

RESOLUTION NO. 16-292

A RESOLUTION OF THE NAVAL PROPERTIES LOCAL REDEVELOPMENT AUTHORITY OF THE CITY OF KEY WEST (LRA), APPROVING THE USE OF THE UNFORESEEN CONDITIONS ALLOWANCE IN THE AMOUNT OF \$47,925.25; APPROVING THE USE OF CONTINGENCY FUNDS IN THE AMOUNT OF \$101,229.88 BY CHARLEY TOPPINO AND SONS, INC. (CTS) FOR CONSTRUCTION PHASE 1A OF THE TRUMAN WATERFRONT PARK; AUTHORIZING THE CITY MANAGER TO EXECUTE NECESSARY DOCUMENTS UPON ADVICE AND CONSENT OF THE CITY ATTORNEY; PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, in Resolution No. 15-326, the LRA awarded a bid for Truman Waterfront Park Phase 1A project to Charley Toppino and Sons, Inc., for a total amount of \$17,453,752.67, inclusive of \$629,236.33 for unforeseen conditions and \$487,161.31 project contingency funds; and

WHEREAS, payment was authorized for certain unforeseen conditions, and contingency expenditures in Resolution No. 16-220; and

WHEREAS, additional unforeseen conditions, described in the attached Executive Summary dated September 20, 2016 and UCA #2, have resulted in a need for use of funds allocated in the Unforeseen Conditions Allowance in the amount of \$47,925.25; and

WHEREAS, the use of contingency funds is necessary for additional tasks set forth in the attached memo dated

September 20, 2016, and CUA #3 in the amount of \$101,229.88;
and

WHEREAS, the total project contract price and timeframe
remain unchanged; and

NOW, THEREFORE, BE IT RESOLVED BY THE NAVAL PROPERTIES
LOCAL REDEVELOPMENT AUTHORITY, AS FOLLOWS:

Section 1: That the use of \$47,925.25 from the
Unforeseen Conditions Allowance, as described in the attached
Executive Summary and related UCA #2, is hereby authorized.

Section 2: That the use of \$101,229.88 of the
Contingency Allowance is authorized for CTS, on behalf of the
City, as described in the attached Executive Summary and
related CUA #3 .

Section 3: That adequate unforeseen conditions and
contingency funds are allocated in the project budget.

Section 4: That the City Manager is authorized to
execute any necessary documents related to the expenditures
described herein, upon the advice and consent of the City
Attorney.

Section 5: That this Resolution shall go into effect immediately upon its passage and adoption and authentication by the signature of the presiding officer and the Clerk of the Agency.

Passed and adopted by the Caroline Street Corridor and Bahama Village Community Redevelopment Agency at a meeting held this 5th day of October, 2016.

Authenticated by the presiding officer and Clerk of the Agency on October 6, 2016.

Filed with the Clerk October 6, 2016.

Chairman Craig Cates	<u>Yes</u>
Commissioner Sam Kaufman	<u>Yes</u>
Commissioner Clayton Lopez	<u>Yes</u>
Commissioner Richard Payne	<u>Yes</u>
Commissioner Margaret Romero	<u>Yes</u>
Commissioner Billy Wardlow	<u>Yes</u>
Commissioner Jimmy Weekley	<u>Yes</u>


CRAIG CATES, CHAIRMAN

ATTEST:


CHERYL SMITH, CITY CLERK



THE CITY OF KEY WEST

Post Office Box 1409 Key West, FL 33041-1409 (305) 809-3700

EXECUTIVE SUMMARY

Date: Revised September 22, 2016

To: Jim Scholl, City Manager

From: Jim Bouquet, P.E., Director of Engineering

Cc: Greg Veliz, Assistant City Manager
Mark Finigan, Director of Finance

Subject: **Approve use of Unforeseen Conditions Allowance and Contingency Allowance for construction of Phase IA of the Truman Waterfront Park**

ACTION STATEMENT

This Resolution would approve use of \$47,925.25 of the Unforeseen Conditions Allowance and \$101,229.88 of the Contingency Allowance for construction of Phase IA of the Truman Waterfront Park, and authorize the City Manager to execute necessary documents.

BACKGROUND

Resolution No. 15-326 accepted the proposal of Charley Toppino and Sons Inc., (CTS) for construction of the Truman Waterfront Park Phase 1A in the amount of \$17,453,752.67. The project Contract Documents and bid award for Notice to Proceed (NTP) 1 and NTP 2 provide \$629,236.33 for unforeseen conditions encountered during project construction and \$487,161.31 in project contingency funds. Resolution No. 16-220 approved the initial use of these allowances. Subsequent to this resolution, additional unforeseen conditions have been encountered and additional expenditures of contingency funds were required as described below. Referenced Unforeseen Conditions Authorization (UCA), Contingency Use Authorization (CUA) and associated cost proposals from CTS are attached.

Unforeseen Conditions – UCA No. 2:

- Per Field Directive Change (FCD) 8A, CTS continued placement of unsuitable subgrade material with imported "Superblend" aggregate to achieve the necessary load bearing factor (\$33,851.25).
- Per FCD 10, Item 3, CTS replaced a section of gravity sewer with a stainless steel force main to avoid an existing ATT communication duct (\$3,360.00).
- Per FCD10 Item 6, CTS conducted one soft dig to investigate a KEYS energy duct in conflict with a sewer line (\$700.00).

Key to the Caribbean – Average yearly temperature 77° F.

MEMORANDUM

- Per FCD10 Item 10, CTS furnished #4 stone for pipe trench subbase stabilization of unsuitable soils (\$4,389.00).
- Per FCD12, Item 2 survey and auger holes for new KEYS poles Parcel E2 (area of contaminated soil) (\$5,625.00).

Total UCA No. 2 Cost: \$47,925.25

Contingency - CUA No. 3

- Per FCD04, CTS provided a cost credit of \$47,899.03 to incorporate landscape and irrigation system revisions to simplify the system, eliminate above ground water storage tanks and improve system operational efficiency.
- Per FCD10 Item 1, CTS provided additional surveying to support transitions to the future Navy Entry Control Point (ECP) and the new Ft. Zachary State Park entrance currently under construction (\$1,687.50).
- Per FCD10 Item 2, CTS provided additional asphalt pavement to transition to Navy ECP limit of work (\$5,850.00).
- Per FCD10 Item 4, CTS constructed modifications to storm drain system to accommodate curb cuts for future parking east of the spline road and amphitheater access (\$4,702.00).
- Per FCD10 Item 5, CTS furnished and installed silt fence on Parcel K to provide erosion controls for stockpiling of excavated soil from Parcel C for future use as clean fill elsewhere on the site (\$711.15).
- Per FCD Item 7, CTS conducted two soft digs to locate an existing water line and Navy fuel line in Parcel K (\$1,400.00).
- Per FCD10 Item 8, CTS performed additional site work including excavation and concrete work to support transitions to new Navy ECP and Ft. Zachary State Park entrance (\$4,376.00).
- Per FCD10 Item 9, CTS implemented design modifications to accommodate curb cuts, crosswalk striping and ADA access. Construction included a new sidewalk providing access to a new bus stop, NOAA, the EcoDiscovery Center and a future parking area east of the spline road (\$51,157.60).
- Per FCD 10 Item 11, CTS relocated an irrigation sleeve under the spline road for future service to Parcel C (\$650.00).
- Per FCD 12, CTS, on behalf of the City, paid the KEYS Service Fee of \$78,594.66 to provide aboveground electrical service to the site including the USGCS Ingham and Building 103.

Net Total CUA No. 3 Cost: \$101,229.88

PURPOSE AND JUSTIFICATION

Considering past history and use of the site as a military facility, unforeseen condition encounters were expected

and a bid item price to address these situations was included in the contract award to CTS. Addressing conditions identified in UCA No. 2 are required to complete the work and maintain project schedule.

Similarly, the need for a project contingency to address work scope changes and fees was included as a cost item. Contingency expenditures were required to accommodate park roadway and hardscape interface with future Ft. Zachary State Park entrance, the Navy Outer Mole ECP and the Truman Amphitheater. KEYS required service fees to be paid upon submittal of installation permit applications.

Construction of the Truman Waterfront Park is consistent with the City of Key West's Strategic Goals #3 *Parks and Recreation areas are accessible to all residents and visitors* and Goal #5 *All of the City's Destinations and Resources Are Accessible to Residents and Visitors*.

FINANCIAL ISSUES

Approval of this resolution will reduce available Unforeseen Conditions Allowance to \$515,990.58 and will reduce available contingency funds to \$254,938.43. Additional contingency funds will be available upon issuance of the Notice to Proceed for NTP3.

Use of above ground electrical in lieu of originally specified underground service will save the City approximately \$200,000.

The total contract price and time remain unchanged.

RECOMMENDATION

Staff recommends approving the use of \$47,925.25 of Unforeseen Conditions Allowance and \$101,229.88 of the Contingency Allowance to continue construction of Phase IA of the Truman Waterfront Park, and authorize the City Manager to execute necessary documents.

UNFORESEEN CONDITIONS AUTHORIZATION

PROJECT: Truman Waterfront Park Phase IA

UCA NO. 2

DATE: Rev. September 20, 2016

OWNER'S PROJECT NO: GR0703

TO CONTRACTOR: Charley Toppino & Sons, Inc.
P.O. Box 787
Key West, FL 33041

CONTRACT DATED: December 2, 2015

Needs Correction To:
\$33,851.25 per 16
Sept 2016
coordination

CONTRACT FOR:
Truman Waterfront Park Phase IA
Notice to Proceed (NTP) 1 & 2

The Unforeseen Conditions Schedule of Values Items are amended as follows:

FCD08A: Replace existing unsuitable subgrade material with imported "Superblend" aggregate placed full-depth (12 inches) from approximately Station 11+00 to NOAA to achieve the necessary load bearing factor. Refer to attached Toppino Work Change Directive Proposal for FCD 8A dated 9/12/16. Cost \$33,861.25.

FCD10: Refer to attached Toppino Work Change Directive Proposal for FCD 10 dated 9/12/16, Items 3, 6 and 10.

Sanitary Sewer Relocation (Item 3): Replace 15-inch diameter gravity sewer with relocated 6-inch diameter stainless steel force main to avoid ATT communication duct. Cost \$3,360.00

Sanitary Soft Dig (Item 6): Conduct one soft dig @\$700. each per direction of City to investigate KEYS energy duct location and depth. Cost \$700.00.

Additional #4 Stone (Item 10): Furnish #4 stone for pipe trench subbase stabilization of unsuitable soils.
Cost \$4,389.00

FCD12: Survey and auger holes for new KEYS poles within Parcel E2 (contaminated soil).
Cost \$5,625.00. Refer to attached Toppino Work Change Directive Proposal for FCD 12 dated 9/19/2016, Item 2.

Net Total UCA No. 2: \$47,925.25

Unforeseen Conditions Item #39 Original Schedule of Value:
Previous UCAs:
Reduce Schedule of Value by FCD8A Cost:
Item #39 Remaining Allowance:

\$544,680.33
(\$49,310.50)
(\$39,486.25)
\$455,883.58

Truman Waterfront Park Phase IA
Unforeseen Condition Authorization #02
Page 2

Sanitary Sewer

<i>Unforeseen Conditions Item #45 Original Schedule of Value:</i>	<i>\$68,556.00</i>
<i>Previous UCAs:</i>	<i>(\$0.00)</i>
<i>Reduce Schedule of Value by FCD10 Cost (Items 3, 6 & 10):</i>	<i><u>(\$8,449.00)</u></i>
<i>Item #45 Remaining Allowance:</i>	<i><u>\$60,107.00</u></i>

Total Contract Sum remains unchanged. Contract Time remains unchanged.

PROJECT MANAGER:

Key West Engineering Services



BY: _____

DATE: 9/14/2016

CONTRACTOR:

Charley Toppino & Sons, Inc.

BY: Audi Fraley

DATE: 12 October 2016

OWNER:

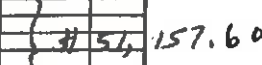
City of Key West, City Manager

BY: JK Schall

DATE: 06 OCT 2016

Distribution: Project File Contractor B&A

WCA



[illegible]

CONTINGENCY USE AUTHORIZATION

PROJECT: Truman Waterfront Park Phase IA

CUA NO. 3

DATE: Rev. September 22, 2016

OWNER'S PROJECT NO: GR0703

TO CONTRACTOR: Charley Toppino & Sons, Inc.
P.O. Box 787
Key West, FL 33041

CONTRACT DATED: December 2, 2015

CONTRACT FOR:
Truman Waterfront Park Phase IA
Notice to Proceed (NTP) 1 & 2

The Contingency Schedule of Values Item is amended as follows:

FCD04: Refer to attached Toppino Work Change Directive Proposal for FCD 04 dated 8/29/16, Items 1, 2 & 3.

Irrigation System Revisions (Items 1 and 3): Incorporate irrigation system revisions to simplify system, eliminate above ground water storage tank and improve system operational efficiency (credit \$16,527.00). Revise electrical system associated with irrigation revisions (credit \$1,054.00). Total Cost Credit \$17,581.00.

Landscape Revisions (Item 2): Incorporate landscape revisions consistent with irrigation system revisions. Cost Credit \$30,318.03

FCD10: Refer to attached Toppino Work Change Directive Proposal for FCD 10 dated 9/12/16, Items 1,2, 4, 5, 7-9 & 11).

Surveying (Item 1): Provide additional surveying to support transitions to new Navy entry control point (ECP) and Ft. Zachary State Park entrance. Cost \$1,687.50

Asphalt Pavement (Item 2): Provide additional asphalt pavement to transition to Navy ECP limit of work. Cost \$5,850.00.

Drainage Modifications (Item 4): Construction modifications to storm drain system to accommodate curb cuts for future parking east of the spline road and amphitheater access. Cost \$4,702.00.

Erosion Controls (Item 5): Install silt fence on Parcel K to provide erosion controls for stockpiling of excavated soil from Parcel C for future use as clean fill on the site. Cost \$711.15.

Soft Dig (Item 7): Conduct two soft digs @\$700. each per direction of City to locate existing water line and Navy fuel line in Parcel K. Cost \$1,400.00.

Additional Concrete Hardscape (Item 8): Provide additional site work including excavation and concrete work to support transitions to new Navy entry control point (ECP) and Ft. Zachary State Park entrance. Cost \$4,376.00.

Amphitheater Curb Cuts, Sidewalk and Additional Site Work (Item 9): Construction modifications to accommodate curb cuts, crosswalk striping and ADA access for future parking east of the spline road and the future amphitheater. Constructed new sidewalk providing access to a new bus stop, NOAA and EcoDiscovery Center and the future parking lot east of the spline road. Cost \$51,157.60

Irrigation Sleeve (Item 11): Relocated irrigation sleeve for future service to Parcel C.
Cost \$650.00.

FCD12 Refer to attached letter from KEYS Energy Services (KEYS) dated 9/8/2016 and copy of Toppino check.

KEYS Service Fee: On behalf of the City, Toppino has paid the KEYS Service Fee of \$78,594.66 to provide electrical service to USGCS Ingham and Building 103. Service Fee invoice is attached. Use of above ground electrical in lieu of originally specified underground service will save the City approximately \$200,000.

Net Total CUA No. 3: \$101,229.88

Contingency Allowance Item #40 Original Schedule of Value:	\$433,573.57
Previous CUAs (1 & 2):	-\$77,405.36
Reduce Schedule of Value by:	
FCD04 Cost:	+\$47,899.03
FCD10 Cost:	-\$70,534.15
FCD12 Cost:	<u>-\$78,594.66</u>

Item #40 Remaining Allowance: \$254,938.43

Total Contract Sum remains unchanged.

Contract Time remains unchanged.

PROJECT MANAGER:

CONTRACTOR:

OWNER:

Key West Engineering Services

Charley Toppino & Sons, Inc.

City of Key West, City Manager



BY: _____

BY: Andi Fraley

BY: _____

DATE: 9/14/2016

DATE: 12 October 2016

DATE: _____

20

Distribution: Project File Contractor B&A



Work Change Directive Proposal
Truman Waterfront Park Phase 1A
 ITB 15-022
 P.O. #

DATE: 9/12/16

Location: Truman Waterfront Park, Key West
 Scope: Misc. Hardscape Changes, etc.

ITEMIZED QUANTITIES
 WCD 10

Item	Description	Quantity	Units	Cost per Unit	Line Item Cost	Notes
1	SURVEYING Additional Surveying/Layout	9.0	HR	\$ 187.50	\$ 1,687.50	
2	ASPHALT PAVEMENT (Heavy Duty) Additional Asphalt Pavement (2" S&S B)	26.0	TON	\$ 225.00	\$ 5,850.00	
3	SANITARY SEWER (Parcel C Changes to Date) Additional 8" SS CO (Material)	3.0	EA	\$ 1,120.00	\$ 3,360.00	
4	DRAINAGE MODIFICATIONS (Parcel C Changes to Date) Valley Inlet Modification (ST-SI) (Material)	1.0	LS	\$ 2,029.00	\$ 2,029.00	
	Superintendent/Administrative	1.5	HR	\$ 96.00	\$ 147.00	
	Foreman	8.0	HR	\$ 80.00	\$ 640.00	
	Operator	8.0	HR	\$ 80.00	\$ 640.00	
	Laborer	6.0	HR	\$ 42.00	\$ 252.00	
	Laborer	6.0	HR	\$ 42.00	\$ 252.00	
	Laborer	6.0	HR	\$ 42.00	\$ 252.00	
	Backhoe, 320 or Equal	6.0	HR	\$ 80.00	\$ 480.00	
	Wheel Front End Loader	6.0	HR	\$ 65.00	\$ 390.00	
	Laser Equipment	6.0	HR	\$ 10.00	\$ 60.00	
					\$4,704.00	
5	EROSION CONTROL (Parcel C Changes to Date) Silt Fence	218.0	LF	\$ 3.26	\$ 711.78	
6	SOFT DIS (Keys Entry Dred Bank) Soft Dis (Shallow)	1.0	EA	\$ 700.00	\$ 700.00	
7	SOFT DIS (Ameltheather area SHD) Soft Dis (Shallow)	2.0	EA	\$ 700.00	\$ 1,400.00	
8	CONCRETE CURB (Concrete/Reinforced P. Back Area MVA) Foreman	8.0	HR	\$ 80.00	\$ 640.00	
	Operator	8.0	HR	\$ 80.00	\$ 640.00	
	Laborer	8.0	HR	\$ 42.00	\$ 336.00	
	Laborer	8.0	HR	\$ 42.00	\$ 336.00	
	Laborer	8.0	HR	\$ 42.00	\$ 336.00	
	Laborer	8.0	HR	\$ 42.00	\$ 336.00	
	Laborer	8.0	HR	\$ 42.00	\$ 336.00	
	Laborer	8.0	HR	\$ 42.00	\$ 336.00	
	Backhoe, 320 or Equal	8.0	HR	\$ 80.00	\$ 640.00	
	Wheel Front End Loader	8.0	HR	\$ 65.00	\$ 520.00	
	Laser Equipment	8.0	HR	\$ 10.00	\$ 80.00	
					\$4,376.00	
9	AMPHIPHILIC CURB CURB DITCHING { SIDEWALK POD W.C. PARKING 10' Sidewalk	4,128.0	SF	\$ 9.00	\$ 37,152.00	
	Driveway	230.0	SF	\$ 9.00	\$ 2,070.00	
	ADA Ramp	312.0	SF	\$ 11.90	\$ 3,712.80	
	Detectable Warning	120.0	SF	\$ 29.00	\$ 3,480.00	
	Painted Crosswalk	2.0	EA	\$ 2,300.00	\$ 4,600.00	
					\$56,157.60	
10	ADDITIONAL #4 STONE (Trench Stabilization) #4 Stone	99.8	TON	\$ 44.00	\$ 4,389.00	
11	EROSION CONTROL (Parcel C Changes to Date) Silt Fence	1.0	LS	\$ 650.00	\$ 650.00	
	Subtotal				\$ 78,863.65	
1	Performance/Payment Bonds (\$20.00/Thousand)	1 LS		\$20.00/Thousand		
2	Mobilization/Demobilization	1 LS		5% of Total		
	Total				\$ 78,883.65	
Notes: Revised concrete curb entrance/sidewalk curb dimension changes are a wash. Sanitary Sewer line 10" FM extension and 15" SS reduction are a wash, same quantity.						
Prepared by: Andrew Toppino						
Estimator						
Charley Toppino & Sons, Inc.						
Date: 9/12/16						
				WCD	10	
				Sheet	1 of 1	

FIELD CHANGE DIRECTIVE
No. 08 A

PROJECT: Truman Waterfront Park Phase 1A

DATE OF ISSUANCE: August 15, 2016

EFFECTIVE DATE: August 10, 2016

OWNER: **City of Key West**

OWNER's Project Number: GR0703/SE1505/TR0501

CONTRACTOR: **Charley Toppino & Sons**

Project Mgr.: Jim Bouquet

You are directed to proceed promptly with the following change(s):

Continue to replace existing unsuitable subgrade material with imported "Superblend" aggregate placed full-depth (12 inches) within the spline roadway. Placement limits extended from approximately Station 11+00 to Station 13+50. Full depth placement required to achieve the necessary load bearing factor (LBR) for long term stability of the roadway, including access to the Navy Port Operations and Ft. Zachary State Park. The proposed costs to implement based on terms previously agreed to under FCD 08 including:

- 1. City will reimburse Toppino the cost of replacement material (\$30.50 per ton) plus 50% of unsuitable subbase excavation cost.*
- 2. Payment will be made under SOV Item 39, Unforeseen Conditions Allowance.*
- 3. Provide Superblend delivery weight slips to City on a daily basis to verify material quantities delivered to the site.*

Note that no change in existing performance and payment bonds will be necessary for this work. Provide cost summary upon completion of the work.

Cost of Work Directive as Deducted from Unforeseen Conditions Item: **TBD**

Increase in Contract Times: **None**



Jim Bouquet, P.E.
Director of Engineering

FIELD CHANGE DIRECTIVE
No. 10-Rev. 1

PROJECT: Truman Waterfront Park Phase 1A

DATE OF ISSUANCE: August 22, 2016

EFFECTIVE DATE: August 22, 2016

OWNER: City of Key West

OWNER's Project Number: GR0703/SE1505/TR0501

CONTRACTOR: Charley Toppino & Sons

Project Mgr.: Jim Bouquet

You are directed to proceed promptly with the following change(s):

Description:

Incorporate sidewalk, curbing and East Quay Entry (at boat ramp) modifications as indicated on the attached Truman Waterfront Park Miscellaneous Hardscape Revisions dated August 22, 2016. Following review, provide City with any comments/questions, Requests for Information, and a Work Change Directive Proposal if so warranted.

Additional items modified by CKW to Parcel C/Spine Road:

1. Upsized 6" SS lateral to 8"
2. Upsized lateral relocated to other side of ST-51
3. Install three (3) 8x8 clean out assemblies added for 8" SS laterals (prior 1 was a 6" lateral per plan)
4. Keys Energy high voltage duct bank conflict Add +/- 100' FM to relocated SSMH 1; Delete +/- 100 LF of Sanitary Sewer main.
5. Valley Inlet modification added to ST-51
6. Relocation of soils stockpile from Parcel C [N/C] +/- 250'-0" Silt fencing (to be confirmed) added to Parcel K stockpile for Amphitheater berm
7. CKW authorized (1) soft dig for Keys duct bank
8. Formwork install / removal at Fort Zachary Taylor Park entrance
9. Add sidewalk, two (2) ADA curb ramps and two (2) driveways on plan left (south) side
10. Move sidewalk to curb and Add two (2) ADA curb ramps and two (2) driveways on plan right (north) side
11. Delete Bus Stop on plan right (north) side
12. Add trench undercut / install #4 rock trench stabilization from SSMH 5 to SSMH 4; portion of distance to

SSMH 3; short distance beyond SSMH 3; from SMH 2 to SSMH 1.

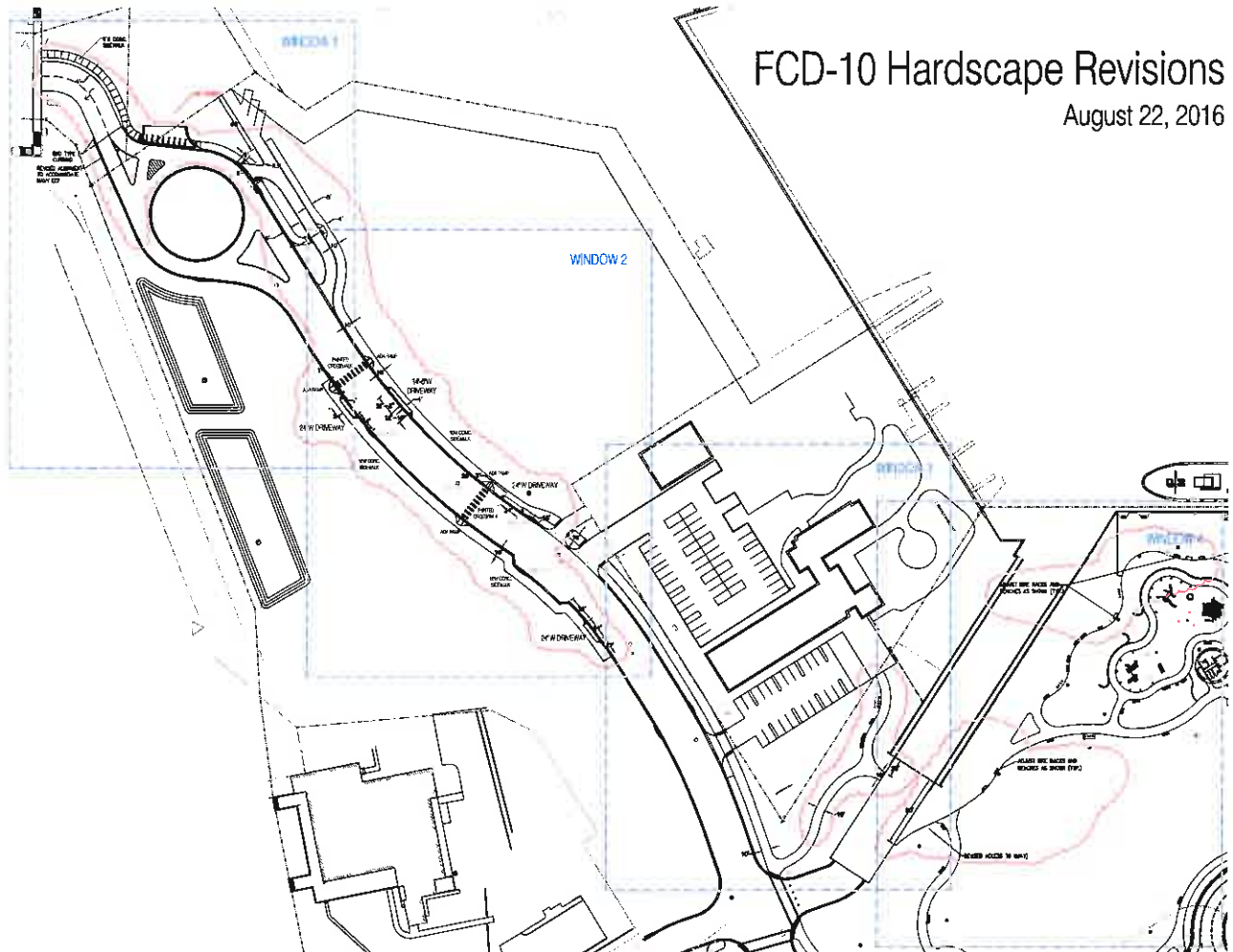
13. Move pedestrian lighting to behind new sidewalk alignment adjacent to proposed amphitheater
14. Revise Fort Zachary Taylor Park entrance road alignment to accommodate Navy ECP facility
15. Clarify curbing at Outer Mole entry and place hold on curbing at Ft. Zachary Taylor Park entrance; Delete curbing from just beyond circle to Fort entrance / overhead pedestrian bridge.



Jim Bouquet, PE
Director of Engineering

FCD-10 Hardscape Revisions

August 22, 2016



WINDOW 1

BY OTHERS

8'W CONC.
SIDEWALK

END TYPE
CURBING
REVISED ALIGNMENT
TO ACCOMMODATE
NAVY ECP

68'

6'

6'

R3'

8'

4'

8'

6'

10'

10'

PAINTED
CROSSWALK

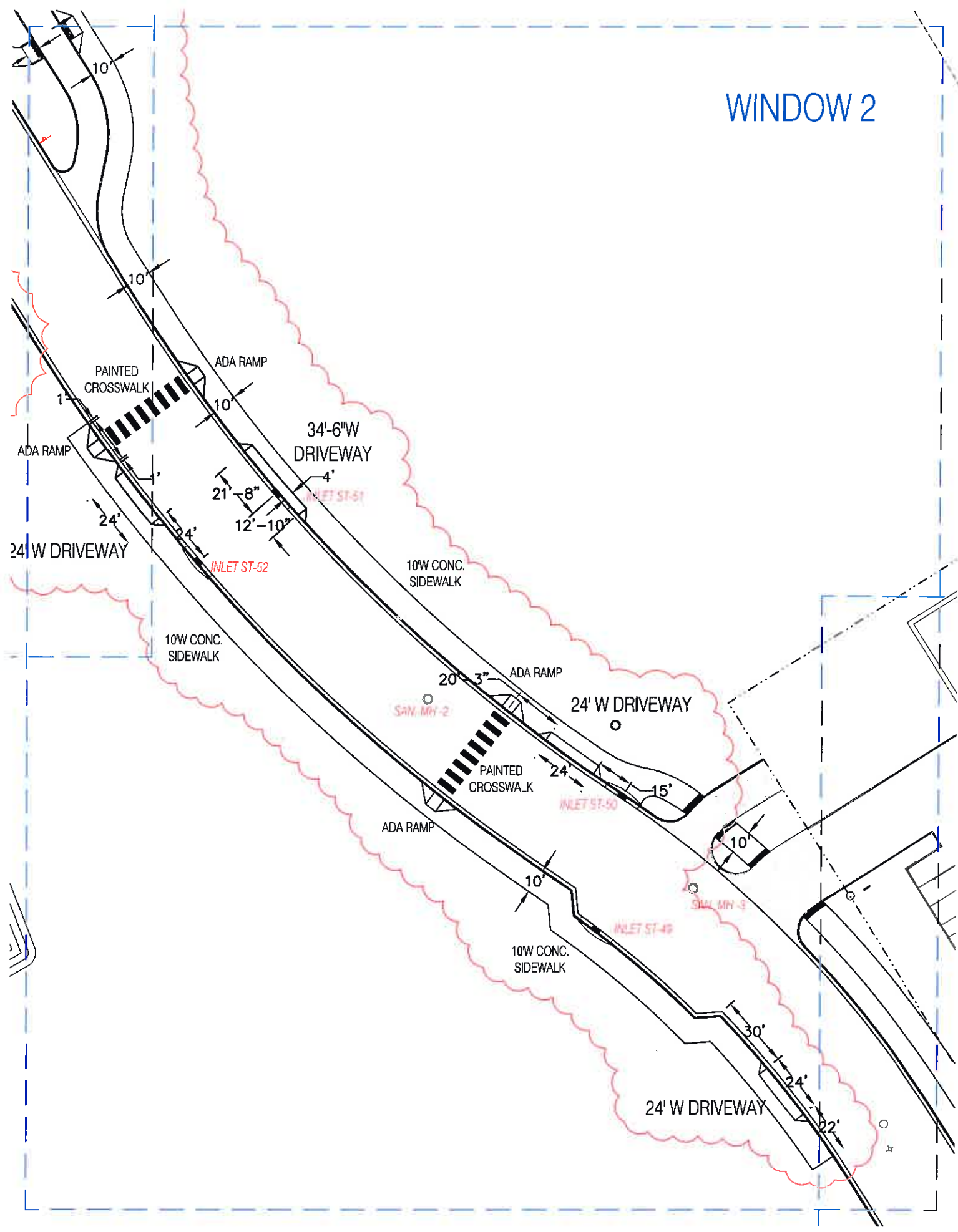
ADA RAMP

24'W DRIVEWAY

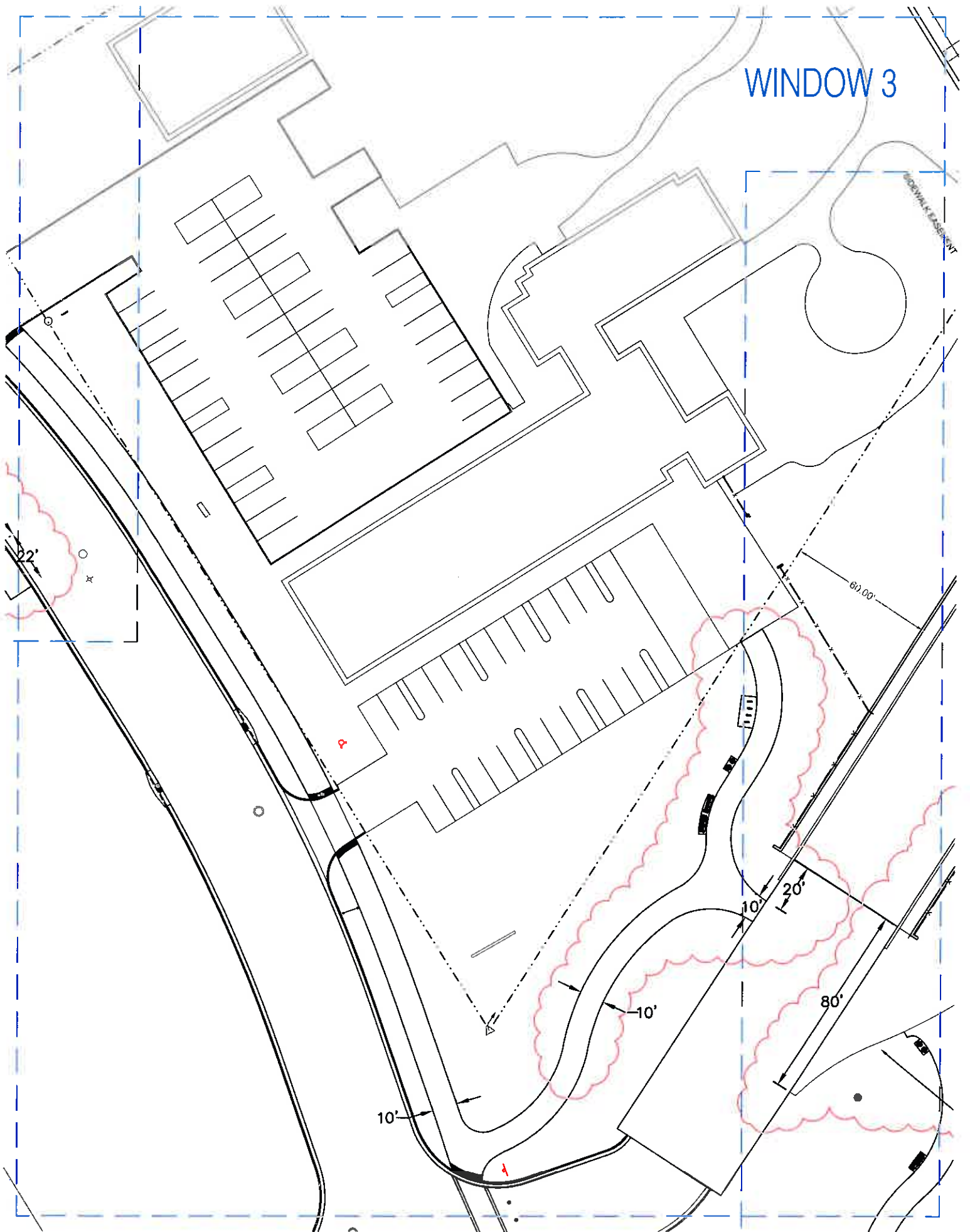
ⓐ

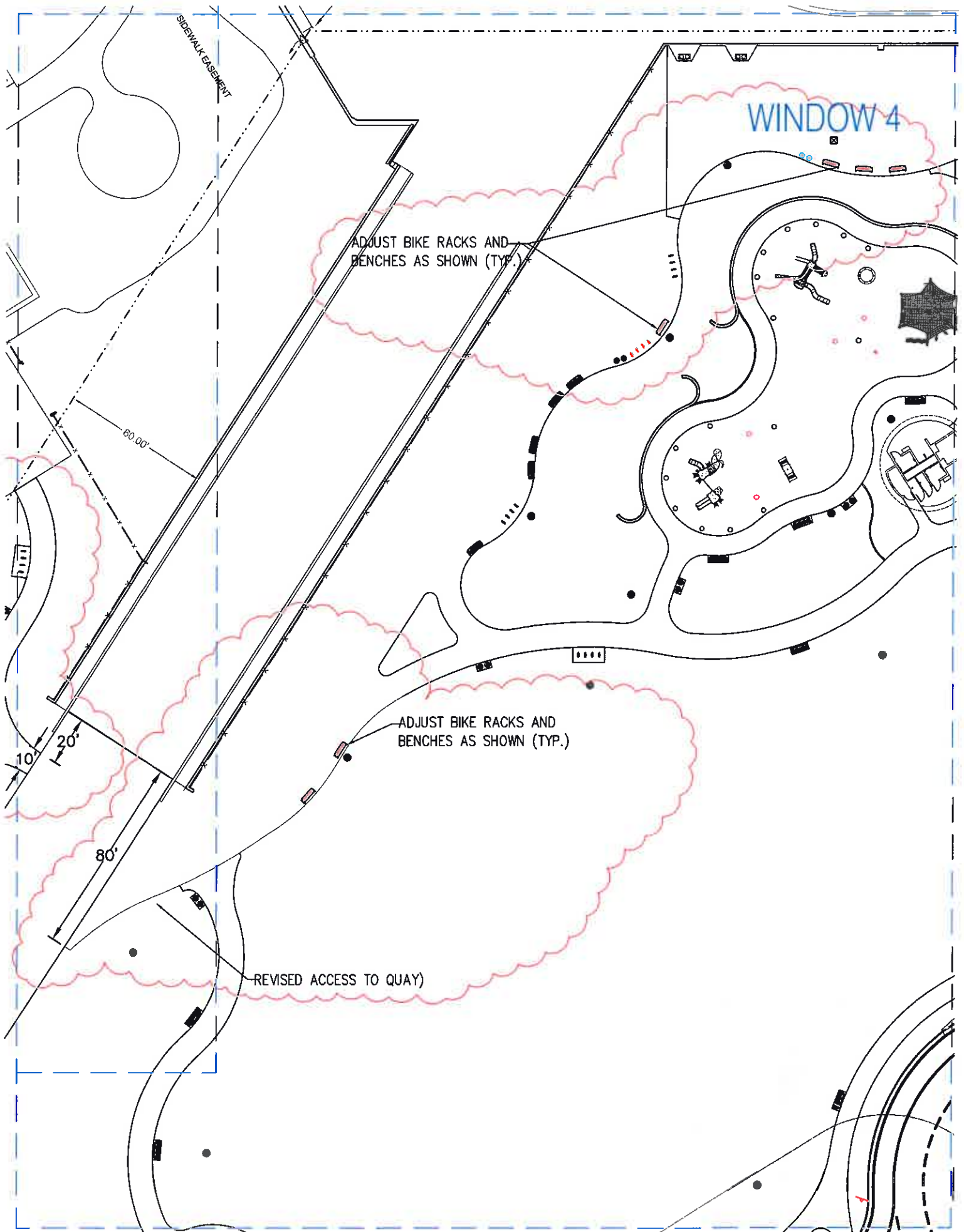
11
3

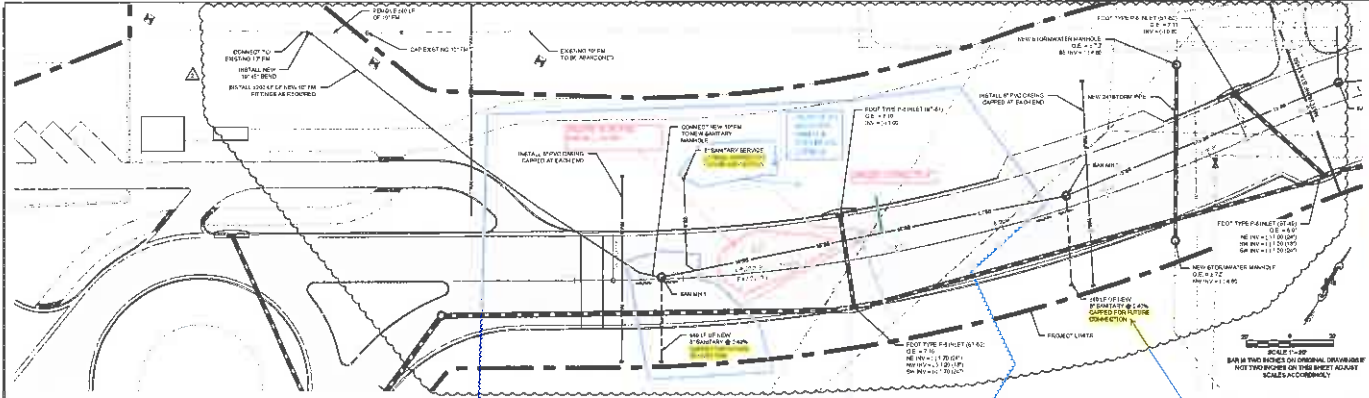
WINDOW 2



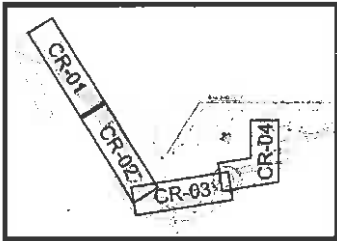
WINDOW 3



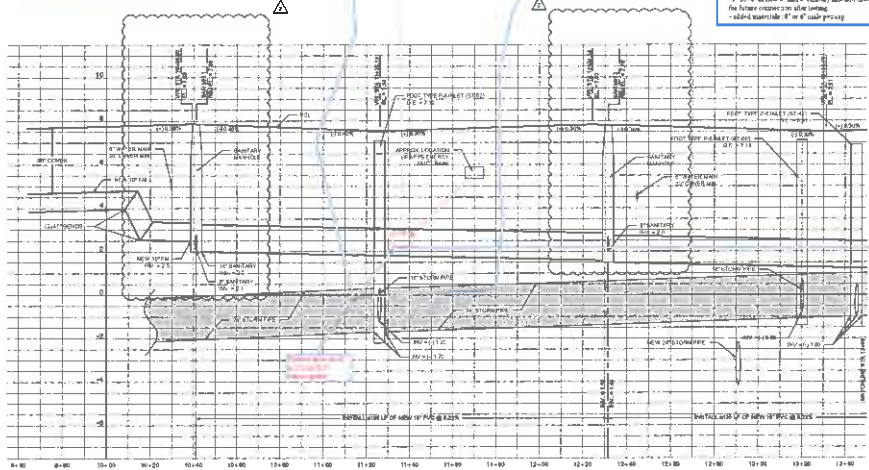




1. THE LOCATION, SIZE, AND ELEVATION OF EXISTING UTILITIES ARE SHOWN AS APPROXIMATE TO THE CONTRACTOR SHALL CORROBORATE WITH THE OWNER TO OBTAIN AN AVAILABLE RECORD DRAWING OR SURVEY DRAWING TO CORROBORATE THE LOCATION AND DEPTH OF UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF UTILITIES BY EXCAVATION PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR EXCAVATION AND CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR EXCAVATION AND CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR EXCAVATION AND CONSTRUCTION.
2. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND ELEVATION OF UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR EXCAVATION AND CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR EXCAVATION AND CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR EXCAVATION AND CONSTRUCTION.
3. ALL UTILITIES SHALL BE PROTECTED TO REMAIN IN PLACE AND SHALL NOT BE DISRUPTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR EXCAVATION AND CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR EXCAVATION AND CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR EXCAVATION AND CONSTRUCTION.
4. FOR NEW UTILITIES THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR EXCAVATION AND CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR EXCAVATION AND CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR EXCAVATION AND CONSTRUCTION.
5. UTILITIES TO BE REMOVED SHALL BE REMOVED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AND STATE DEPARTMENTS OF PUBLIC WORKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR EXCAVATION AND CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR EXCAVATION AND CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR EXCAVATION AND CONSTRUCTION.



ENVIRONMENTAL LAND USE CONTROL NOTE:
 PRIOR TO ANY AND ALL CONSTRUCTION ACTIVITIES, THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING IF LOCATION OF CONSTRUCTION ACTIVITIES ARE SUBJECT TO ENVIRONMENTAL LAND USE CONTROL (ELUC). ANY AND ALL ELUCS IDENTIFIED SHALL BE HANDLED PER THE "SOIL AND GROUNDWATER MANAGEMENT PLAN" DATED FEBRUARY 10, 2016 INCLUDED IN THE PROJECT MANUAL. CONTRACTOR SHALL VERIFY THAT ALL CONSTRUCTION PERMITS HAVE BEEN FILED AND APPROVED FOR THIS WORK.



SCALE: 1"=20' HORIZ.
 1"=2' VERT.

ba
 BERMELLO AJAMI & PARTNERS-INC.
 ARCHITECTS - Engineering - Planning
 Interior Design - Landscape Architecture
 1000 South Orange Avenue
 Suite 1000
 Miami, Florida 33133
 (305) 571-1000
 Fax: (305) 571-1001



TRUMAN WATERFRONT PARK
 PROJECT LOCATION: TRUMAN WATERFRONT PARK
 TRUMAN WATERFRONT PARK
 TRUMAN WATERFRONT PARK
 TRUMAN WATERFRONT PARK

PEREZ ENGINEERING & DEVELOPMENT, INC.
 Civil Engineer of Record
 1015 Kennedy Drive
 Suite 201
 Miami, Florida 33133
 (305) 765-6540
 Fax: (305) 765-6541

DATE:
 August 26, 2016

PROJECT:
 TRUMAN WATERFRONT PARK

DATE:
 August 26, 2016

PROJECT:
 TRUMAN WATERFRONT PARK

DATE:
 August 26, 2016

PROJECT:
 TRUMAN WATERFRONT PARK

DATE:
 August 26, 2016

PROJECT:
 TRUMAN WATERFRONT PARK

DATE:
 August 26, 2016

PROJECT:
 TRUMAN WATERFRONT PARK

DATE:
 August 26, 2016

PROJECT:
 TRUMAN WATERFRONT PARK

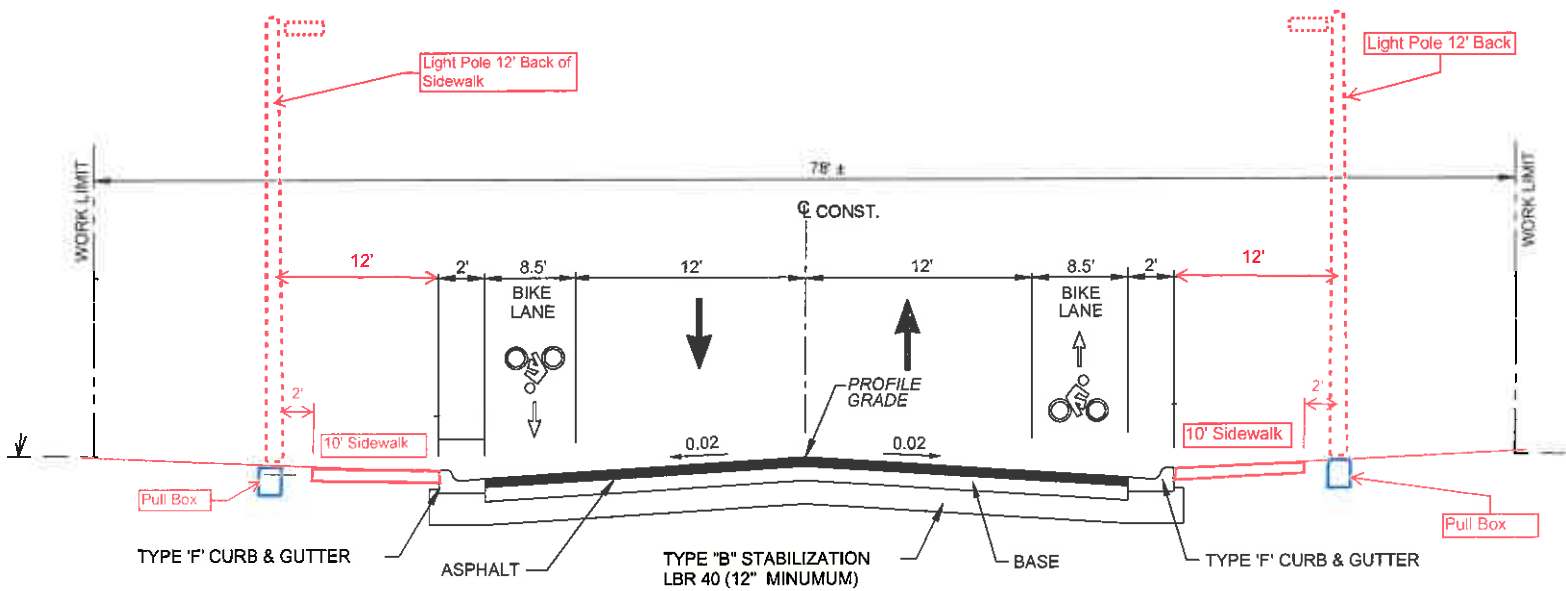
DATE:
 August 26, 2016

PROJECT:
 TRUMAN WATERFRONT PARK

DATE:
 August 26, 2016

PROJECT:
 TRUMAN WATERFRONT PARK

DATE:
 August 26, 2016



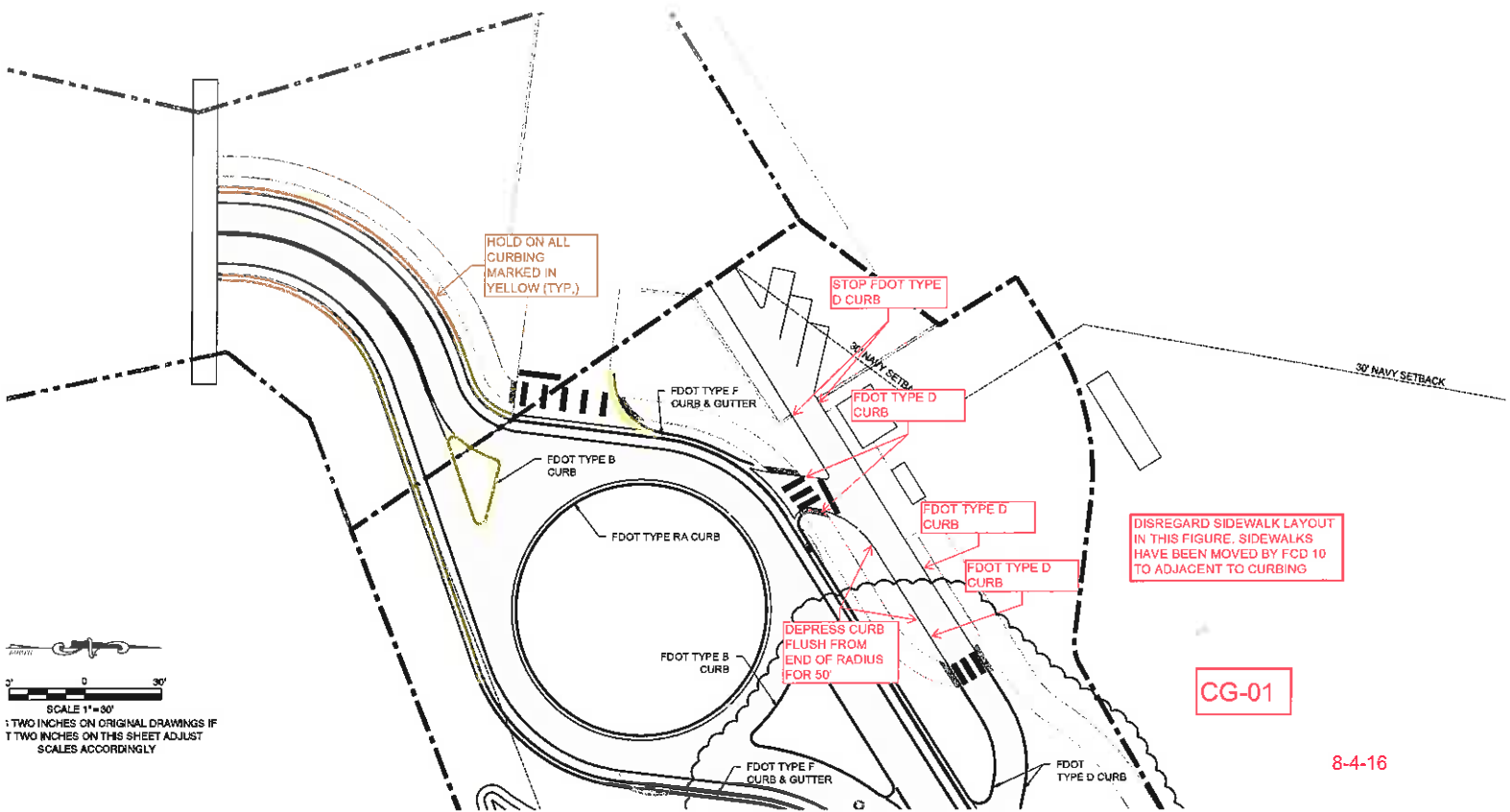
Pull Box & Light Pole Locations TYPICAL SECTION

N.T.S.

Refer to Sheet LM-06 Pedestrian
Lightpole Location Detail for siting light
poles at other locations

Spine Road Circle to Station 13+50

Truman Waterfront Park FCD-010



FCD-10 Revised FZTP Entrance Road Alignment
CAD File furnished to CTS

