



**Historic Architectural Review Commission
Staff Report for Item 5**

To: Chairman Bryan Green and Historic Architectural Review Commission Members

From: Enid Torregrosa, MSHP
Historic Preservation Planner

Meeting Date: February 28, 2017

Applicant: Rob Delaune, Architect

Application Number: H16-03-0032

Address: #710 Galveston Lane

Description of Work:

Partial demolition of side wall. ~~Demolition of rear shed roof.~~

Site Facts:

The building under review, build circa 1910, is a contributing resource to the historic district. The building is rectangular in footprint and consists of a main gable roof with an attached shed roof on its rear. The rear portion of the house is not original to the building and is not historic. Building permits to restore the house that included changes to the rear were issued in 2002. Recently staff approved plans for a pool at the rear yard of the house.

Ordinance Cited on Review:

- Section 102-217 (2), demolition for non-contributing or non-historic structures of the Land Development Regulations.

Staff Analysis

The plan under review proposes the partial demolition of the north side wall that is non-historic. The current wall is part of an existing rear addition that is not depicted in the 1962 Sanborn map. A smaller rear addition was replaced in 2002 with the actual structure.

Consistency with Cited Ordinance

This review shall be based on section 102-218 (b), which requires the following criteria for demolitions: The historic architectural review commission shall not issue permits that would result in:

- (1) Removing buildings or structures that are important in defining the overall historic character of a district or neighborhood so that the character is diminished;

It is staff's opinion that the north side wall is not original and a non-historic addition that is not part of the historic fabric.

- (2) Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space;

The proposed partial demolition will be to a non-historic wall.

- (3) Removing an historic building or structure in a complex; or removing a building facade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood.

The side north wall that is part of a non-historic rear addition is not significant or important in defining the historic character of the site.

- (4) Removing buildings or structures that would otherwise qualify as contributing, as set forth in section 102-62(3).

It is staff's opinion that the rear attached addition will not qualify to be contributing to the historic district in a near future, therefore the demolition of its north side wall will have no effect on the historic fabric.

It is staff's opinion that although the Commission can consider the proposed partial demolition as it is for a non-historic structural element, this proposal will accommodate a proposed addition that staff opines that is not appropriate to the form and symmetry of the historic contributing house. If the request is approved this review will be the only public meeting required for this action.

Enid Torregrosa

From: Enid Torregrosa
Sent: Friday, October 14, 2016 1:28 PM
To: 'Barbara Ross'
Subject: RE: meeting

Hi Barbara! I have not received any phone call or visit from Rick. I am removing the item from the agenda for the November meeting. Since there is no much time between the deadlines and the November meeting, which will be on the 16th I will need the plans ASAP, if possible next week.

Hope you are well!

Enid

Under Florida law, e-mail addresses are public records. If you do not want your email address released in response to a public-records request, do not send electronic mail to this entity. Instead, contact this office by phone." Fl. Stat. 668.6076

From: Barbara Ross [mailto:jazzbr@aol.com]
Sent: Friday, October 14, 2016 1:20 PM
To: Enid Torregrosa <etorregrosa@cityofkeywest-fl.gov>
Subject: Re: meeting

Just wanted to let you know I called and texted Rick and asked him to call you .. If you haven't heard from him I guess I am pushed back another month .

Thank you helping me
Have a great weekend
Barbara Ross

Sent from my iPhone

On Oct 14, 2016, at 9:12 AM, Enid Torregrosa <etorregrosa@cityofkeywest-fl.gov> wrote:

Hi Barbara!

Hope you are doing well! I am working on the agenda and was wondering if you have the plans ready. Today is my second day at work after my trip to Boston and have not received any plans yet.

Can you please confirm if you will be submitting revised plans today?

Thanks! Take care,

Enid

Under Florida law, e-mail addresses are public records. If you do not want your email address released in response to a public-records request, do not send electronic mail to this entity. Instead, contact this office by phone." Fl. Stat. 668.6076

From: Barbara Ross [<mailto:jazzbr@aol.com>]
Sent: Thursday, September 29, 2016 1:41 PM
To: Enid Torregrosa <etorregrosa@cityofkeywest-fl.gov>
Subject: Re: meeting

Yes see you tomorrow

Sent from my iPhone

On Sep 29, 2016, at 12:15 PM, Enid Torregrosa <etorregrosa@cityofkeywest-fl.gov> wrote:

Yes it will work!

I will see you tomorrow!

Enid

Under Florida law, e-mail addresses are public records. If you do not want your email address released in response to a public-records request, do not send electronic mail to this entity. Instead, contact this office by phone." Fl. Stat. 668.6076

From: Barbara Ross [<mailto:jazzbr@aol.com>]
Sent: Thursday, September 29, 2016 12:14 PM
To: Enid Torregrosa <etorregrosa@cityofkeywest-fl.gov>
Subject: Re: meeting

Hi Enid

Yes tomorrow would be great how about 11 if that works for you .
If not let me know what time is best for you I will be glad to work around your schedule .

Thank you again
Barbara

Sent from my iPhone

On Sep 29, 2016, at 10:06 AM, Enid Torregrosa <etorregrosa@cityofkeywest-fl.gov> wrote:

Hi Barbara!

We can meet tomorrow any time during the morning.

Hope you are well!

Enid

Under Florida law, e-mail addresses are public records. If you do not want your email address released in response to a public-records request, do not send electronic mail to this entity. Instead, contact this office by phone." Fl. Stat. 668.6076

From: jazzbr@aol.com [<mailto:jazzbr@aol.com>]
Sent: Wednesday, September 28, 2016 11:28 AM
To: Enid Torregrosa <etorregrosa@cityofkeywest-fl.gov>
Subject: meeting

Good Morning Enid

I would like to set up a appointment wit you so me may discuss my new plans

for 710 Galveston Lane

If possible I would like to see you as soon as possible so I may get on the October HARC meeting.

Please let me know

Looking forward to meeting with you

Thank you

Barbara Ross

SITE DATA

ITEM	EXISTING	REQ. PER LDR.	PROPOSED	REMARK
DISTRICT	HH04	HH04	HH04	HISTORIC HIGH DENSITY RESIDENTIAL
SITE AREA	3,017.50 FT ²	4,000.00 FT ²	3,017.50 FT ²	EXISTING
BUILDING COV.	557 (23%)	1,509 (38% MAX)	557.00 FT DIST. 28.4%	IN COMPLIANCE
APPROVALS	557 (23%)	1,806 (30% MAX)	1,337.50 DIST. 44.5%	IN COMPLIANCE
MAXIMUM DENSITY	1 DU / ACRE	22 DU / ACRE	1 DU / ACRE	

SETBACKS				
SIDE SETBACK	5'-0"	5'		IN COMPLIANCE
SIDE SETBACK	13'-7"	5' OR 0% WIDTH		IN COMPLIANCE
REAR SETBACK	23'-10"	20'	5'-4"	CONFORMING TO ACCURACY
FRONT SETBACK	1'-0"	10'	1'-0"	EXISTING
BUILDING HEIGHT	EXISTING	30'	EXISTING	CONFORMING

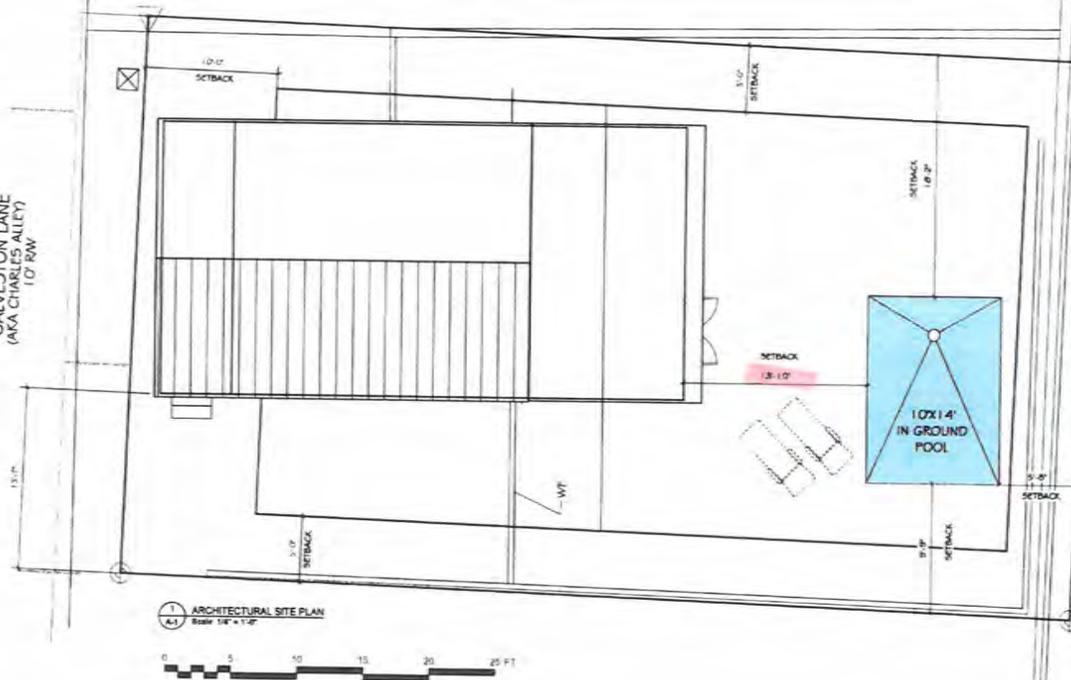
DENSITY: MIN. 1 SPACE PER DWELLING UNIT

FLOOD INSURANCE MAP ZONE X



LOCATION MAP

GALVESTON LANE
(AKA CHARLES ALLEY)
10' RW



ARCHITECTURAL SITE PLAN
Scale: 1/8" = 1'-0"

DRAWING SCHEDULE:

A-1 PROJECT INFO #ARCHITECTURAL SITE PLANS

SCOPE OF WORK:

CONSTRUCTION OF 10X14' INGROUND POOL AT THE REAR OF PROPERTY

HARC APPROVAL #-

DESIGN NOTES:

THE NEW RENOVATED STRUCTURE IS DESIGNED TO MEET THE FOLLOWING:
FBC 2014 - RESIDENTIAL (FBC-R)
A.S.C.E. 24-05 REGULATIONS
*PER FBC 07/ASCE 07-10 EXPOSURE 'C'
LIVE LOAD: 40 PSF
WIND LOAD: 160 M.P.H.

SEAL - ARCHITECT

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE ARCHITECT/ENGINEER AND MUST BE RETURNED ON REQUEST. PROJECT ONLY AND USE OR REPRODUCTION OF A PART OR WHOLE IS PROHIBITED WITHOUT THE ARCHITECT'S/ENGINEER'S WRITTEN PERMISSION. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY THE ARCHITECT/ENGINEER.

ROSS RESIDENCE

710 GALVESTON LANE
KEY WEST, FL 33040

REVISIONS	DATE



PETER M. PIKE
ARCHITECT
10115 HIGHWAY 1
KEY WEST, FLA. 33040
305-398-1182

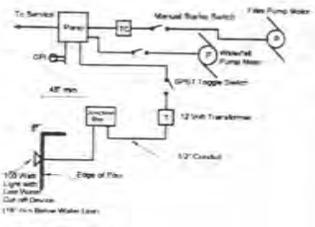
PROJECT
BARBARA ROSS
710 GALVESTON LANE
KEY WEST, FL 33040

PROJECT

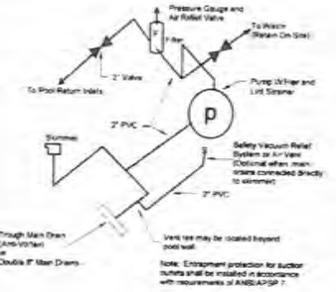
DRAWING TITLE
SITE PLAN
PROJ. INFO

PROJECT NUMBER:
1
DRAWN:
CHECKED:
DATE: 1.3.18

SHEET #
A-1

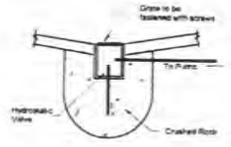


ELECTRICAL DIAGRAM

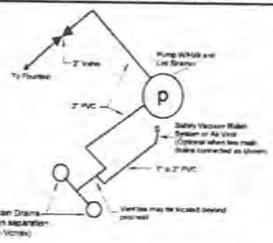


PLUMBING SCHEMATIC FOR FILTER

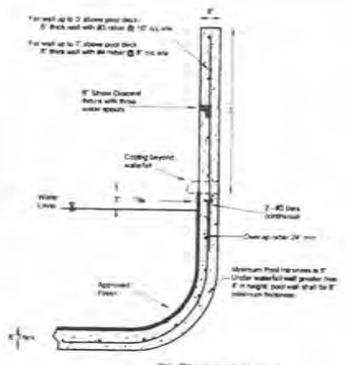
POOL VOLUME IS APPROXIMATELY 1,000 GALLONS. VENT SIZE SHALL BE DETERMINED BY THE DESIGNER IN ACCORDANCE WITH THE APPLICABLE CODES.



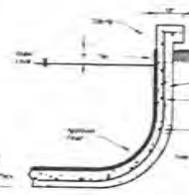
HYDROSTATIC VALVE DETAIL



PLUMBING SCHEMATIC FOR FOUNTAIN



POOL WALL & WATERFALL SECTION



TYPICAL WALL SECTION

GENERAL NOTES

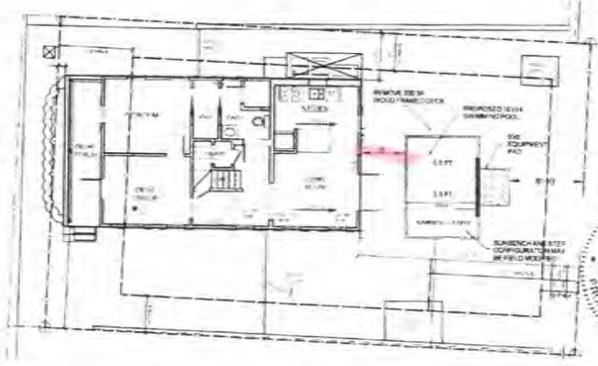
- Design, Construction, and Workmanship shall be in conformance with the 2014 Florida Building Code (2014) Residential, the latest edition of the National Code for One and Two Family Dwellings, and the ANSINSP1 "Standard for Above Ground Residential Swimming Pools".
- This pool design is based on soil conditions consisting of well compacted structural fill or coral rock. If other soil conditions are encountered, such as mud, marl, organics, etc., the Contractor shall stop work and notify the Owner or Engineer.
- The Pool Contractor shall always take all precautions necessary to protect existing structures from failure by sheeting and shoring or other acceptable method. The Design Engineer accepts no responsibility for the safety of existing structures.
- The Pool Contractor shall establish locations of all the utilities on site. Minimum clearances between existing and proposed utilities shall be per The Florida Building Code and any other local requirements.
- The Engineer assumes no responsibility for pool construction within easements or required setback areas. The Site Plan for the pool location may not be based on an updated, legal survey of the property. The Pool Contractor shall verify with a Florida Registered Land Surveyor all dimensions in the field and established lot lines, if necessary.
- The Contractor shall backfill the pool shell with caution. The plumbing shall be secured and protected during backfilling and shall not be disturbed. Backfill shall be clean sands or structural fill, free of organic material, mud, or marl, and shall be placed in lifts not exceeding 12" and shall be compacted to 90% of the materials maximum dry density.
- Warning: To empty the pool after construction for repairs, or any other reason, the hydrostatic uplift pressure from beneath the pool's must be eliminated to prevent the pool from floating upward. The owner should consult a pool construction or repair contractor experienced in eliminating hydrostatic uplift pressures.
- The Engineer shall not be responsible for the quality or composition of materials, shop drawings, fabrication, construction inspection, supervision, review, special inspection, or the quality or correctness of construction. The Engineer shall not be responsible for site and construction safety or the safety of the workers. Site and construction safety is the responsibility of the contractor.
- The thermostat for the water shall be set such that the maximum water temperature cannot exceed 102 degrees Fahrenheit.
- Swimming Pool Barrier: Residential swimming pools shall comply with section R4101.17.1 through R4101.17.3 of the Florida Building Code.

SCOPE OF WORK

The scope of work involves constructing a new pool and connecting an existing wood-framed deck to the pool with additional new wood-framed decking.

SITE DATA TABLE

ZONING	UNSATURATED	PERCENT	REQUIRED	ALLOWABLE
LOT AREA	10,000 SQ. FT.	100%	10,000 SQ. FT.	100%
PERVIOUS AREA	3,144 SQ. FT.	31.4%	1,100 SQ. FT.	35%
IMPERVIOUS AREA	6,856 SQ. FT.	68.6%	6,900 SQ. FT.	69%
PERVIOUS AREA, EXISTING	3,144 SQ. FT.	31.4%	3,144 SQ. FT.	100%
IMPERVIOUS AREA, EXISTING	3,856 SQ. FT.	38.6%	3,856 SQ. FT.	100%
PERVIOUS AREA, PROPOSED	3,144 SQ. FT.	31.4%	3,144 SQ. FT.	100%
IMPERVIOUS AREA, PROPOSED	3,856 SQ. FT.	38.6%	3,856 SQ. FT.	100%



SITE PLAN

Reynolds Engineering Services, Inc.

Reynolds Engineering Services, Inc.
 P.O. Box 26597
 22972 Overseas Highway
 Cutler Bay, FL 33042
 Jim@ReynoldsEngineeringServices.com
 305-394-5987

RESIDENTIAL SWIMMING POOL

for
 Ross Residence
 710 Galveston Lane, Key West, FL



Title

Date
 7/20/2016

Page
 1 of 1

Enid Torregrosa

From: jazzbr@aol.com
Sent: Wednesday, July 27, 2016 1:31 PM
To: Enid Torregrosa
Subject: Re: REVISED 710 Galveston Lane

Enid
Ok I will let pool company know.
What does your schedule look like for your visit?
Barbara

-----Original Message-----

From: Enid Torregrosa <etorregrosa@cityofkeywest-fl.gov>
To: Barbara Ross <jazzbr@aol.com>
Sent: Wed, Jul 27, 2016 12:39 pm
Subject: RE: REVISED 710 Galveston Lane

Plans need to be consistent, we cannot have both plans on a same application. Yes we can meet.

Enid

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From: Barbara Ross [<mailto:jazzbr@aol.com>]
Sent: Wednesday, July 27, 2016 11:13 AM
To: Enid Torregrosa <etorregrosa@cityofkeywest-fl.gov>
Subject: Re: REVISED 710 Galveston Lane

Thank you Enid

The difference is I was told it would not be probably with HARC with Peters add on we were doing so Fl keys pool did drawing from that then after HARC denied and Peter resubmitted after we met with you the engineer did not know .. It's the same size and everything just back further does he have to refigure even if I'm still in the set back lines ..

I would still like to set up a visual review with you at my house so you can see exactly what I'm talking about ..either with you or Kelly or both .

I would like to set it up so I can resubmit plans for August HARC agenda .

Thank you for your quick response

Barbara

Sent from my iPhone

On Jul 27, 2016, at 10:38 AM, Enid Torregrosa <etorregrosa@cityofkeywest-fl.gov> wrote:

Hi Barbara!

The contractor needs to submit the swimming pool plans with an application to the building department in order to us (HARC) review them for approval. I checked the system before writing this email and there is no application submitted to that effect.

I want you to be aware that the site plan included on the engineer's plans is not the same site plan that you send me from your architect Peter Pike. Please find both documents, I highlighted the setbacks of the swimming pool in relation to the rear of the house.

Hope this helps!

Enid

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From: jazzbr@aol.com [<mailto:jazzbr@aol.com>]
Sent: Wednesday, July 27, 2016 9:15 AM
To: Enid Torregrosa <etorregrosa@cityofkeywest-fl.gov>
Subject: Fwd: REVISED 710 Galveston Lane

Good Morning Enid
Thank you again for taking time to talk with me after your meeting last night.
Please find attached the email I received with the engineer plans if there is anything else you need let me know Please.
Also if you could just let me know you got this.
Thank you again
Barbara Ross

-----Original Message-----

From: Fla. Key pool Inc <flakeyspool@bellsouth.net>
To: Barbara Ross <jazzbr@aol.com>
Sent: Thu, Jul 21, 2016 2:35 pm
Subject: Fwd: REVISED 710 Galveston Lane

Here your pool engineer plans

Tina

Sent from my iPhone

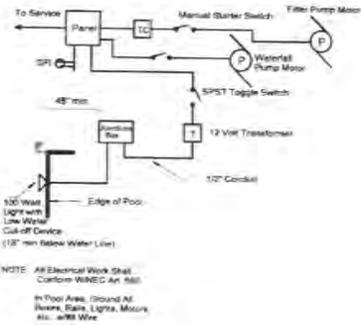
Begin forwarded message:

From: "Jim Reynolds" <Jim@reynoldsenineeringservices.com>
Date: July 21, 2016 at 2:20:21 PM EDT
To: "Tina Garcia" <flakeyspool@bellsouth.net>
Subject: REVISED 710 Galveston Lane

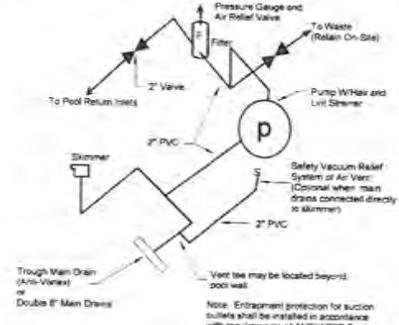
This is revised draft. I forgot to change the title block for Ross and her address.

Thanks,
Jim

<SKMBT_C364e16072709370.pdf>

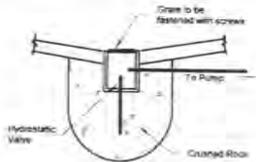


ELECTRICAL DIAGRAM

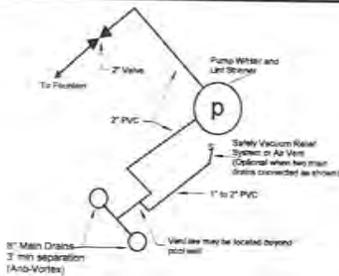


PLUMBING SCHEMATIC FOR FILTER

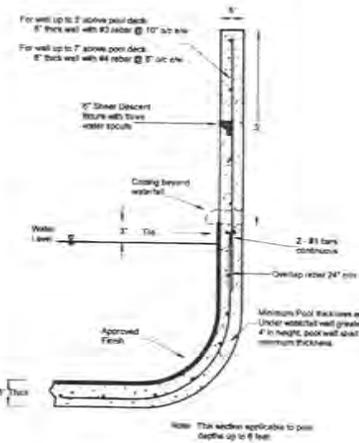
POOL VOLUME IS APPROXIMATELY 5,300 GALLONS. TURNOVER TIME SHALL BE BETWEEN 8 AND 12 HOURS (BASED ON 7 GPM FLOW RATE).



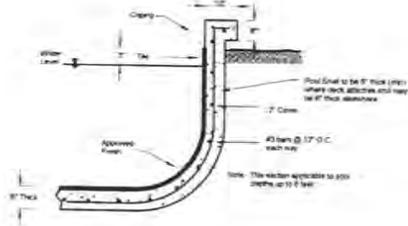
HYDROSTATIC VALVE DETAIL



PLUMBING SCHEMATIC FOR FOUNTAIN



POOL WALL & WATERFALL SECTION



TYPICAL WALL SECTION

GENERAL NOTES

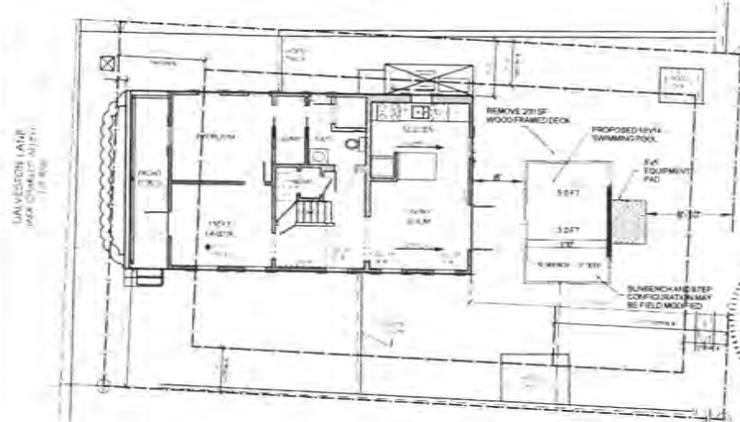
- Design, Construction, and Workmanship shall be in conformance with the 5th Edition of The Florida Building Code (2014), Residential, the latest edition of the National Code for One and Two Family Dwellings, and the ANSI/APSP "Standard for Above Ground/In Ground Residential Swimming Pools".
- This pool design is based on soil conditions consisting of well compacted structural fill or coral rock. If other soil conditions are encountered, such as muck, marl, organics, etc., the Contractor shall stop work and notify the Owner or Engineer.
- The Pool Contractor shall always take all precautions necessary to protect existing structures from failure by sheeting and shoring or other acceptable method. The Design Engineer accepts no responsibility for the safety of existing structures.
- The Pool Contractor shall establish locations of all the utilities on site. Minimum clearances between existing and proposed utilities shall be per The Florida Building Code and any other local requirements.
- The Engineer assumes no responsibility for pool construction within easements or required setback areas. The Site Plan for the pool location may not be based on an updated, legal survey of the property. The Pool Contractor shall verify with a Florida Registered Land Surveyor all dimensions in the field and established lot lines, if necessary.
- The Contractor shall backfill the pool shell with caution. The plumbing shall be secured and protected during backfilling and shall not be disturbed. Backfill shall be clean sands or structural fill, free of organic material, muck, or marl, and shall be placed in lifts not exceeding 12" and shall be compacted to 90% of the materials maximum dry density.
- Warning: To empty the pool after construction for repairs, or any other reason, the hydrostatic uplift pressure from beneath the pool must be eliminated to prevent the pool from floating upward. The Owner should consult a pool construction or repair contractor experienced in eliminating hydrostatic uplift pressures.
- The Engineer shall not be responsible for the quality or composition, or materials, shop drawings, fabrication, construction inspection, supervision, review, special inspection, or the quality or correctness of construction. The Engineer shall not be responsible for site and construction safety or the safety of the workers. Site and construction safety is the responsibility of the contractor.
- The thermostat for the water shall be set such that the maximum water temperature cannot exceed 102 degrees Fahrenheit.
- Swimming Pool Barrier: Residential swimming pools shall comply with section R4101.17.1 through R4101.17.3 of the Florida Building Code.

SCOPE OF WORK

The scope of work involves constructing a new pool and connecting an existing wood-framed deck to the pool with additional new wood-framed decking.

SITE DATA TABLE

ZONING	Historic High Density Residential (HQR)		
LOT SIZE	3,010 SF		
FLOOD ZONE	A		
	EXISTING	PROPOSED	REQUIRED ALLOWABLE
BUILDING COVERAGE	870 SF 28.9%	870 SF 28.9%	50%
IMPERVIOUS AREA	1,144 SF 38.0%	1,099 SF 36.5%	50%
OPEN SPACE	395 SF 13.1%	1,541 SF 50.6%	20%
BUILDING COVERAGE - EXISTING			
Existing House	870 SF		
Existing Shed	0 SF		
Total	870 SF		
BUILDING COVERAGE - PROPOSED			
House Addition	0 SF		
New Shed	0 SF		
Total	0 SF		
IMPERVIOUS AREA - EXISTING			
Building Coverage	870 SF		
Large Wood Deck	210 SF		
Small Wood Deck	54 SF		
Road Pavement	0 SF		
Total	1,144 SF		
IMPERVIOUS AREA - PROPOSED			
New Building Coverage	0 SF		
Swimming Pool	85 SF		
Remove Large Wood Deck	312 SF		
Total	85 SF		



SITE PLAN

Reynolds Engineering Services, Inc.
 Fl. C.A. No. 26597
 22872 Overseas Highway
 Cudjoe Key, Fl. 33042
 Jim@ReynoldsEngineeringServices.com
 305-394-5987

RESIDENTIAL SWIMMING POOL
 for
 Ross Residence
 710 Galveston Lane, Key West, Fl.



Date: 7/20/2016
 Page: 1 of 1

Enid Torregrosa

From: jazzbr@aol.com
Sent: Tuesday, July 12, 2016 2:55 PM
To: Enid Torregrosa
Subject: Fwd: Swimming pool - 710 Galveston Ln
Attachments: 710 Galveston Lane HARC Pool only.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

-----Original Message-----

From: Peter pike <pparchkw@aol.com>
To: Barbara Ross <jazzbr@aol.com>
Sent: Wed, Jul 6, 2016 8:46 am
Subject: Fwd: Swimming pool - 710 Galveston Ln

Peter Pike Architect
471 US Highway 1 suite 101
Key West, FL, 33040
305-296-1692 off.
305-797-4230

Begin forwarded message:

From: Peter Pike <pparchkw@aol.com>
Date: July 5, 2016 at 3:22:19 PM EDT
To: etorregrosa@keywestcity.com
Cc: jazzbr@gmail.com
Subject: **Swiming pool - 710 Galveston Ln**

Hi Enid - Here is a PDF of the site plan showing the 10'x14' swimming pool for Barbra Ross. Do you want a 24x36 blueprint of this. The pool company will do the permit drawings.
Thanks
Peter

Peter Pike
Pike Architects Inc.
471 US Highway 1 - Suite 101
Key West, Fla., 33040
305-296-1692
305-296-4106 fax

SITE DATA

ITEM	EXISTING	REQ. PER LDR	PROPOSED	REMARK
DISTRICT	HRDR	HRDR	HRDR	HISTORIC HIGH DENSITY RESIDENTIAL
SITE AREA	3,017 SQ. FT.	4,000 SQ. FT.	3,017 SQ. FT.	EXISTING
BUILDING COV.	667 (22%)	1,503 (50% MAX)	667 SQ FT (22%)	IN COMPLIANCE
IMPERVIOUS	667 (22%)	1,006 (50% MAX)	1337 SQ EXIST. (44.3%)	IN COMPLIANCE
MAXIMUM DENSITY	1 DU / ACRE	22 DU / ACRE	1 DU / ACRE	

SETBACKS				
SIDE SETBACK	0'-0"	5'		IN COMPLIANCE
SIDE SETBACK	13'-7"	5' OR 10% WIDTH		IN COMPLIANCE
REAR SETBACK	29'-10"	20'	5.4'	CONFORMING TO REGULATORY
FRONT SETBACK	1'-0"	1'-0"	1'-0"	EXISTING
BUILDING HEIGHT	EXISTING	30'	EXISTING	CONFORMING

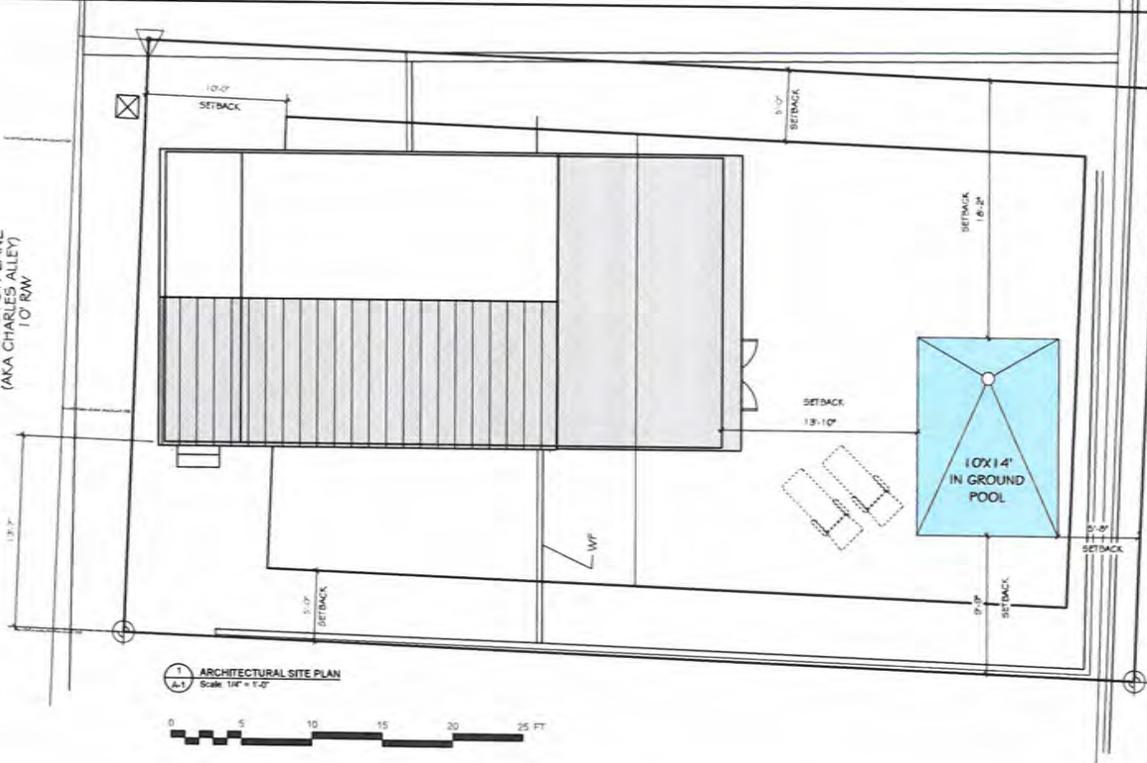
PARKING: MIN. 1 SPACE PER DWELLING UNIT

FLOOD INSURANCE MAP ZONE X



LOCATION MAP

GALVESTON LANE
(AKA CHARLES ALLEY)
10' RAW



1 ARCHITECTURAL SITE PLAN
Scale: 1/4" = 1'-0"

DRAWING SCHEDULE:

A-1 PROJECT INFO #ARCHITECTURAL SITE PLANS

SCOPE OF WORK:

CONSTRUCTION OF 10X14' INGROUND POOL AT THE REAR OF PROPERTY

HARC APPROVAL #:

DESIGN NOTES:

THE NEW RENOVATED STRUCTURE IS DESIGNED TO MEET THE FOLLOWING:
FBC 2014 - RESIDENTIAL (FBC-R)
A.S.C.E. 24-05 REGULATIONS
*PER FBC 07A/SC2 07-10
EXPOSURE 'C'
LIVE LOAD 40 PSF
WIND LOAD 150 M.P.H.

SEAL - ARCHITECT

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE ARCHITECT/ENGINEER AND MUST BE RETURNED ON REQUEST. DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE FOR USE ON THIS PROJECT ONLY AND USE OR REPRODUCTION OF A PART OR WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S/ENGINEER'S WRITTEN PERMISSION. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY THE ARCHITECT/ENGINEER.

ROSS RESIDENCE
710 GALVESTON LANE
KEY WEST , FL 33040

REVISIONS	DATE

PETER M. PIKE ARCHITECTS
471 US HIGHWAY 1
KEY WEST, FLA. 33040
305-296-1892

PROJECT:
BARBARA ROSS
710 GALVESTON LANE
KEY WEST , FL 33040

DRAWING TITLE:
SITE PLAN PROJ INFO
PROJECT NUMBER:
DATE:

SHEET #
A-1

COMBINATION APPLICATION: FLOODPLAIN, CONSTRUCTION AND HARC

\$50.00 APPLICATION FEE NON-REFUNDABLE

16-03-00032



City of Key West

1300 WHITE STREET
KEY WEST, FLORIDA 33040

Phone: 305.809.3956

BLDG@CITYOFKEYWEST-FL.GOV

HARC PERMIT NUMBER REVISION TO H16-0032		BUILDING PERMIT NUMBER	INITIAL & DATE
FLOODPLAIN PERMIT		ZONING	REVISION #
FLOOD ZONE	PANEL #	ELEV. L. FL.	SUBSTANTIAL IMPROVEMENT ___ YES ___ NO ___ %

ADDRESS OF PROPOSED PROJECT:

710 GAWESTON LANE

OF UNITS

1

RE # OR ALTERNATE KEY:

ALT. KEY # 1019658

NAME ON DEED:

BARBARA ROSS

PHONE NUMBER

813 503 4141

OWNER'S MAILING ADDRESS:

710 GAWESTON LANE

EMAIL

JAZZER@AOL.COM

KEY WEST, FL 33040

CONTRACTOR COMPANY NAME:

TBD

PHONE NUMBER

CONTRACTOR'S CONTACT PERSON:

EMAIL

ARCHITECT / ENGINEER'S NAME:

ROB DELAUNE, ARCHITECT

PHONE NUMBER

305 293 0364

305 304 4842

ARCHITECT / ENGINEER'S ADDRESS:

619 EATON ST. #1

EMAIL

ROBDELAUNE@BELLSOUTH.NET

KEY WEST, FL 33040

HARC: PROJECT LOCATED IN HISTORIC DISTRICT OR IS CONTRIBUTING: YES NO (SEE PART C FOR HARC APPLICATION.)

CONTRACT PRICE FOR PROJECT OR ESTIMATED TOTAL FOR MAT'L., LABOR & PROFIT:

\$

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083.

DETAILED Project Description...(The applicant further hereby acknowledges that the scope of work as described shall be the scope of work that is considered by the City. Should further action be taken by the City for exceeding the scope of the description of work as described herein versus the scope of work shown on the plans or other documents submitted with the application, the aforementioned description of work shall be controlling.) CONSTRUCT NEW SHED - (ROOFED

ADDITION; CONSTRUCT NEW FLAT-ROOFED REAR PORCH W/ HIP-ROOFED DINING PORCH; CONSTRUCT NEW WOOD DECK AROUND EXISTING POOL; CONSTRUCT NEW 6'-HI WD. PICKET FENCE

Printed name of property owner or licensed contractor.	Signature.
--	------------

Notary Signature as to applicant. State of Florida, County of Monroe, Sworn to and subscribed before me.

Personally known or produced _____ as identification.

Official Use Only:

PART B: SUPPLEMENTARY PROJECT DETAILS TO AVOID DELAYS / CALL-BACKS

PROPERTY STRUCTURES AFFECTED BY PROJECT: MAIN STRUCTURE ACCESSORY STRUCTURE SITE

ACCESSORY STRUCTURES: GARAGE / CARPORT DECK FENCE OUTBUILDING / SHED

FENCE STRUCTURES: 4 FT. 6 FT. SOLID 6 FT. / TOP 2 FT. 50% OPEN

POOLS: INGROUND ABOVE GROUND SPA / HOT TUB PRIVATE PUBLIC
PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE APPLICATION AT TIME OF CITY APPLICATION.
 PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE PRIOR TO RECEIVING THE CITY CERTIFICATE OF OCCUPANCY.

ROOFING: NEW ROOF-OVER TEAR-OFF REPAIR AWNING
 5 V METAL ASPLT. SHGLS. METAL SHGLS. BLT. UP TPO OTHER

FLORIDA ACCESSIBILITY CODE: 20% OF PROJECT FUNDS INVESTED IN ACCESSIBILITY FEATURES.

SIGNAGE: # OF SINGLE FACE # OF DOUBLE FACE REPLACE SKIN ONLY BOULEVARD ZONE
 POLE WALL PROJECTING AWNING HANGING WINDOW

SQ. FT. OF EACH SIGN FACE: _____

SUBCONTRACTORS / SPECIALTY CONTRACTORS SUPPLEMENTARY INFORMATION:

MECHANICAL: DUCTWORK COMMERCIAL EXH. HOOD INTAKE / EXH. FANS LPG TANKS
 A/C: COMPLETE SYSTEM AIR HANDLER CONDENSER MINI-SPLIT

ELECTRICAL: LIGHTING RECEPTACLES HOOK-UP EQUIPMENT LOW VOLTAGE
 SERVICE: OVERHEAD UNDERGROUND 1 PHASE 3 PHASE _____ AMPS

PLUMBING: ONE SEWER LATERAL PER BLDG. INGROUND GREASE INTCPTRS. LPG TANKS

RESTROOMS: MEN'S WOMEN'S UNISEX ACCESSIBLE

PART C: HARC APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

APPLICATION FEES: PAINTING SINGLE FAMILY: \$10 STAFF APPROVAL: \$50 COMMISSION REVIEW \$100
 PLEASE ATTACH APPROPRIATE VARIANCES / RESOLUTIONS FROM HARC, PLANNING BOARD OR TREE COMMISSION.
 ATTENTION: NO BUILDING PERMITS WILL BE ISSUED PRIOR TO HARC APPROVAL.

PLEASE SEND ELECTRONIC SUBMISSIONS TO: harc@cityofkeywest-fl.gov
 INDICATE TYPE OF CERTIFICATE OF APPROPRIATENESS: GENERAL DEMOLITION SIGN PAINTING OTHER
 ADDITIONAL INFORMATION: _____

PROJECT SPECIFICATIONS: PLEASE PROVIDE PHOTOS OF EXISTING CONDITIONS, PLANS, PRODUCT SAMPLES, TECHNICAL DATA		
ARCHITECTURAL FEATURES TO BE ALTERED:	ORIGINAL MATERIAL:	PROPOSED MATERIAL:
NORTH WALL OF EXIST. REAR ADDITION	WOOD SIDING & TRIM WOOD WINDOWS	SAME

DEMOLITION: PLEASE FILL OUT THE HARC APPENDIX FOR PROPOSED DEMOLITION.
 DEMOLITION OF HISTORIC STRUCTURES IS NOT ENCOURAGED BY THE HISTORIC ARCHITECTURAL REVIEW COMMISSION.

SIGNAGE: (SEE PART B) BUSINESS SIGN BRAND SIGN OTHER: _____

BUSINESS LICENSE # _____ IF FAÇADE MOUNTED, SQ. FT. OF FAÇADE _____

CITY OF KEY WEST
CERTIFICATE OF APPROPRIATENESS
APPENDIX FOR DEMOLITIONS
APPLICATION NUMBER H- 16-03.0032



This document applies only to those properties located within the City of Key West Historic Zoning Districts, properties outside the historic zoning districts which are listed as contributing in the Historic Architectural Survey and or properties listed in the National Register of Historic Places.

Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitation and the Key West's Historic Architectural Guidelines. Once submitted, the application shall be reviewed by staff for completeness and scheduled for presentation to the Historic Architectural Review Commission for the next available meeting, unless the demolition request is for a *bona fide* Code Compliance case, in which case staff may review and approve the demolition request. **The applicant must be present at this meeting. Any person that makes changes to an approved Certificate of Appropriateness must submit a new application with such modifications.**

The filing of this application does not ensure approval as submitted. Applications that do not possess the required submittals or documentation will be considered incomplete and will not be reviewed for approval.

CRITERIA FOR DEMOLITIONS

Before any Certificate of Appropriateness may be issued for a demolition request, the Historic Architectural Review Commission must find that the following requirements are met (please review and comment on each criterion that applies);

- (1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration or it does not meet any of the following criteria:
 - (a) The existing condition of the building or structure is irrevocably compromised by extreme deterioration.

OR THAT THE BUILDING OR STRUCTURE;

- (a) Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction.

THE WALL IN QUESTION IS PART OF A RECENT
ADDITION AT THE REAR OF THE STRUCTURE
THAT MEETS THE ABOVE CRITERIA.

- (b) Is not specifically associated with events that have made a significant contribution to local, state, or national history.

IT IS NOT.

- (c) Has no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state or nation, and is not associated with the life of a person significant in the past.

IT DOES NOT.

- (d) Is not the site of a historic event with a significant effect upon society.

IT IS NOT.

- (e) Does not exemplify the cultural, political, economic, social, or historic heritage of the city.

IT DOES NOT.

- (f) Does not portray the environment in an era of history characterized by a distinctive architectural style.

IT DOES NOT.

- (g) If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif.

IT IS NOT.

- (h) Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and does not exemplify the best remaining architectural type in a neighborhood.

IT DOES NOT.

- (i) Has not yielded, and is not likely to yield, information important in history.

IT HAS NOT AND IS NOT LIKELY TO.

CITY OF KEY WEST
CERTIFICATE OF APPROPRIATENESS
APPENDIX FOR DEMOLITIONS
APPLICATION NUMBER H-____-____-____-_____



(2) For a contributing historic or noncontributing building or structure, a complete construction plan for the site is approved by the Historic Architectural Review Commission.

(a) A complete construction plan for the site is included in this application

Yes Number of pages and date on plans 2, 1/30/17
 No Reason _____

The following criteria will also be reviewed by the Historic Architectural Review Commission for proposed demolitions. The Commission shall not issue a Certificate of Appropriateness that would result in the following conditions (please review and comment on each criterion that applies);

(1) Removing buildings or structures that are important in defining the overall historic character of a district or neighborhood so that the character is diminished.

IT IS NOT.

(2) Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space; and

IT DOES NOT.

AND

(3) Removing an historic building or structure in a complex; or removing a building facade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood.

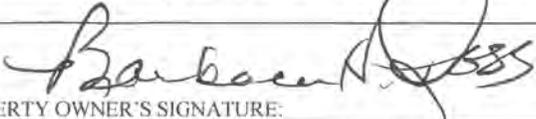
IT IS NOT.

(4) Removing buildings or structures that would otherwise qualify as contributing.

IT DOES NOT.

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

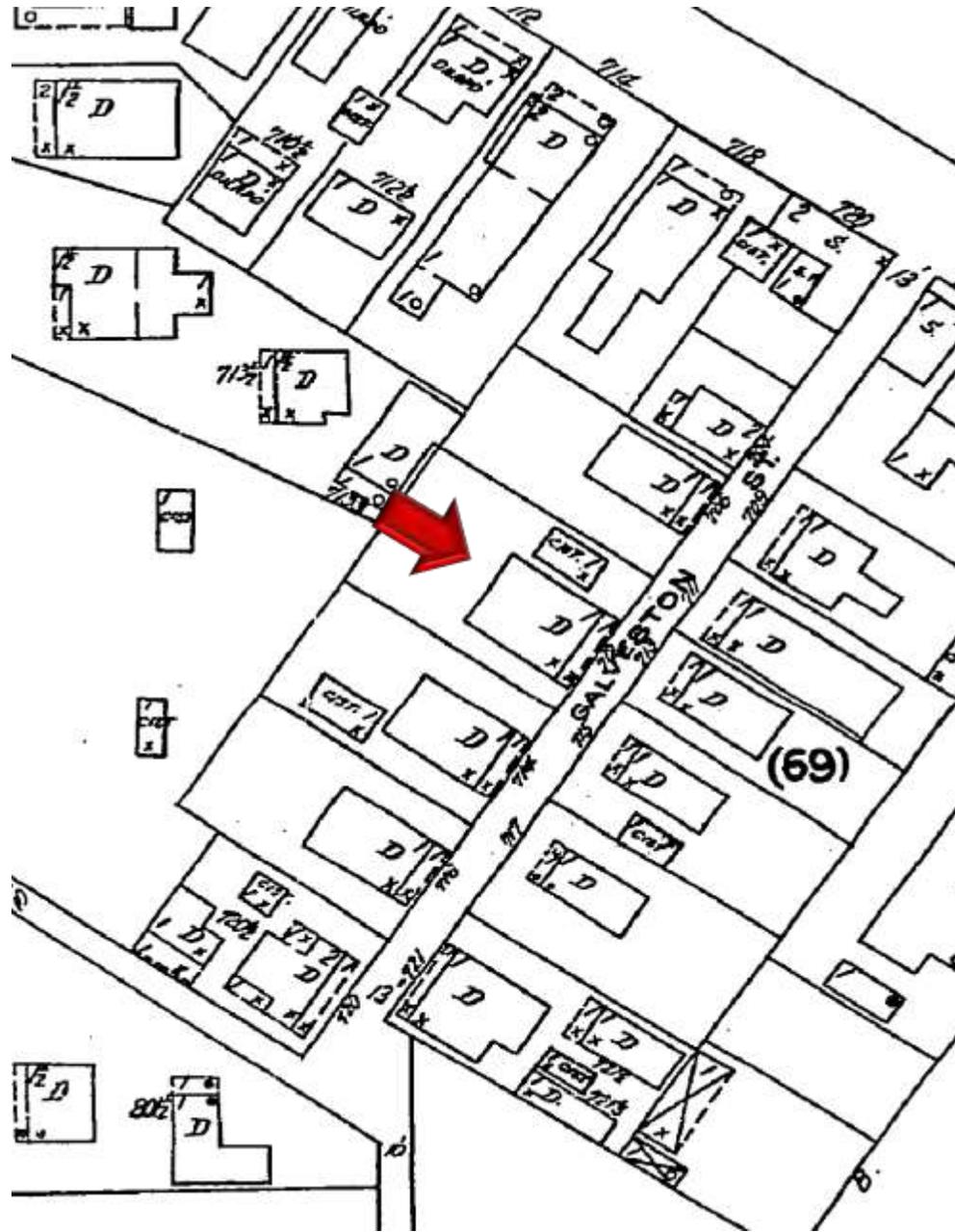
*I hereby certify I am the owner of record and that the work shall conform to all applicable laws of this jurisdiction. By receiving a Certificate of Appropriateness, I realize that this project will require a Building Permit, approval **PRIOR** to proceeding with the work outlined above and that there will be a final inspection required under this application. I also understand that any changes to an approved Certificate of Appropriateness must be submitted for review.*

 PROPERTY OWNER'S SIGNATURE:	1-31-17 DATE AND PRINT NAME:
--	---------------------------------

OFFICE USE ONLY

BUILDING DESCRIPTION:				
<input type="checkbox"/> Contributing	Year built _____	Style _____	Listed in the NRHP _____	Year _____
<input type="checkbox"/> Not listed	Year built _____	Comments _____		

<input type="checkbox"/> Reviewed by Staff on _____ <input type="checkbox"/> Notice of hearing posted _____ First reading meeting date _____ Second Reading meeting date _____ TWO YEAR EXPIRATION DATE _____	Staff Comments
--	----------------



1926 Sanborn map



1948 Sanborn map



710 Galveston Lane circa 1965. Monroe County Library.







PRIVATE PROPERTY
NO
TRESPASSING

FLORIDA
RPV7F

FLORIDA
H22-310

FLORIDA
2008

KIA
Sportage













Vent in the gable roof.

712

PRIVATE PROPERTY
NO PARKING

PRIVATE PROPERTY
NO PARKING

WASTE
WE RECYCLE

Black bicycle with panniers parked on the sidewalk.



NO DOGS
PICK UP AFTER
YOUR DOG

SPRING REVEAL
NO TRESPASSING

706



7
1
1





715



CAREY



717





PCSI
SU
C2

C
M
C

BA
↑

MAP OF BOUNDARY SURVEY

BEARING BASE:
ALL BEARINGS ARE BASED ON 500°00'00" ASSUMED ALONG THE CENTERLINE OF GALVESTON LANE, (AKA CHARLES ALLEY).

ALL ANGLES DEPICTED ARE 90 DEGREES UNLESS OTHERWISE INDICATED

ALL UNITS ARE SHOWN IN U.S. SURVEY FEET

ADDRESS:
710 GALVESTON LANE,
KEY WEST, FL 33040

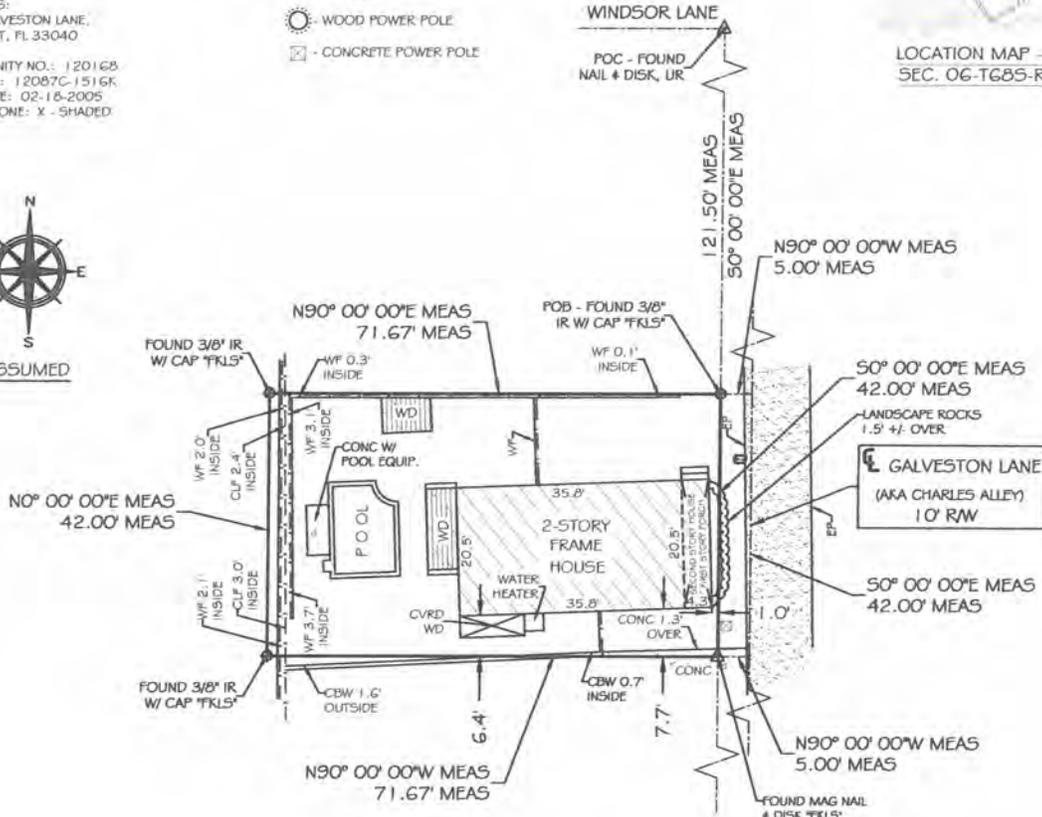
COMMUNITY NO.: 120168
MAP NO.: 12087C-1516K
MAP DATE: 02-18-2005
FLOOD ZONE: X - SHADED

LEGEND

- WATER METER
- SANITARY SEWER CLEAN OUT
- MAILBOX
- WOOD POWER POLE
- CONCRETE POWER POLE



LOCATION MAP - NTS
SEC. 06-T685-R25E



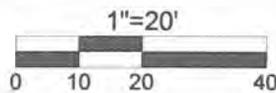
LEGAL DESCRIPTION -

On the Island of Key West and known as a part of Tract 5, according to William A. Whitehead's Map of said Island delineated in February A.D. 1829, and more particularly described as follows:

COMMENCE at the intersection of the Southerly right of way line of Windsor Lane and the Westerly right of way line of Galveston Lane (Charles Alley) and run thence Southerly along the said Westerly right of way line of Galveston Lane, 121.5 feet to the Point of Beginning of the parcel of land herein described; thence continue Southerly along the said Westerly right of way line of Galveston Lane, 42 feet to a point; thence Westerly at right angles, 71.67 feet to a point; thence Northerly at right angles, 42 feet to a point; thence Easterly at right angles, 71.67 feet back to the Point of Beginning.

CERTIFIED TO -

Barbara H. Ross;



TOTAL AREA = 3,010.14 SQFT±

NOTE: FOUNDATIONS BENEATH THE SURFACE ARE NOT SHOWN. MEASURED DIMENSIONS EQUAL PLATTED OR DESCRIBED DIMENSIONS UNLESS INDICATED OTHERWISE. THE FOLLOWING IS A LIST OF ABBREVIATIONS THAT MAY BE FOUND ON THIS SHEET.

- | | | |
|-----------------------------------|---------------------------------|---------------------------------|
| BPF = BACK FLOW PREVENTER | CUF = CUT WIRE | TOC = POINT OF COMMENCEMENT |
| BO = BLOW OUT | ES = ELEVATION | TRC = POINT OF REVERSE CURVE |
| C & G = 2" CONCRETE CURB & GUTTER | FF = FINISH FLOOR | TRM = PROBABLY REFERENCE TO |
| CB = CONCRETE BLOCK | IR = IRON ROD | MANAGEMENT |
| CBW = CONCRETE BLOCK WALL | L = ARC LENGTH | TT = POINT OF TANGENT |
| CL = CENTERLINE | LS = LANDSCAPING | R = RADIUS |
| CLF = CHAINLINK FENCE | MS = MANHOLE | RAW = RIGHT OF WAY LINE |
| CM = CONCRETE MONUMENT | MEAS = MEASURED | SSCO = SANITARY SEWER CLEAN OUT |
| CONC = CONCRETE | MFW = MEAN HIGH WATER LINE | SW = SIDE WALK |
| CPF = CONCRETE POWER POLE | NVD = NATIONAL GEODETIC | TRM = TEMPORARY BENCH MARKS |
| CVRD = COVERED | OD = OFFSET DIMENSION (1) POINT | TRM = TOP OF BANK |
| DELTA = CENTRAL ANGLE | NTD = NOT TO SCALE | TOC = TOP OF CURVE |
| DEGR = DRAINAGE ELEVATION | OH = OVERHEAD | TS = TRAFFIC SIGN |
| EL = ELEVATION | OHF = OVERHEAD FENCE | UTL = UTILITY |
| ENCL = ENCLOSURE | OW = OVERHEAD WIRE | UL = UNDEVELOPED |
| EP = EDGE OF PAVEMENT | PC = POINT OF CURVE | UE = UTILITY EASEMENT |
| FF = FINISHED FLOOR ELEVATION | PM = PARKING METRE | WD = WOOD DECK |
| FH = FIRE HYDRANT | PCG = POINT OF COMPASS CURVE | WF = WOOD FENCE |
| FI = FENCE INSIDE | PCP = PERMANENT CONTROL POINT | WL = WOOD LANDING |
| FO = FOUND | PK = PARKING KAZON NAIL | WM = WATER METER |
| FOU = FENCE OUTSIDE | PCB = POINT OF BEGINNING | WFP = WOOD FENCE POST |
| FOL = FENCE ON LINE | PI = POINT OF INTERSECTION | WLK = LINE OF DEBRIS OR SHORE |
| | | WV = WATER VALVE |

NOTE: LEGAL DESCRIPTIONS HAVE BEEN FURNISHED BY THE CLIENT OR HIS/HER REPRESENTATIVE. PUBLIC RECORDS HAVE NOT BEEN RESEARCHED BY THE SURVEYOR TO DETERMINE THE ACCURACY OF THESE DESCRIPTIONS NOR HAVE ADJOINING PROPERTIES BEEN RESEARCHED TO DETERMINE OVERLAPS OR HIATUS. ADDITIONS OR DELETIONS TO SURVEY MAP OR REPORT BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY. THE BOLD LINE SHOWN HEREON REPRESENTS THE SURVEYOR'S OPINION OF THE DEED LINES. THE MEAN HIGH WATER LINE WAS NOT DETERMINED FOR THIS SURVEY. THE APPARENT MEAN HIGH WATER LINE IS SHOWN FOR REFERENCE ONLY.

SCALE:	1"=20'
FIELD WORK DATE:	02/13/2017
REVISION DATE:	XX/XX/XXXX
SHEET:	1 OF 1
DRAWN BY:	MPB
CHECKED BY:	
JOB NO.:	17-120

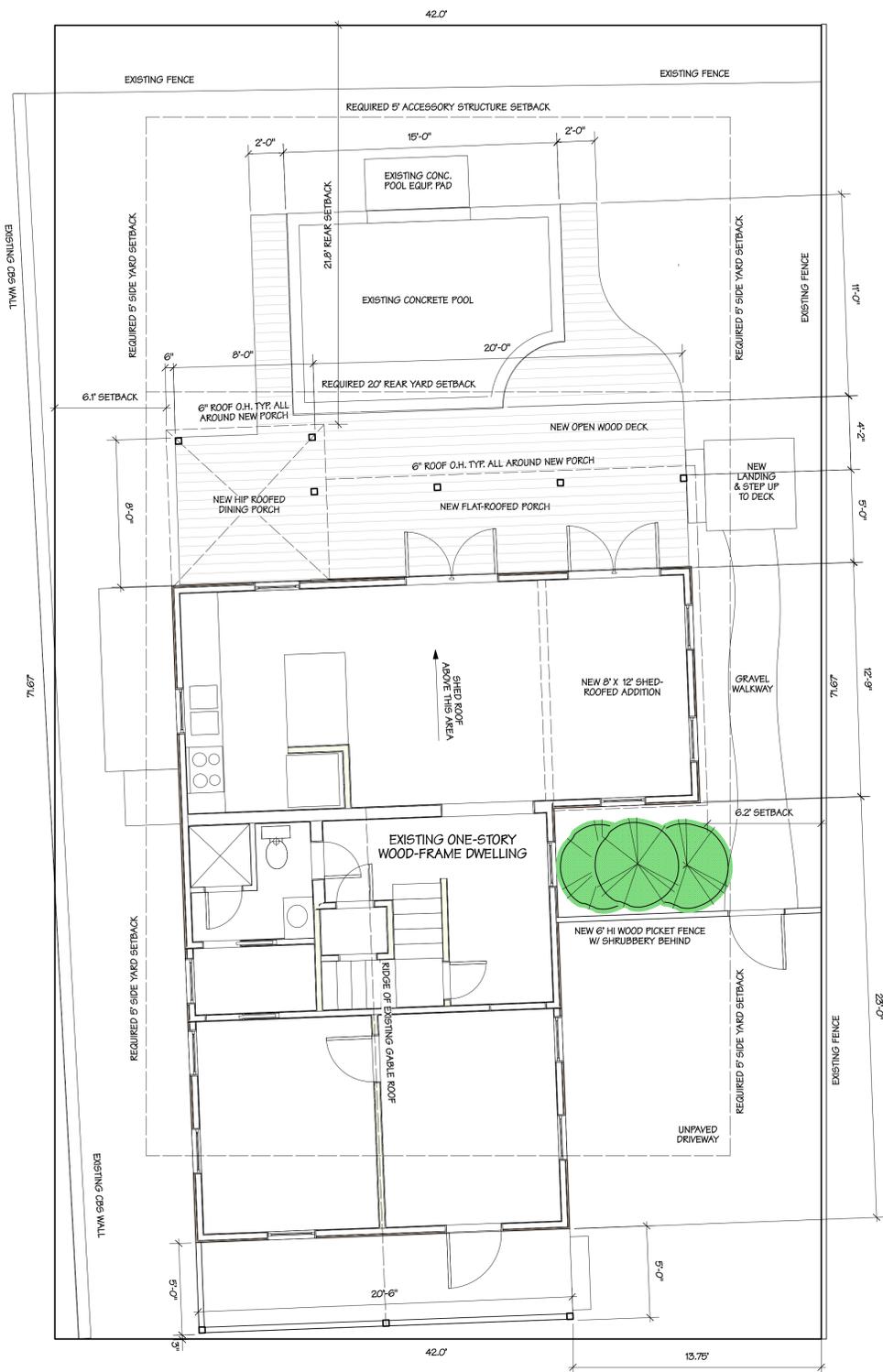
I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES AND COMPLIES WITH CHAPTER 177, FLORIDA STATUTES.

SIGNED:
ERIC A. ISAACS, LEM #6783, PROFESSIONAL SURVEYOR AND MAPPER, LEM 7847

NOT VALID WITHOUT THE SIGNATURE AND THE RAISED SEAL OF A FLORIDA SURVEYOR AND MAPPER.



**FLORIDA KEYS
LAND SURVEYING**
19960 OVERSEAS HIGHWAY
SUGARLOAF KEY, FL 33042
PHONE: (305) 394-3690
EMAIL: FKL5email@gmail.com



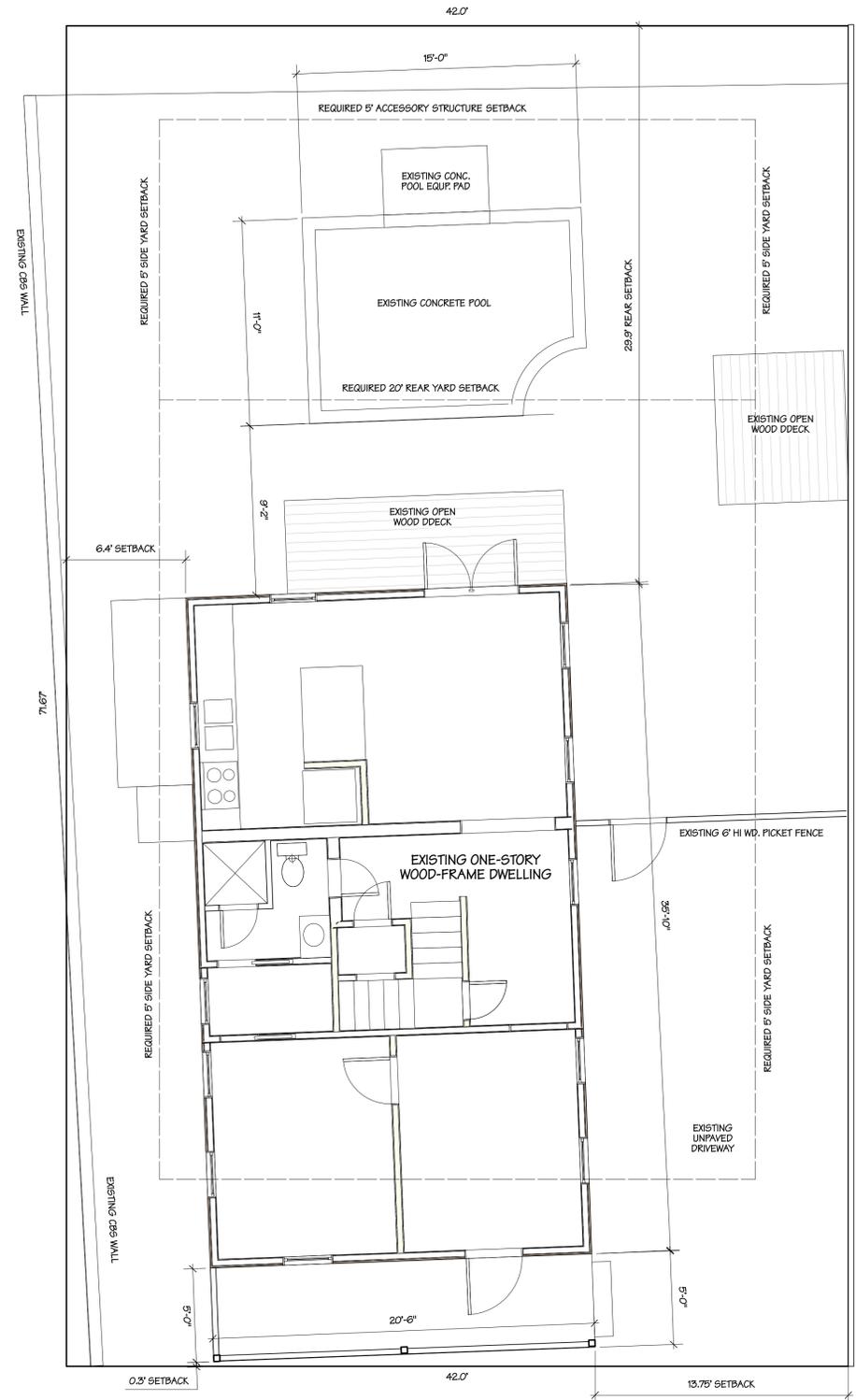
GALVESTON LANE (10' R.O.W.)

PROPOSED SITE & FLOOR PLAN
scale: 1/4"=1'-0"



SITE DATA:
 LOT SIZE: 3010 S.F.
 ZONING DISTRICT: HISTORIC HIGH DENSITY RESIDENTIAL (HHDR)

LOT COVERAGE:	EXISTING	PROPOSED	ALLOWED/REQUIRED
BUILDING:			
EXISTING:	836 S.F.	836 S.F.	
ADDITION:		102 S.F.	
PORCH:		183 S.F.	
TOTAL:	836 S.F. (27.8%)	1123 S.F. (37.3%)	50%
IMPERVIOUS:			
BLDG:	836 S.F.	1123 S.F.	
AWNINGS:	49 S.F.	49 S.F.	
POOL:	175 S.F.	175 S.F.	
TOTAL:	1060 S.F. (35.2%)	1347 S.F. (44.8%)	60%
OPEN SPACE:			
IMPERVIOUS:	1060 S.F.	1347 S.F.	
OPEN DECK:	131 S.F.	164 S.F.	
TOTAL NON-OPEN:	1191 S.F. (39.6%)	1511 S.F. (49.9%)	
TOTAL OPEN SPACE:	1819 S.F. (60.4%)	1499 S.F. (49.8%)	35%
SETBACKS:			
FRONT:	0.3'	NO CHANGE	10'
L. SIDE:	6.4'	6.1'	5'
R. SIDE:	13.75'	6.2'	20'
REAR:	29.9'	21.8'	
HEIGHT:	17.0'	NO CHANGE	30'
FEMA FLOOD ZONE:	X	X	N/A



GALVESTON LANE (10' R.O.W.)

EXISTING SITE & FLOOR PLAN
scale: 1/4"=1'-0"



renovations & additions to
 710 GALVESTON LANE
 KEY WEST, FLORIDA

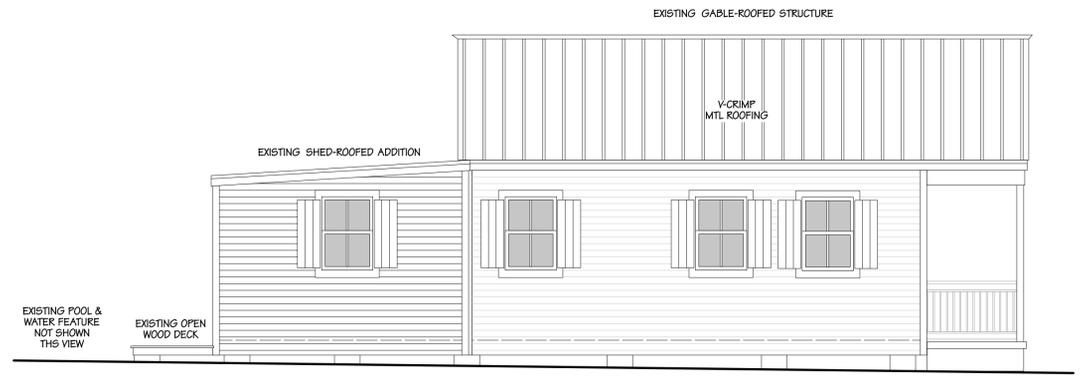
Robert L. Delaune, Architect, p.a.
 619 Eaton Street, Suite 1, Key West, FL 33040
 ph/fax: (305) 293-0364 FL Lic. #AA0003594

sheet
 1
 of
 2

30 JANUARY 2017



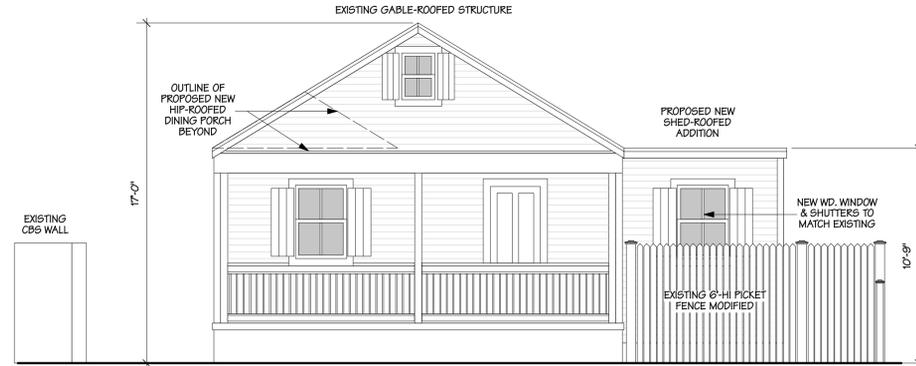
PROPOSED SOUTH ELEVATION
scale: 1/4"=1'-0"



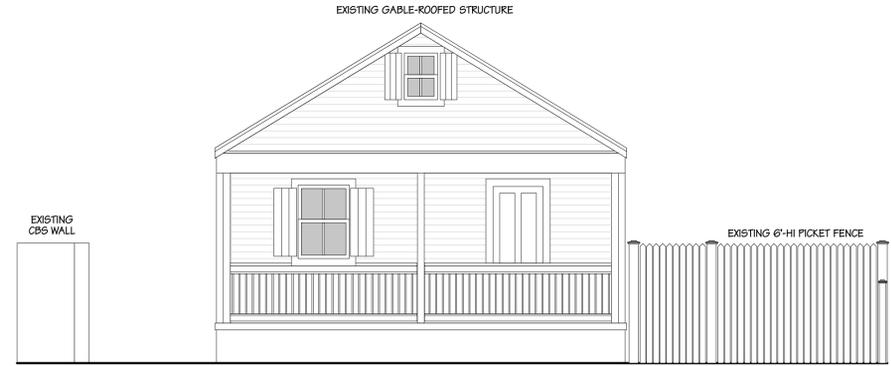
EXISTING SOUTH ELEVATION
scale: 1/4"=1'-0"



PROPOSED EAST ELEVATION (W/ VEGETATION)
scale: 1/4"=1'-0"



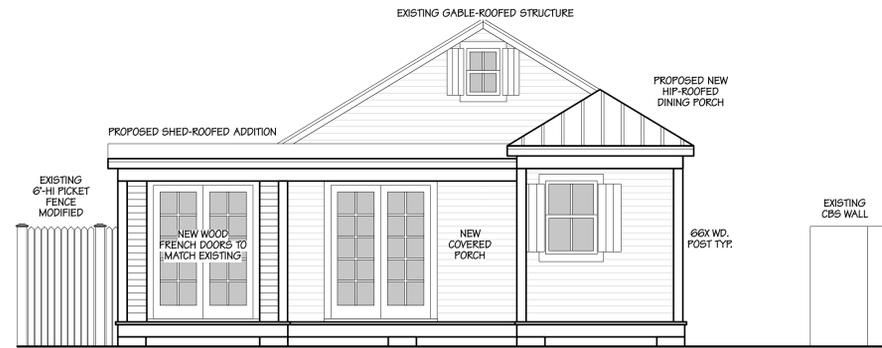
PROPOSED EAST ELEVATION
scale: 1/4"=1'-0"



EXISTING EAST ELEVATION
scale: 1/4"=1'-0"



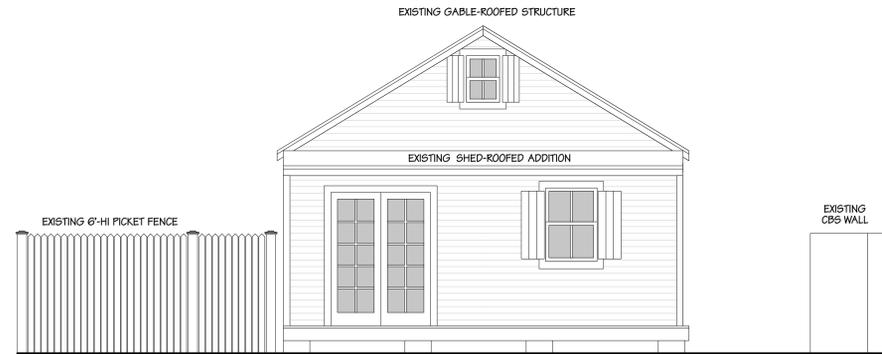
PROPOSED NORTH ELEVATION
scale: 1/4"=1'-0"



PROPOSED WEST ELEVATION
scale: 1/4"=1'-0"



EXISTING NORTH ELEVATION
scale: 1/4"=1'-0"



EXISTING WEST ELEVATION
scale: 1/4"=1'-0"

renovations & additions to
 710 GALVESTON LANE
 KEY WEST, FLORIDA



Robert L. Delaune, Architect, p.a.
 619 Eaton Street, Suite 1, Key West, FL 33040
 ph/fax: (305) 293-0364 FL Lic. #AA0003594

sheet
2
of
2

30 JANUARY 2017



PROPOSED GALVESTON LANE STREETSCAPE LOOKING WEST
 scale: 1/4"=1'-0"



EXISTING GALVESTON LANE STREETSCAPE LOOKING WEST
 scale: 1/4"=1'-0"

renovations & additions to
 710 GALVESTON LANE
 KEY WEST, FLORIDA



Robert L. Delaune, Architect, p.a.
 619 Eaton Street, Suite 1, Key West, FL 33040
 ph/fax: (305) 293-0364 FL Lic. #AA0003594

sheet
 SC-1
 of
 1

Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at 5:30 p.m., February 28, 2017 at City Hall, 1300 White Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

NEW WOOD DECK AT REAR AROUND EXISTING NEW POOL. NEW SIDE ADDITION WITH SHED ROOF. NEW GABLE FLAT ROOF ON REAR PORTION OF HOUSE AND NEW COVERED PORCH. NEW FLAT-ROOFED REAR PORCH WITH HIP-ROOFED DINING PORCH. NEW 6' HIGHT WOOD PICKET FENCE. PARTIAL DEMOLITION OF SIDE WALL. DEMOLITION OF REAR SHED ROOF.

710 Galveston Lane

Applicant – ~~Meridian Engineering~~ Rob Delaune

Application #16-03-0032

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3973 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

HARC POSTING AFFIDAVIT

STATE OF FLORIDA:
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared ROBERT L. DELAUNE, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address:
710 GALVESTON LANE on the 21ST day of FEBRUARY, 2017.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on FEBRUARY 28, 2017.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is 16-03-0032

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant:

Robert Delaune
Date: 2/21/17
Address: 619 EATON ST
City: KEY WEST, FL
State, Zip: 33040

The forgoing instrument was acknowledged before me on this 21 day of Feb, 2017.

By (Print name of Affiant) Robert Delaune who is personally known to me or has produced _____ as identification and who did take an oath.

NOTARY PUBLIC

Sign Name: Kimberly G. Pita
Print Name: Kimberly G. Pita
Notary Public - State of Florida (seal)
My Commission Expires: _____





Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at 5:30 p.m., February 28, 2017 at City Hall, 1300 White Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

NEW WOOD DECK AT REAR AROUND EXISTING NEW POOL, NEW SIDE ADDITION WITH SHED ROOF, NEW GABLE FLAT ROOF ON REAR PORTION OF HOUSE AND NEW COVERED PORCH, NEW FLAT ROOFED REAR PORCH WITH HIP ROOFED DINING PORCH, NEW 6' HIGH WOOD PICKET FENCE, PARTIAL DEMOLITION OF SIDE WALL, DEMOLITION OF REAR SHED ROOF.

710 Galveston Lane

Applicant - Meridian Engineering Rob Delaune

Application #16-03-0032

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3973 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-950-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.



Scott P. Russell, CFA Property Appraiser Monroe County, Florida

Key West (305) 292-3420
Marathon (305) 289-2550
Plantation Key (305) 852-7130

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Website tested on IE8, IE9, & Firefox.

Requires Adobe Flash 10.3 or higher

Property Record Card -

Maps are now launching the new map application version.

[Return to Search Results](#) | [Modify Search](#) | [New Search](#) | [Send Email to MCPA Regarding this Parcel](#) | [Estimate Taxes on this Parcel](#)

[Previous Record](#) **Alternate Key: 1019658 Parcel ID: 00018980-000000** [Next Record](#)

Ownership Details

Mailing Address:

ROSS BARBARA H
710 GALVESTON LN
KEY WEST, FL 33040-6408

Property Details

PC Code: 01 - SINGLE FAMILY

Millage Group: 10KW

Affordable Housing: No

Section-Township-Range: 06-68-25

Property Location: 710 GALVESTON LN KEY WEST

Legal BK 5 LT 10 KEY WEST G9-415 OR506-207 OR1638-2017/20 OR1689-637/639

Description: OR1884-1259/61 OR2462-2328/28AC/T OR2515-449 OR2515-450 OR2761-552/53

Click Map Image to open interactive viewer

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First Time Home Buyer (IRS)

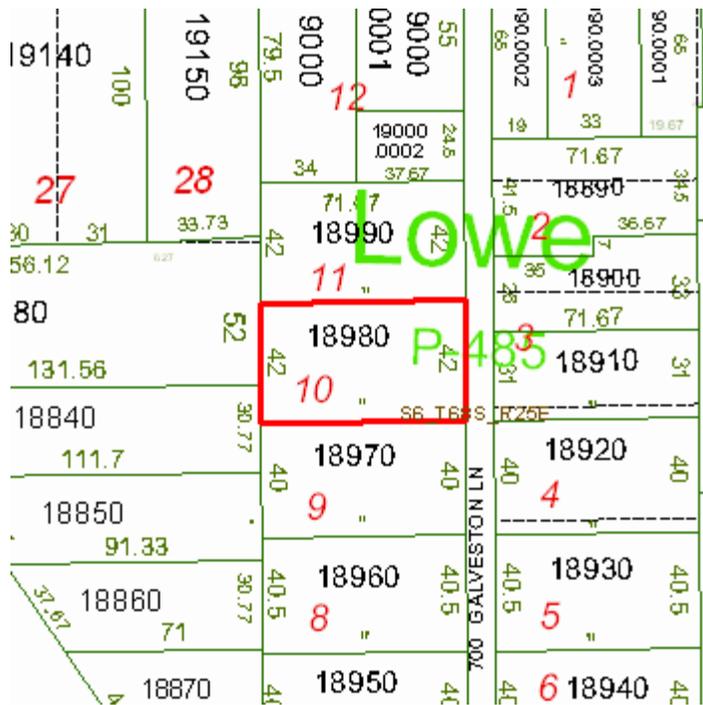
- » [Cancellation of Debt Flyer \(English\)](#)
- » [Cancellation of Debt Flyer \(Spanish\)](#)
- » [1st Time Homebuyers Fact Sheet](#)
- » [1st Time Homebuyers Basic Information](#)
- » [1st Time Homebuyers Scenarios](#)
- » [1st Time Homebuyers Q&A's](#)

IRS Links

- » [Make Work Pay Credit](#)
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Other Links

- » [FL Dept Rev - Property Tax Oversight](#)
- » [Census Info](#)



Exemptions

Exemption	Amount
39 - 25000 HOMESTEAD	25,000.00
44 - ADDL HOMESTEAD	25,000.00

Land Details

Land Use Code	Frontage	Depth	Land Area
010D - RESIDENTIAL DRY	42	72	3,010.00 SF

Building Summary

Number of Buildings: 1
Number of Commercial Buildings: 0
Total Living Area: 672
Year Built: 1919

Building 1 Details

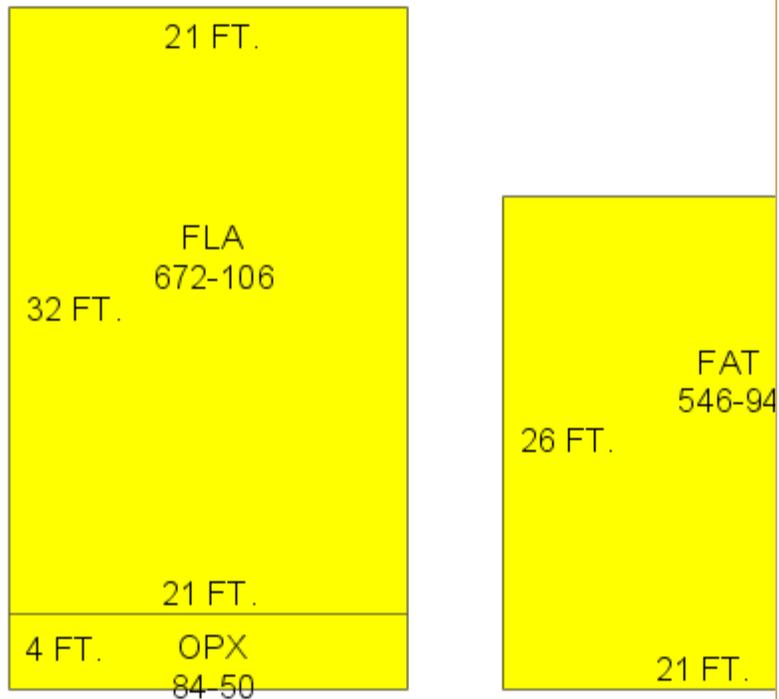
Building Type R1	Condition A	Qu
Effective Age 5	Perimeter 106	Dep
Year Built 1919	Special Arch 0	Grnd
Functional Obs 0	Economic Obs 0	

Inclusions: R1 includes 1 3-fixture bath and 1 kitchen.

Roof Type GABLE/HIP	Roof Cover METAL
Heat 1 NONE	Heat 2 NONE
Heat Src 1 NONE	Heat Src 2 NONE

Extra Features:

2 Fix Bath	0
3 Fix Bath	1
4 Fix Bath	0
5 Fix Bath	0
6 Fix Bath	0
7 Fix Bath	0
Extra Fix	0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %
0	FAT	1:WD FRAME	1	1989		N	
1	FLA	1:WD FRAME	1	1989	N	N	0.00
2	OPX		1	1989	N	N	0.00

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	WD2:WOOD DECK	272 SF	0	0	2002	2003	2	40
3	AC2:WALL AIR COND	2 UT	0	0	2002	2003	1	20
4	AC2:WALL AIR COND	1 UT	0	0	2002	2003	2	20
5	FN2:FENCES	72 SF	18	4	2002	2003	2	30
6	FN2:FENCES	660 SF	110	6	2002	2003	2	30

Appraiser Notes

2011-04-28 FISBO BANK OWNED 407-371-6884

Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
98-1584	05/21/1998	12/12/1998	900		REPAIR WINDOW & SIDING
02-0759	04/03/2002	01/31/2003	23,550		RENOVATION
02/2233	08/19/2002	01/31/2003	1,500		COMPLETE ELECTRICAL
11-1504	05/12/2011	09/15/2011	5,000		REPAIRS WINDOWS SILLS & CASING ON 6 WINDOWS. INSTALL 60 K STYLE GUTTER, WHITE TO MATCH TRIM
15-4953	12/10/2015	03/01/2016	8,133		INSTALL 3 TON MINI SPLIT SYSTEM 3 DROPS

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2016	99,847	5,547	409,131	514,525	433,187	25,000	408,187
2015	76,294	4,986	403,912	485,192	438,407	0	485,192
2014	74,232	4,780	376,984	455,996	398,552	0	455,996
2013	75,263	5,019	325,275	405,557	362,320	0	405,557
2012	76,294	5,266	247,822	329,382	329,382	0	329,382
2011	80,086	4,186	362,717	446,989	446,989	0	446,989
2010	89,249	4,418	386,612	480,279	480,279	25,000	455,279
2009	103,171	4,624	458,206	566,001	566,001	25,000	541,001
2008	96,108	4,829	526,750	627,687	567,737	25,000	542,737
2007	178,213	5,061	401,835	585,109	551,201	25,000	526,201
2006	287,862	5,267	285,950	579,079	537,757	25,000	512,757
2005	287,862	5,472	228,760	522,094	522,094	25,000	497,094
2004	157,699	5,704	213,710	377,113	377,113	0	377,113
2003	93,963	5,910	111,370	211,243	211,243	0	211,243
2002	107,000	2,150	70,735	179,885	179,885	0	179,885
2001	85,311	2,214	70,735	158,260	158,260	0	158,260
2000	85,311	2,133	52,675	140,119	140,119	0	140,119
1999	69,695	1,791	52,675	124,160	124,160	0	124,160
1998	40,872	1,526	52,675	95,073	95,073	0	95,073
1997	38,828	0	46,655	85,483	85,483	0	85,483

1996	25,136	0	46,655	71,791	71,791	0	71,791
1995	25,136	0	46,655	71,791	71,791	0	71,791
1994	22,480	0	46,655	69,135	69,135	0	69,135
1993	22,480	0	46,655	69,135	69,135	0	69,135
1992	22,480	0	46,655	69,135	69,135	0	69,135
1991	22,480	0	46,655	69,135	69,135	0	69,135
1990	21,918	0	37,625	59,543	59,543	0	59,543
1989	15,710	0	36,873	52,583	52,583	0	52,583
1988	13,437	0	32,358	45,795	45,795	0	45,795
1987	13,267	0	16,127	29,394	29,394	0	29,394
1986	13,341	0	15,482	28,823	28,823	0	28,823
1985	12,938	0	9,360	22,298	22,298	0	22,298
1984	12,111	0	9,360	21,471	21,471	0	21,471
1983	12,111	0	9,360	21,471	21,471	0	21,471
1982	12,340	0	8,093	20,433	20,433	0	20,433

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
9/9/2015	2761 / 552	630,000	<u>WD</u>	<u>02</u>
4/26/2011	2515 / 450	325,600	<u>WD</u>	<u>02</u>
4/26/2011	2515 / 449	325,600	<u>QC</u>	<u>12</u>
4/26/2010	2462 / 2328	250,000	<u>CT</u>	<u>12</u>
4/29/2003	1884 / 1259	440,000	<u>WD</u>	<u>Q</u>
4/10/2001	1689 / 0637	190,000	<u>WD</u>	<u>Q</u>

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Monroe County Property Appraiser
 Scott P. Russell, CFA
 P.O. Box 1176 Key West, FL 33041-1176