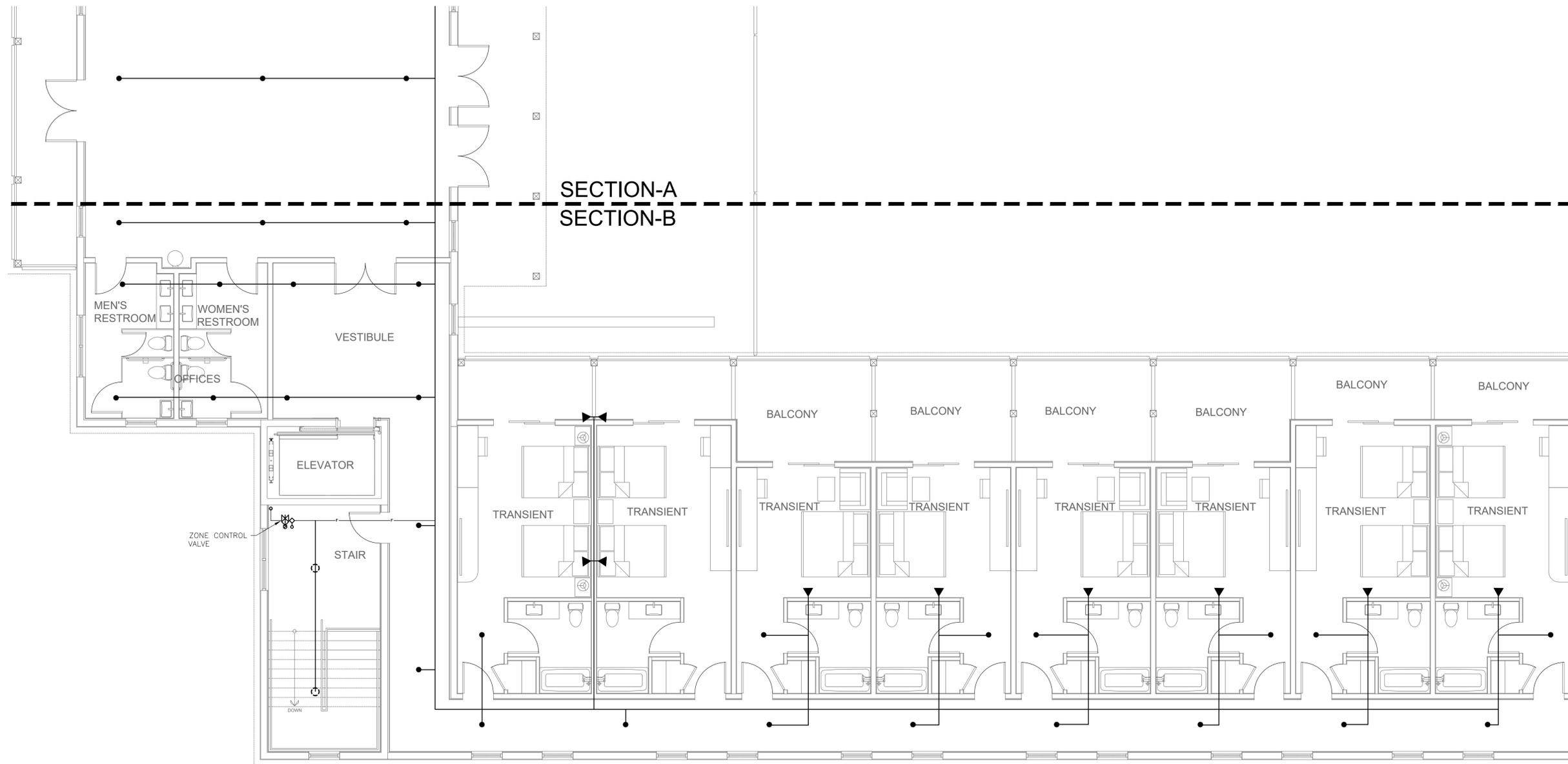
KEY PLAN
 N.T.S.





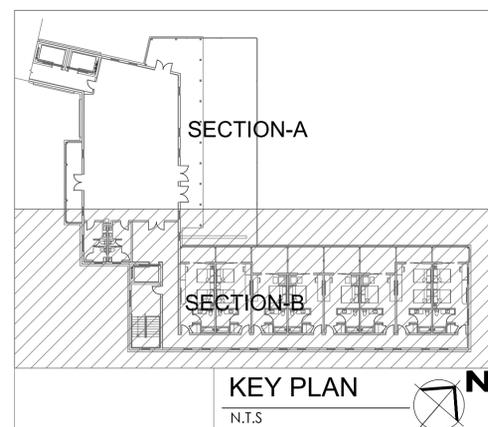
VIET BACH NGUYEN
 FLORIDA P.E. #69753

**IBIS BAY WATERFRONT
 RESORT**
 3101 NORTH ROOSEVELT BLVD.,
 KEYWEST, FL 33040



FIRE SPRINKLER SECOND FLOOR PLAN - HOTEL LOBBY BUILDING (SECTION-B)

scale: 3/16" = 1'-0"



KEY PLAN
 N.T.S



REVISIONS

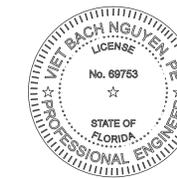
No.	Description	Date

PROJECT No: 121324
 DATE:

SHEET TITLE:
**FIRE SPRINKLER
 SECOND FLOOR PLAN -
 HOTEL LOBBY
 BUILDING (SECTION-B)**

SHEET No:

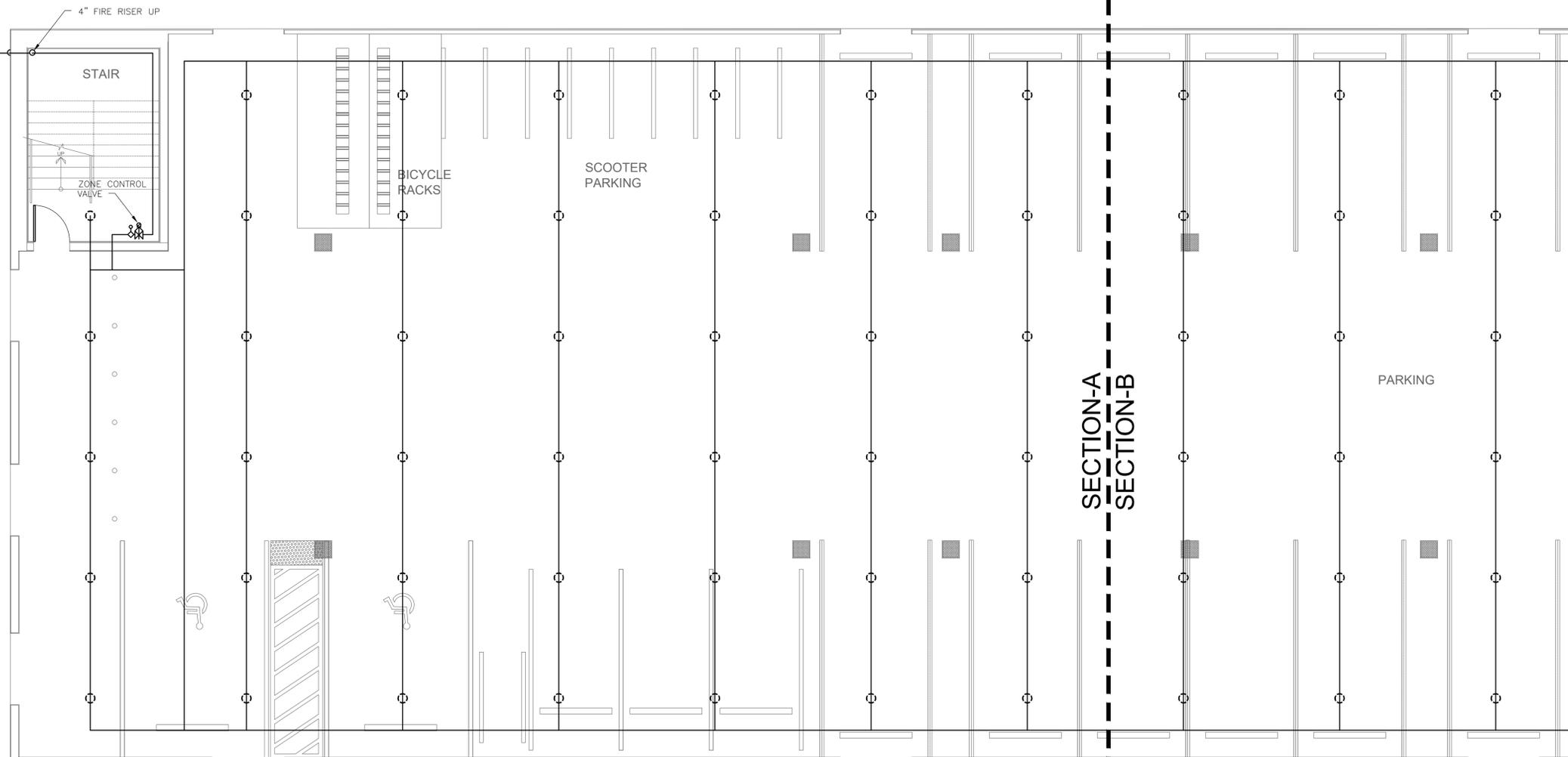
M-3.5



VIET BACH NGUYEN
 FLORIDA P.E. #69753

**IBIS BAY WATERFRONT
 RESORT**
 3101 NORTH ROOSEVELT BLVD.,
 KEYWEST, FL 33040

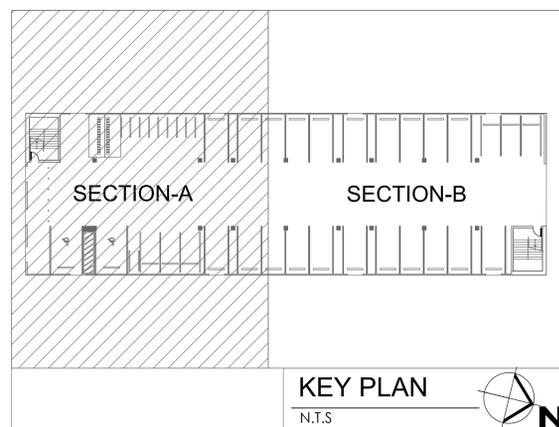
4" FIRE SERVICE
 SEE CIVIL DRAWINGS
 FOR CONTINUATION



SECTION-A
 SECTION-B

FIRE SPRINKLER GROUND FLOOR PLAN - HOTEL BUILDING 2 (SECTION-A)

scale: 3/16" = 1'-0"



KEY PLAN

N.T.S

REVISIONS

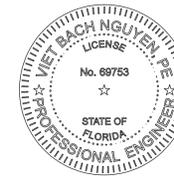
No.	Description	Date

PROJECT No: 121324
 DATE:

SHEET TITLE: **FIRE SPRINKLER
 GROUND FLOOR
 PLAN - HOTEL
 BUILDING 2
 (SECTION-A)**

SHEET No:

FP-4.0



VIET BACH NGUYEN
 FLORIDA P.E. #69753

**IBIS BAY WATERFRONT
 RESORT**
 3101 NORTH ROOSEVELT BLVD.,
 KEYWEST, FL 33040

REVISIONS

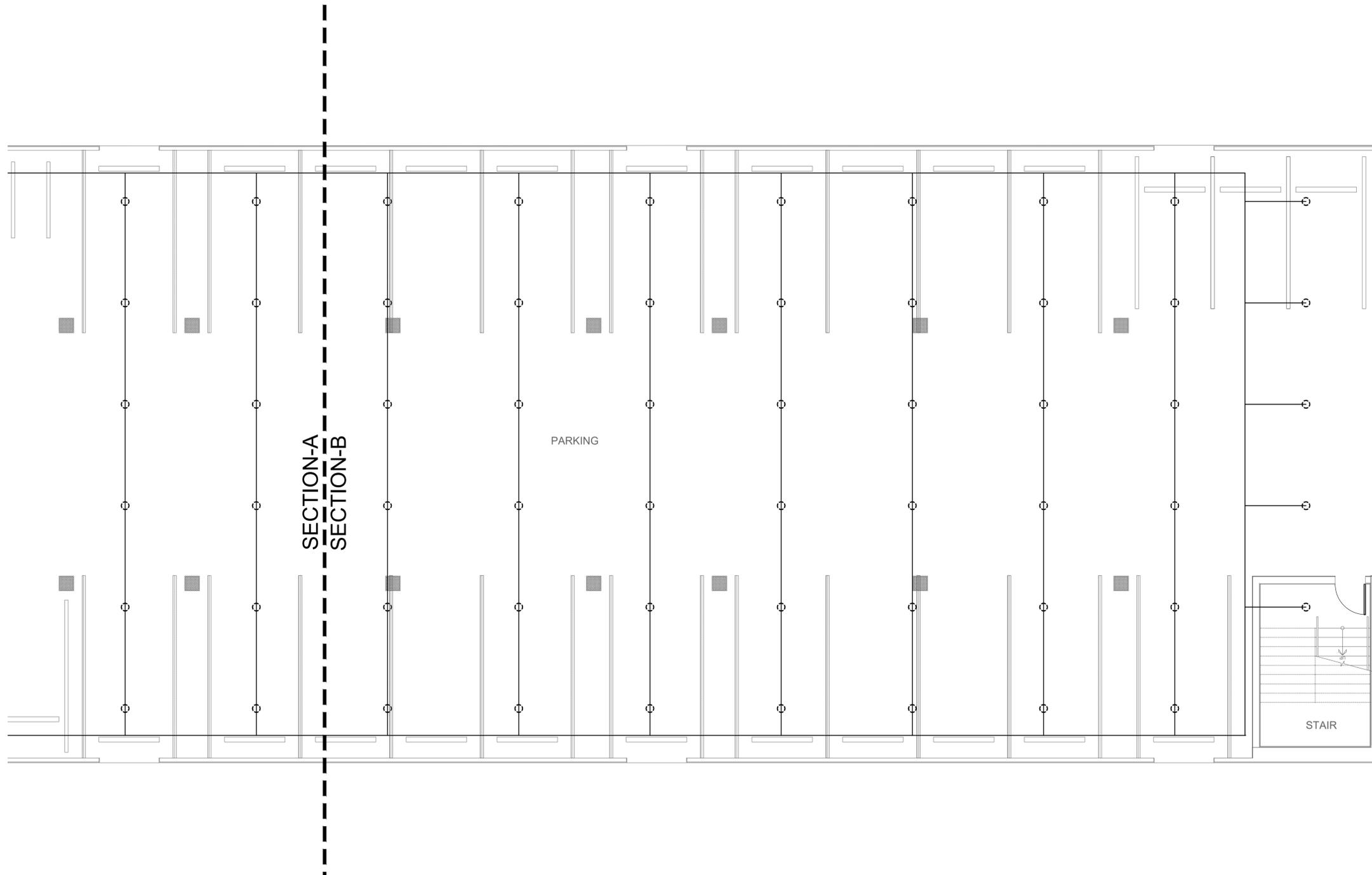
No.	Description	Date

PROJECT No: 121324
 DATE:

SHEET TITLE: **FIRE SPRINKLER
 SECOND FLOOR
 PLAN - HOTEL
 BUILDING 2
 (SECTION-B)**

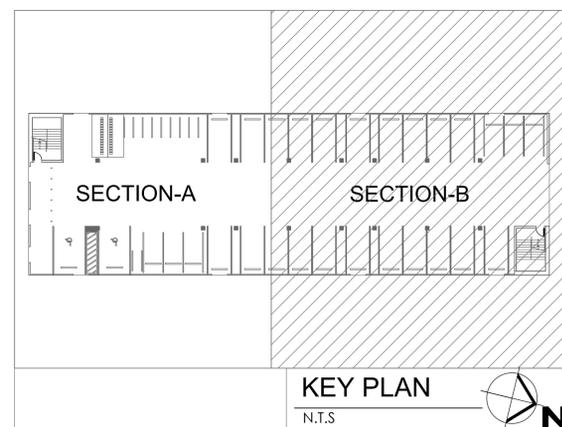
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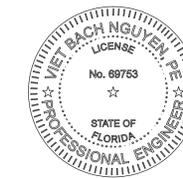
FP-4.1



FIRE SPRINKLER SECOND FLOOR PLAN - HOTEL BUILDING 2 (SECTION-B)

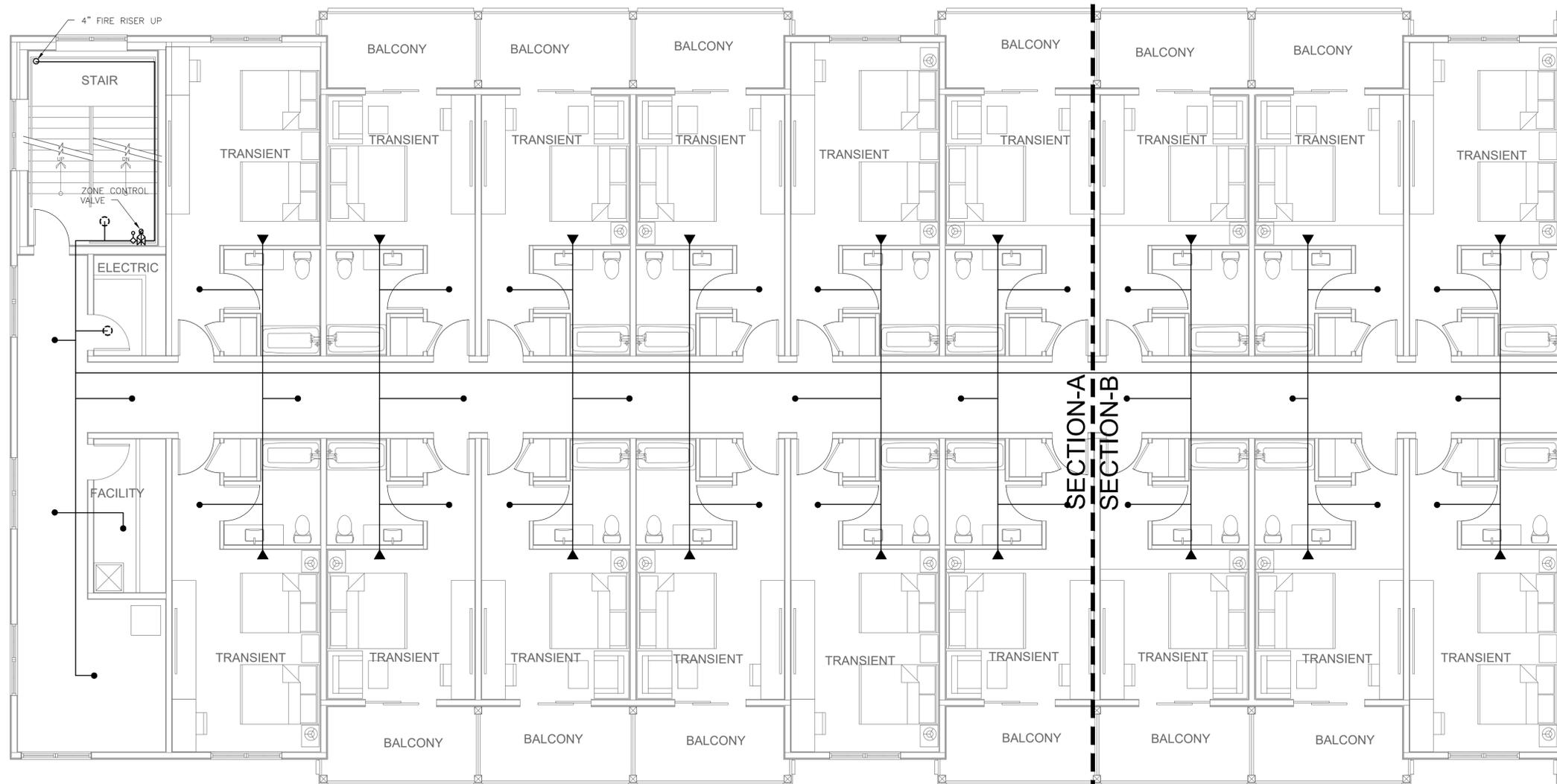
scale: 3/16" = 1'-0"





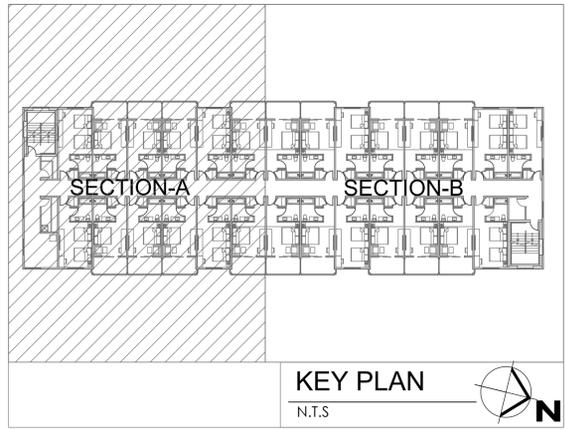
VIET BACH NGUYEN
 FLORIDA P.E. #69753

**IBIS BAY WATERFRONT
 RESORT**
 3101 NORTH ROOSEVELT BLVD.,
 KEYWEST, FL 33040



FIRE SPRINKLER FIRST FLOOR PLAN - HOTEL BUILDING 2 (SECTION-A)

scale: 3/16" = 1'-0"



KEY PLAN
 N.T.S.

REVISIONS

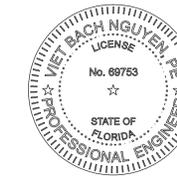
No.	Description	Date

PROJECT No: 121324
 DATE:

SHEET TITLE: **FIRE SPRINKLER
 FIRST FLOOR PLAN
 - HOTEL BUILDING 2
 (SECTION-A)**

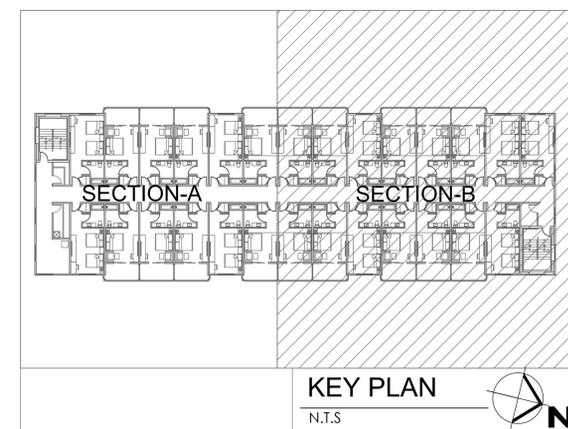
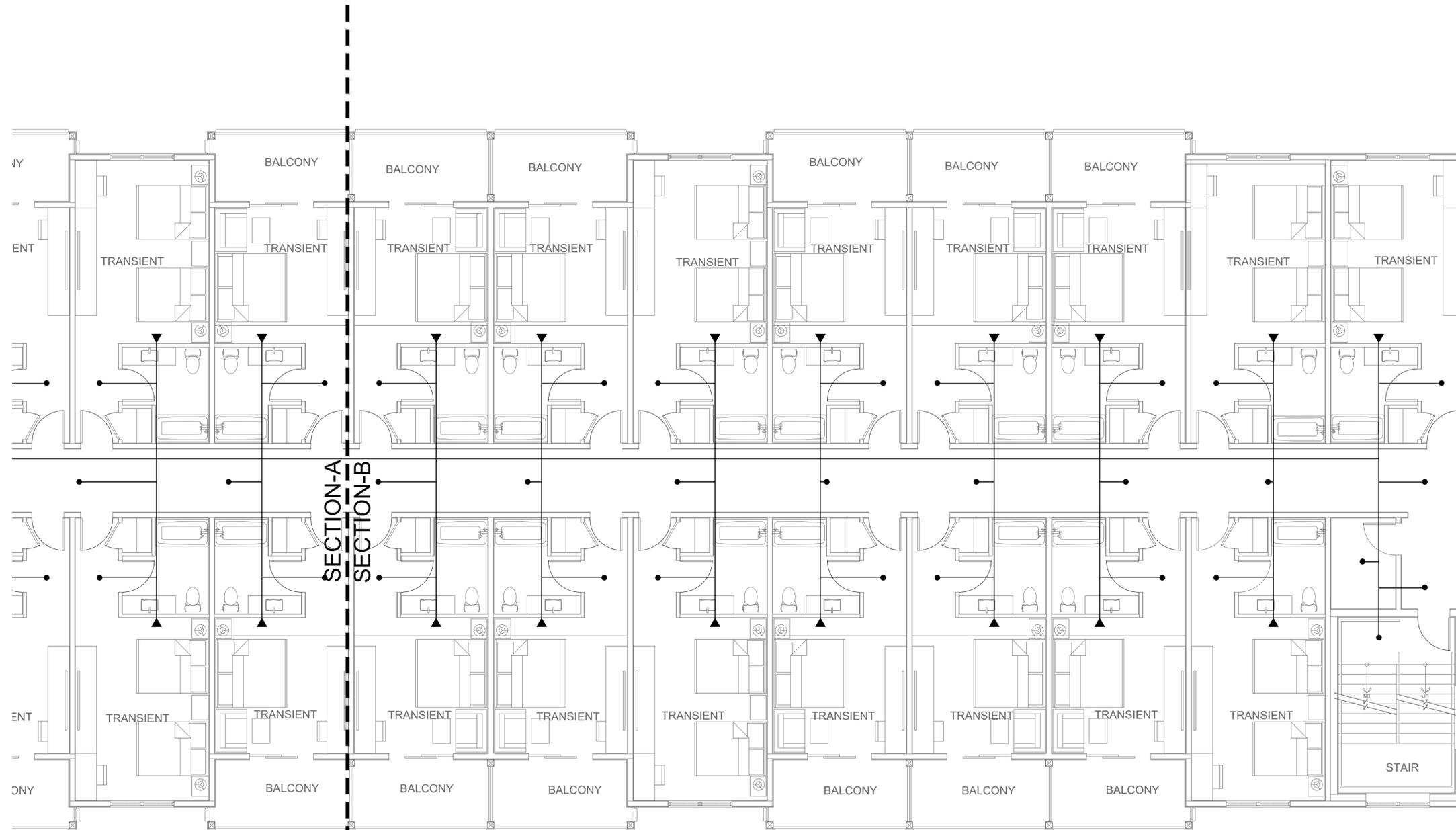
SHEET No:

FP-4.2



VIET BACH NGUYEN
 FLORIDA P.E. #69753

**IBIS BAY WATERFRONT
 RESORT**
 3101 NORTH ROOSEVELT BLVD.,
 KEYWEST, FL 33040



FIRE SPRINKLER FIRST FLOOR PLAN - HOTEL BUILDING 2 (SECTION-B)
 scale: 3/16" = 1'-0"

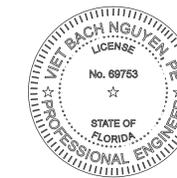


REVISIONS		
No.	Description	Date

PROJECT No: 121324
 DATE:

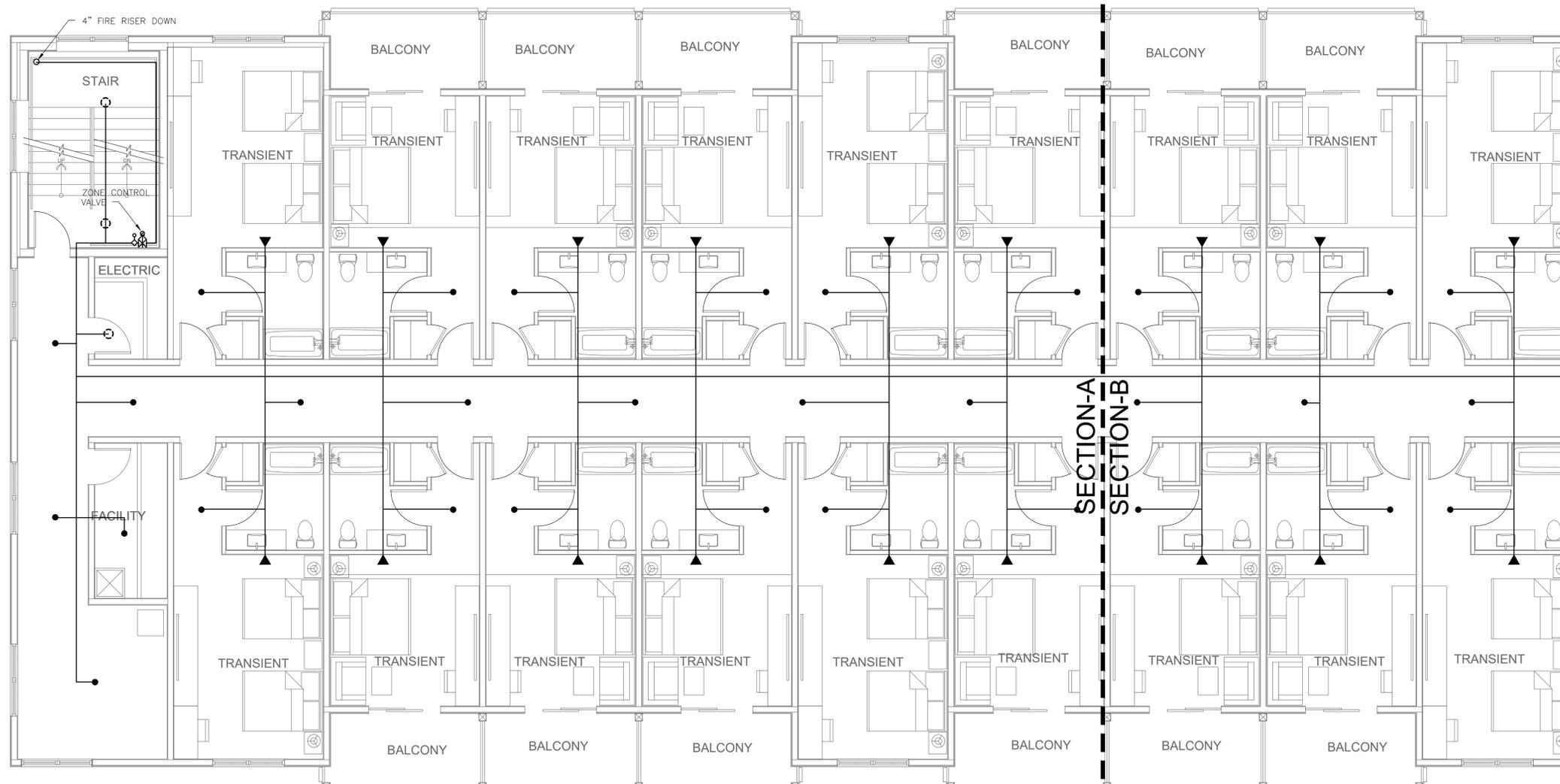
SHEET TITLE: **FIRE SPRINKLER
 FIRST FLOOR PLAN
 - HOTEL BUILDING 2
 (SECTION-B)**

SHEET No:
FP-4.3



VIET BACH NGUYEN
 FLORIDA P.E. #69753

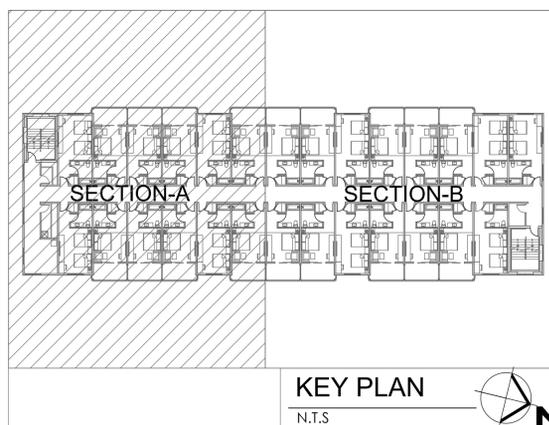
**IBIS BAY WATERFRONT
 RESORT**
 3101 NORTH ROOSEVELT BLVD.,
 KEYWEST, FL 33040



SECTION-A
 SECTION-B

FIRE SPRINKLER SECOND FLOOR PLAN - HOTEL BUILDING 2 (SECTION-A)

scale: 3/16" = 1'-0"



KEY PLAN

N.T.S



REVISIONS

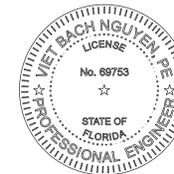
No.	Description	Date

PROJECT No: 121324
 DATE:

SHEET TITLE: **FIRE SPRINKLER
 SECOND FLOOR
 PLAN - HOTEL
 BUILDING 2
 (SECTION-A)**

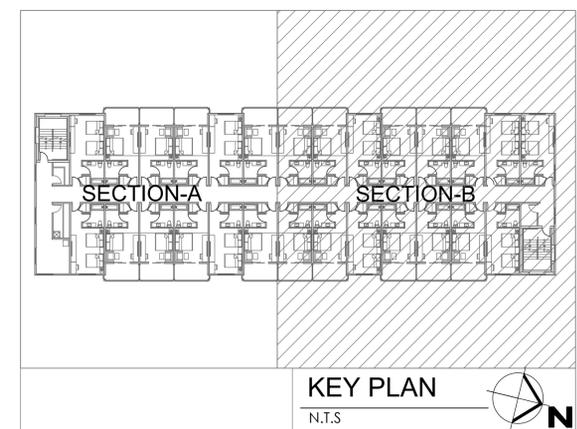
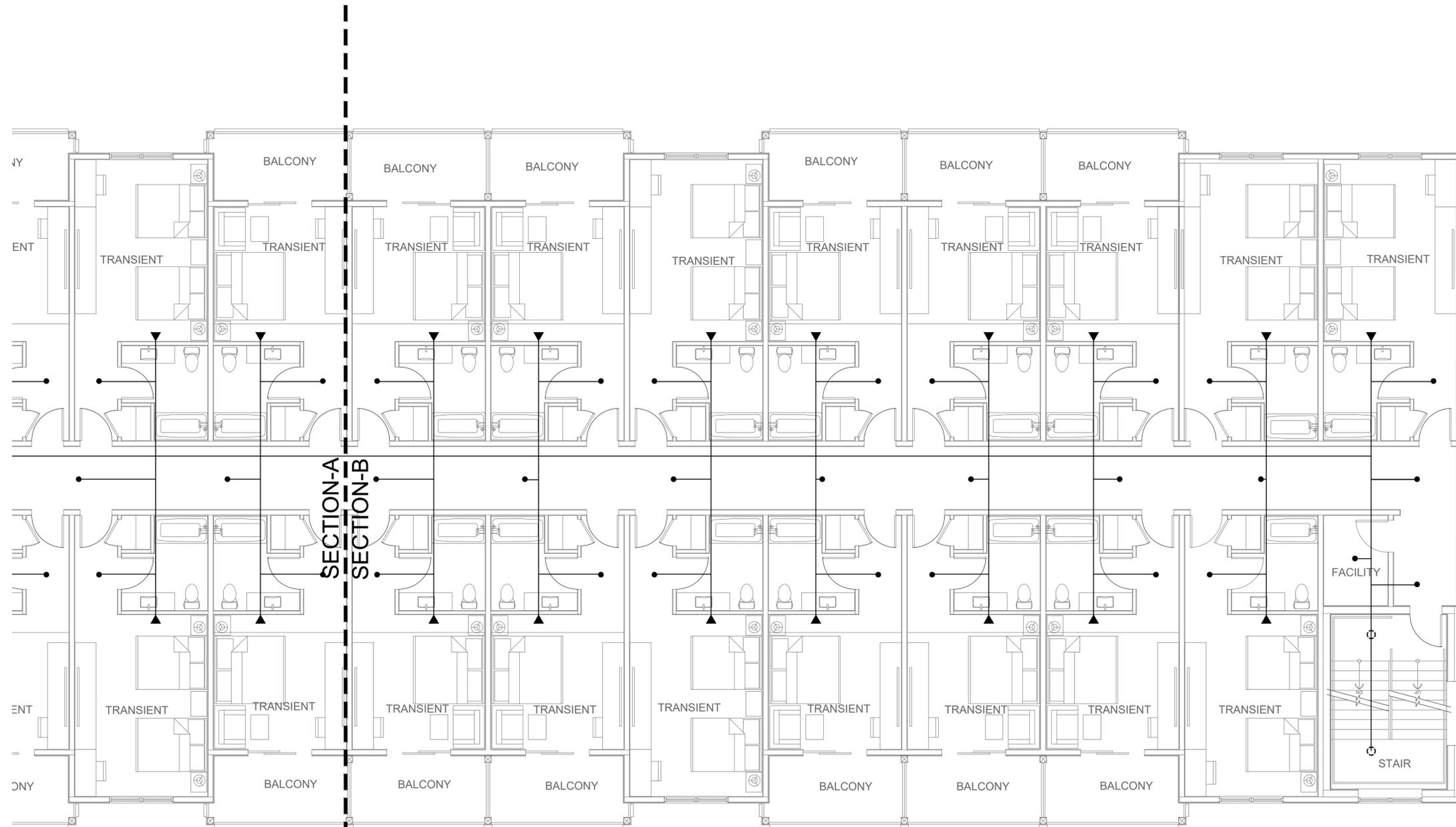
SHEET No:

FP-4.4



VIET BACH NGUYEN
 FLORIDA P.E. #69753

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FIRE SPRINKLER SECOND FLOOR PLAN - HOTEL BUILDING 2 (SECTION-B)
 scale: 3/16" = 1'-0"



REVISIONS		
No.	Description	Date

PROJECT No: 121324
 DATE:

SHEET TITLE: **FIRE SPRINKLER
 SECOND FLOOR
 PLAN - HOTEL
 BUILDING 2
 (SECTION-B)**

SHEET No:
FP-4.5