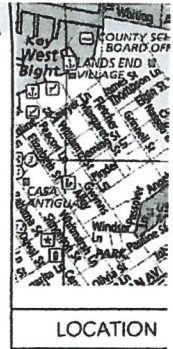
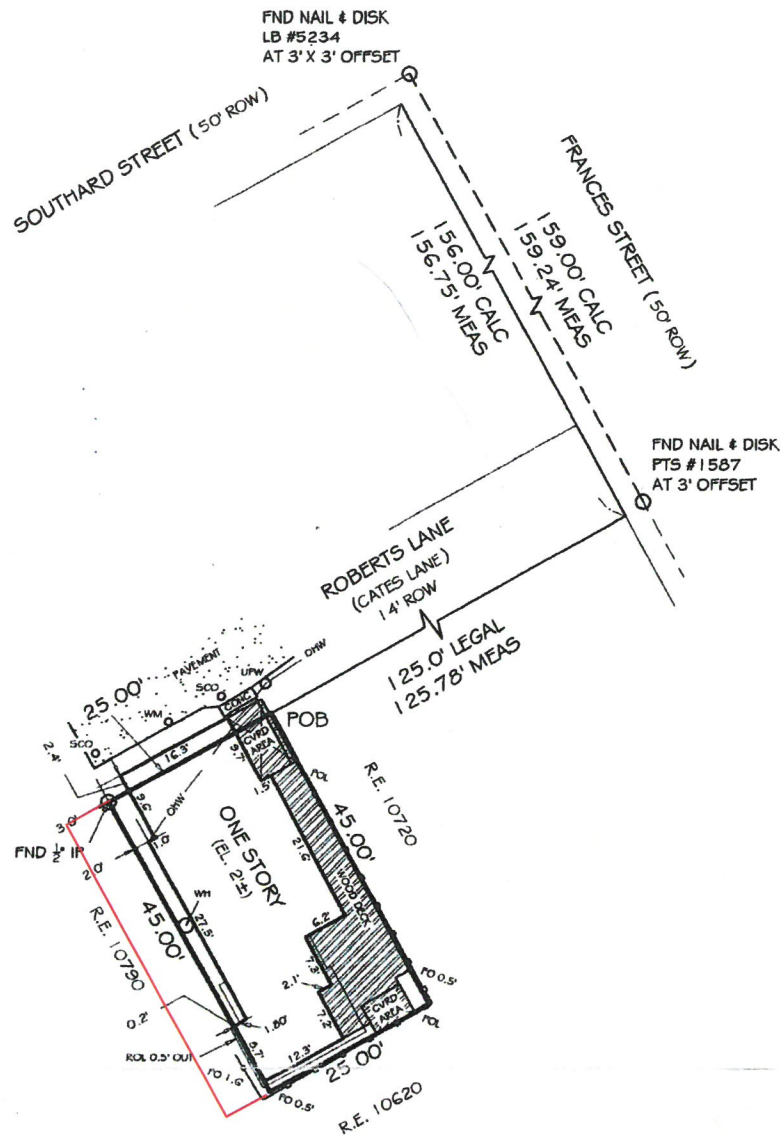


1022 ROBERTS SURVEY



SCALE: 1" = 20'

BEARING BASE:
DERIVED FROM PLAT

ALL ANGLES DEPICTED
ARE 90 DEGREES UNLESS
OTHERWISE INDICATED

ADDRESS:
1022 ROBERTS LANE
KEY WEST, FL
33040

COMMUNITY NO. 120168
MAP NUMBER: 12087C-1516K
MAP DATE: 02/18/05
FLOOD ZONE: X
BASE ELEVATION: N/A

MAP OF BOUNDARY SU Part of Lot 2, Square William A. Whitehead's I of Key West

LEGAL DESCRIPTION -

Part of Lot Two (2) in Square Fifty-Six (56) known and described in the map or plan of the city of Key West by William A. Whitehead in February 1829 and more particularly described as follows: COMMENCING at a point one hundred and twenty-five (125) feet from the corner of Frances Street and an alleyway of five (5) feet (known now as Roberts Lane) and running thence in a Southwesterly direction twenty-five (25) feet; thence at right angles in a Southeasterly direction forty-five (45) feet; thence at right angles in a Northeasterly direction twenty-five (25) feet; thence at right angles in a Northwesterly direction forty-five (45) feet to the point of beginning.

CERTIFIED TO -

MICHAEL MOSCHEL

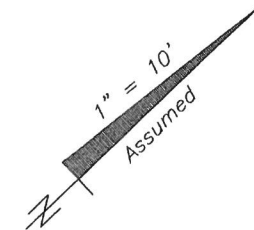
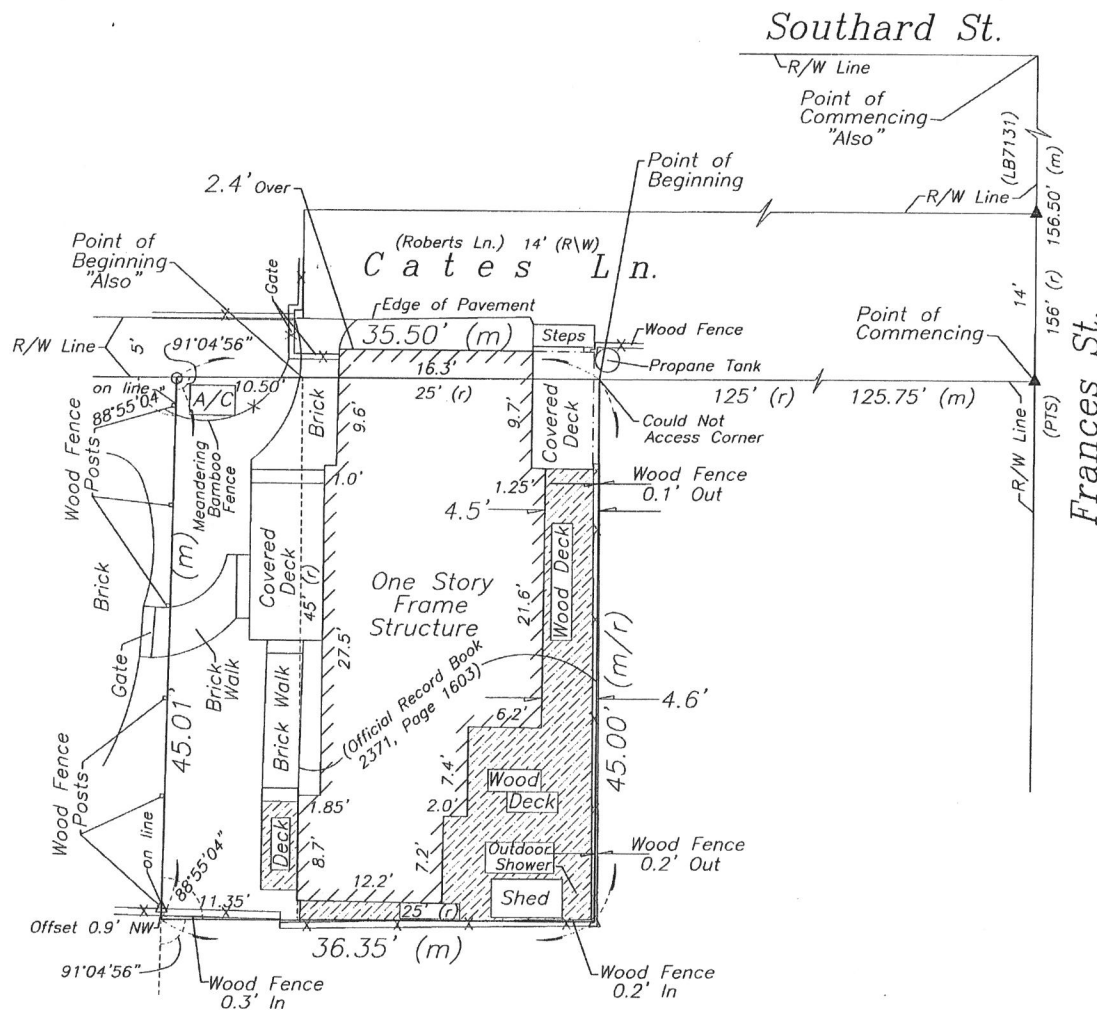
NOTE: FOUNDATIONS BENEATH THE SURFACE ARE NOT SHOWN. MEASURED DIMENSIONS UNLESS INDICATED OTHERWISE.

THE FOLLOWING IS A LIST OF ABBREVIATIONS THAT MAY BE FOUND ON THIS SURVEY

BFP = BACK-FLOW PREVENTER	IP = IRON PIPE	PC = POINT OF CURVE
C & G = 2" CURB & GUTTER	IR = IRON ROD	PRM = PERMANENT CONTROL POINT
CBW = CONCRETE BLOCK WALL	L = ARC LENGTH	PK = PARKER KALON NAIL
CL = CENTERLINE	LS = LANDSCAPING	POB = POINT OF BEGINNING
CLP = CHAINLINK FENCE	MB = MAILBOX	PI = POINT OF INTERSECTION
CM = CONCRETE MONUMENT	MEAS = MEASURED	PCC = POINT OF COMMENCEMENT
CONC = CONCRETE	NGVD = NATIONAL GEODETIC VERTICAL DATUM (1929)	
CVRD = COVERED	NTS = NOT TO SCALE	
DELTA = CENTRAL ANGLE	OHW = OVERHEAD WIRES	
DEASE = DRAINAGE EASEMENT	PC = POINT OF CURVE	
EL = ELEVATION	PM = PASSING METER	
ENCL = ENCLOSURE	PCC = POINT OF COMPOUND CURVE	
EDP = EDGE OF PAVEMENT	PK = PARKER KALON NAIL	
FPE = FINISHED FLOOR ELEVATION	POB = POINT OF BEGINNING	
FH = FIRE HYDRANT	PI = POINT OF INTERSECTION	
FI = FENCE INSIDE	PCC = POINT OF COMMENCEMENT	
FND = FOUND		
FO = FENCE OUTSIDE		
FOL = FENCE ON LINE		
GW = GUY WIRE		

NOTE: LEGAL DESCRIPTIONS HAVE BEEN FURNISHED BY THE CLIENT OR HIS/HER REPRESENTATIVE. PUBLIC RECORDS HAVE NOT BEEN RESEARCHED BY THE SURVEYOR. THE ACCURACY OF THESE DESCRIPTIONS NOR HAVE ADJOINING PROPERTIES BEEN RESEARCHED TO DETERMINE OVERLAPS OR HIATUS.

Boundary Survey Map of part of Lot 2, Square 56
Island of Key West, FL



LEGEND

- ⊙ Found 2" Iron Pipe (Fence Post)
- Set 3/4" Iron Pipe w/cap (6298)
- Found 1/2" Iron Rod (No ID)
- ▲ Found Nail & Disc (PTS) (LB 7131)
- △ Set Nail & Disc (6298)
- (M) Measured
- (R) Record
- (M/R) Measured & Record
- C.B.S. Concrete Block Structure
- R/W Right of Way
- CLF Chain Link Fence
- ⊕ Centerline
- ⊗ Wood Utility Pole
- ⊠ Concrete Utility Pole

Sheet One of Two Sheets

J. LYNN O'FLYNN, Inc.



Professional Surveyor & Mapper
PSM #6298

3430 Duck Ave., Key West, FL 33040
(305) 296-7422 FAX (305) 296-2244

Boundary Survey Report of part of Lot 2, Square 56 Island of Key West, FL

NOTES:

1. The legal description shown hereon was furnished by the client or their agent. This survey does not determine or imply ownership.
2. Underground foundations and utilities were not located.
3. All angles are 90° (Measured & Record) unless otherwise noted.
4. Street address: 1022 Cates Lane, Key West, FL.
5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
7. North Arrow is assumed and based on the legal description.
8. Date of field work: August 30, 2016
9. Ownership of fences is undeterminable, unless otherwise noted.
10. Adjoiners are not furnished.
11. The Survey Report is not full and complete without the attached Survey Map.

BOUNDARY SURVEY OF: Part of Lot Two (2) in Square Fifty-six (56) known and described in the map or plan of the city of Key West by William A. Whitehead in February 1829 and more particularly described as follows: COMMENCING at a point one hundred and twenty-five feet (125) from the corner of Frances Street and an alleyway of five (5) feet (known as Roberts Lane) and running thence in a Southwesterly direction twenty-five (25) feet; thence at right angles in a Southeasterly direction forty-five (45) feet; thence at right angles in a Northeasterly direction (25) feet; thence at right angles in a Northwesterly direction forty-five (45) feet to the point of beginning.

And Also: (Authored by the undersigned)

A parcel of land on the Island of Key West, and known as a part of Lot 2, Square 56, according to Wm. A. Whitehead's diagram of the Island of Key West and more particularly described as follows: COMMENCE at the intersection of the Southeasterly right of way line of Southard Street with the Southwesterly right of way line of Frances Street and run thence Southeasterly along Southwesterly right of way line of the said Frances Street for a distance of 156 feet to the Southeasterly right of way line of Cates Lane (Roberts Lane); thence Southwesterly and at right angles and along the Southeasterly right of way line of the said Cates Lane for a distance of 150.75 feet to the Westerly corner of the lands described in Official Record Book 2371 at Page 1603, of the Public Records of Monroe County, Florida, said point also being the Point of Beginning of the parcel of land being described herein; thence continue Southwesterly along the Southeasterly right of way line of the said Cates Lane for a distance of 10.50 feet; thence Southeasterly with a deflection angle of 88°55'04" to the left and along the Northeasterly face of existing wood fence posts for a distance of 45.01 feet; thence Northeasterly with a deflection angle of 91°04'56" to the left for a distance of 11.35 feet to the Southerly corner of the lands described in Official Record Book 2371 at Page 1603; thence Northwesterly and at right angles along the Southwesterly boundary line of said lands for a distance of 45.00 feet back to the Point of Beginning.

BOUNDARY SURVEY FOR: Pamala N. Heffner;
Smith Oropeza Hawks;
Chicago Title Insurance Company;

I HEREBY CERTIFY that this survey was made under my responsible charge and meets the Standard of Practice as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

J. LYNN O'FLYNN, INC.

J. Lynn O'Flynn, PSM
Florida Reg. #6298

September 2, 2016

9/19/16 Revised "And Also" description

THIS SURVEY
IS NOT
ASSIGNABLE

Sheet Two of Two Sheets

J. LYNN O'FLYNN, Inc.



Professional Surveyor & Mapper
PSM #0298

3430 Duck Ave., Key West, FL 33040
(305) 296-7422 FAX (305) 296-2244