Address: 522 Simonton St. Key West FI 33040 Owner: Glenn R Anderson 305-922-2480

General Contractor/Builder: Kevin McChesney 305-304-6786

Parcel ID: 00009320-000000

Legal address:

KW PT LOT 1 SQR 50 G26-267 COUNTY JUDGES SERIES 3-M9 COUNTY JUDGES DOCKET 1-73-242 OR2097-797/798L/E OR2756-501LET/ADM

Flood Zone: X, Lowest adjacent grade elevation 12.4', Top of bottom floor 14.8' All Elevations Based on NGVD1929 Datum

Zoning: Historic Neighborhood Commercial (HNC-1)

HARC: Yes

Project Description: Rehabilitation of main and attached rear structures including: general rehabilitation of structures, Extension of 1 story addition across rear of house, expansion of 2 story addition across rear of house. Addition of deck, carport, pool and equipment pads.

Coverage calculations:

Lot: 6610 s/f, Coverage limits Structure: 50% (3310 s/f) & Impervious: 60% (3966 s/f)

Existing & Approved Structure (house & assessory structure): 31.8% (2104 s/f) & Impervious: (+front walk) - 33.3% (2204 s/f)

Planned addition coverage change Structure (addition & carport): +372 sq ft. Impervious (+Pool, pads, carport pad -less carport): +750 s/f

New coverage calculations: Structure: 37.4% (2476 s/f) & Impervious: 48.8% (3226 s/f)

Rear yard (lot width x setback): $58.5' \times 15' = 877.5 \text{ sq ft}$

Maximum permitted coverage of rear yard =30% (263.3 sq ft) (includes structures, equipment pad but not pool or permeable decks)

Proposed rear yard coverage = Current: 120 sq ft. (13.7%), new: 144 sq ft (16.4%)

Mimimum Required Open Space = 35% (2313.5 sq ft)

Proposed open space (Lot - impervious - deck) = 44% (2914 sq ft)

Setbacks: Front yard - 5', Side 5', Rear - 5', Rear (attached structures) - 15'

General Engineering Notes:

- 1. All work shall comply with applicable codes.
- 2. This design is based on the 6th Edition (2017) Florida Building Code.
- 3. The Builder shall follow the manufacture specifications and recommendations when selecting the correct connector for the environment and wood type.
- 4. The Builder using these plans shall be responsible for the means, methods, techniques, sequences, procedures and all safety aspects of contruction.
- 5. The Builder shall check and verify all dimensions and elevations.
- 6. Existing underground utilities are not shown and Builder shall contact all utility companies prior to any excavation. Builder shall protect all utilities and shall be responsible for any damages at his
- 7. All lumber for structural members shall be pressure treated Southern Pine.
- 8. Exterior wall windows and doors must be certified and/or listed by an independent laboratory to be structurally capable of resisting a 180 mph wind load as determined by ASCE Standard 7-10 Minimum Design Loads for Building and Other Structures.
- 9. Connections: all connections and connectors for this project have been specified in this design and cannot be changed or substituted without written permission from the engineer of record. Connectors shall be installed as recommended and specified by the manufacturer.
- 10. Concrete shall be a mix designed by a recognized testing lab to achieve a strength of 4000 psi at 28 days with a plastic and workable mix. Concrete to be mixed, placed and cured according to ACI standards and specifications.
- 11. Reinforcing steel shall be ASTM A 615 Grade 60 deformed bars of new billet steel free from oil, scale and loose rust and placed in accordance with ACI standards and specifications.
- 12 Soil supporting concrete slabs on grade shall be compacted to a density of not less than 95 percent of the maximum density as determined by the Standard Proctor Method.

Island of Key West Slab - removed Simonton St. 50' (R/W) Main Structure 58'6" (r) Rehabilitate as required R/W Line 117.00' (m/r) by Professional Engineer "2 Story addition", restore 500 sq ft driveway, chicago and expand upper floor over Cistern Addition brick, herringbone pattern "Cistern Addition" Demo & rebuild per design Move wall 18" back Wood Fence 12' x 21' carport over brick Two Story pad 3' x 10' equipment pad LEGEND Found 1" Iron Pipe (No ID) Extend "Kitchen Addition" Set 3/4" Iron Pipe w/cap (6298) across rear of house Found 1/2" Iron Rod (5234) (Demo one buter wall) Found Nail & Disc (PTS)(unreadable) Set Nail & Disc (6298) 11/27.4 Measured Proposed Deck (permeable) easured & Record C.B.S. Concrete Block Structure Right of Way o.3' out Concrete pad Chain Link Fence Accessory Structure Spa Centerline Approved not built Wood Utility Pole Pool Concrete Utility Pole Overhead Utility Lines Sewer Cleanout Water Meter 58.50' (m) 3' x 8' Pool equipment pad The legal description shown hereon was furnished by the client or their agent.
 This survey does not determine or imply ownership.
 Underground foundations and utilities were not located. 3. All angles are 90° (Measured & Record) unless otherwise noted. Street address: 522 Simonton Street, Key West, FL. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record. North Arrow is assumed and based on the legal description. 8. Date of field work: January 5, 2018 Ownership of fences is undeterminable, unless otherwise noted. 10. Adjoiners are not furnished. BOUNDARY SURVEY OF: Pt. of Lot 1 in Square 50, according to Whitehead's map of Key West, situated in the City of Key West, County of Monroe and State of Florida: COMMENCING at a point on Simonton St. distant 117 ft. from the corner of Simonton and Southard Sts., and running thence along Simonton St. in a N.W. Ty direction 58 ft. and 6 inches; thence at right angles in a S.W. Ty direction 113 ft; thence at right angles in a S.E.'ly direction 58 ft. and 6 inches; thence at right angles in a N.E.'ly direction 113 ft. to the point of beginning on Simonton St. BOUNDARY SURVEY FOR: Glenn R. Anderson and Catherine M. Anderson; Robert Framarin; Spottswood Spottswood & Sterling, PLLC; Chicago Title Insurance Company; I HEREBY CERTIFY that this survey was made under my responsible charge and meets the Standard of Practice as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes J. LYNN O'FLYNN, Inc. J. LYNN O'FLYNN. THIS SURVEY Professional Surveyor & Mapper IS NOT J. Lynn GFlynn, PSM ASSIGNABLE Florida Reg. #6298 3430 Duck Ave., Key West, FL 33040 (305) 296-7422 FAX (305) 296-2244

January 9, 2018

Boundary Survey Map of part of Lot 1, Square 50,

Survey ಶ

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Reh 正 Owner: Glenn R Anderson 522 Simonton St Key West F Tel: 305-922-2480 Contractor: Keven McChesne Tel: 305-304-6786

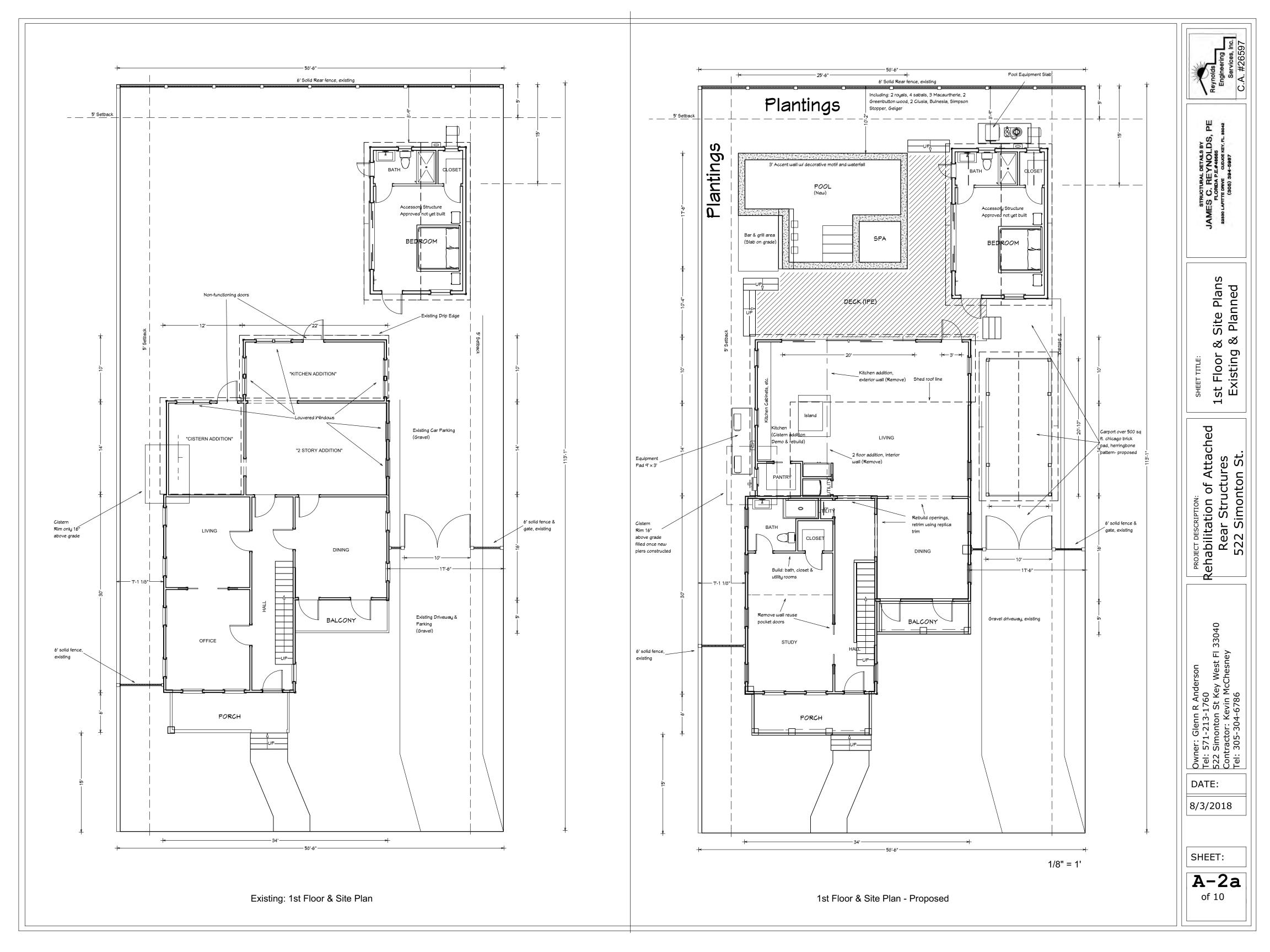
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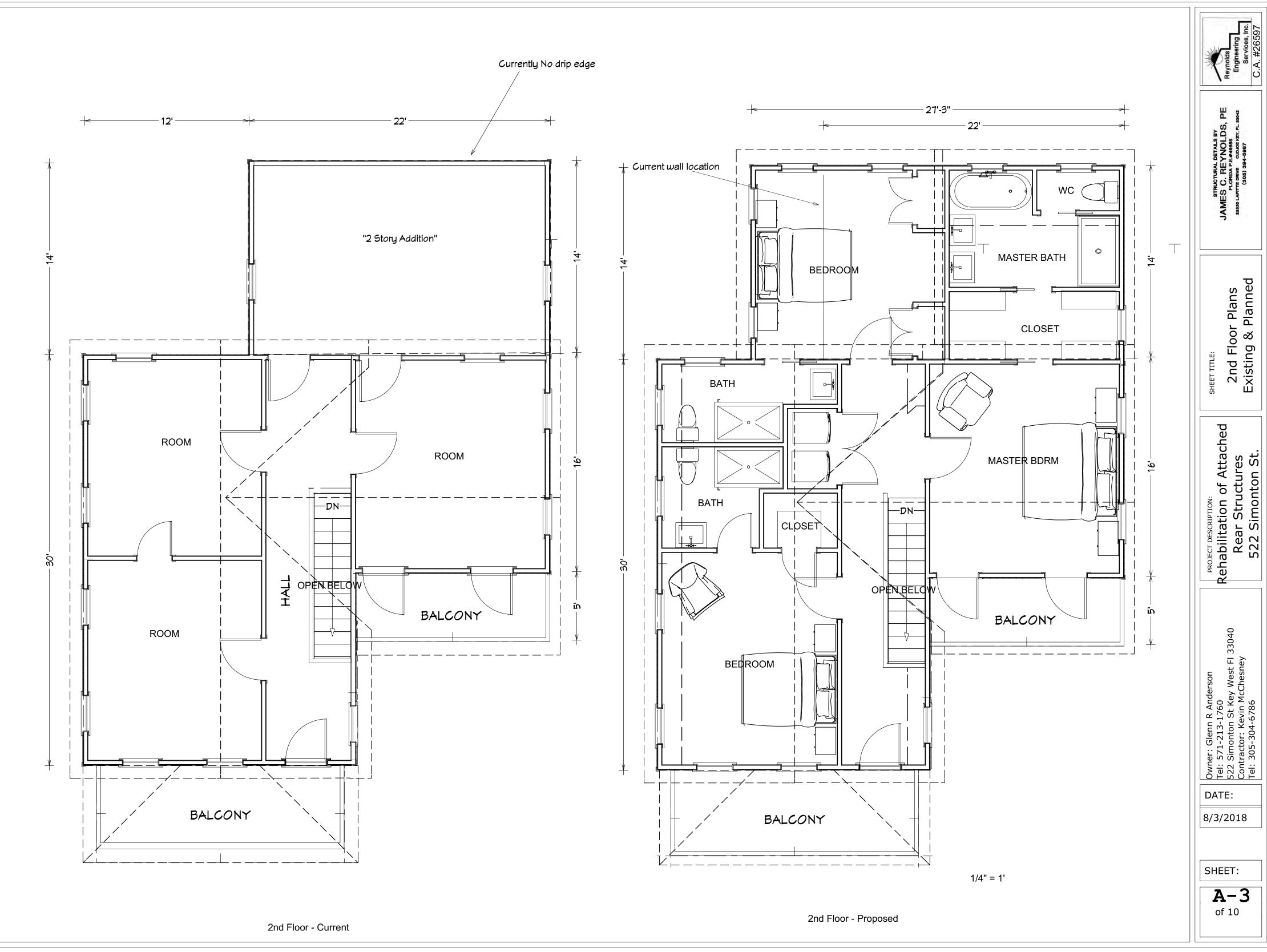
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SHEET:

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Cover & Survey





Siding: 1 x 6 Cedar Lap siding (match existing) - White (match existing)

Trim: 5/4 x 4 Cedar (match existing) White (match existing) New Doors (rear elevation): metal, 3' glass panel door and 20' 6panel sliding, White

New Windows: wood double hung, White

Shutters (side windows only: Wood, Cedar, louvered (match existing), Gray (matching approved color)

Roofing: Metal shingle - Victorian Style, natural color where roofline is greater than 3/12, v-crimp on shed roofs

Carport: Pressure treated pine, white with Metal shingle (Victorian style)

Hand Railings: pressure treated pine, Natural (match existing) Deck: IPE wood natural color

FEMA:

Base Flood Elevation: X Zone Existing structure elvation: 14.8' Proposed Addition Elevation: 14.8' Lowest Adjacent grade: 12.4'

Front: Current & Approved



Front: Proposed



PE STRUCTURAL DETAILS BY
JAMES C. REYNOLDS, P
FLORIDA P.E.#46865
22330 LAFITTE DRIVE CUDJOE KEY, FL 330
(305) 394-5987

Front Elevations Existing & Planned

Rehabilitation of Attached
Rear Structures
522 Simonton St.

⊟ S Owner: Glenn R Anderson Tel: 571-213-1760 522 Simonton St Key West F Contractor: Kevin McChesner Tel: 305-304-6786

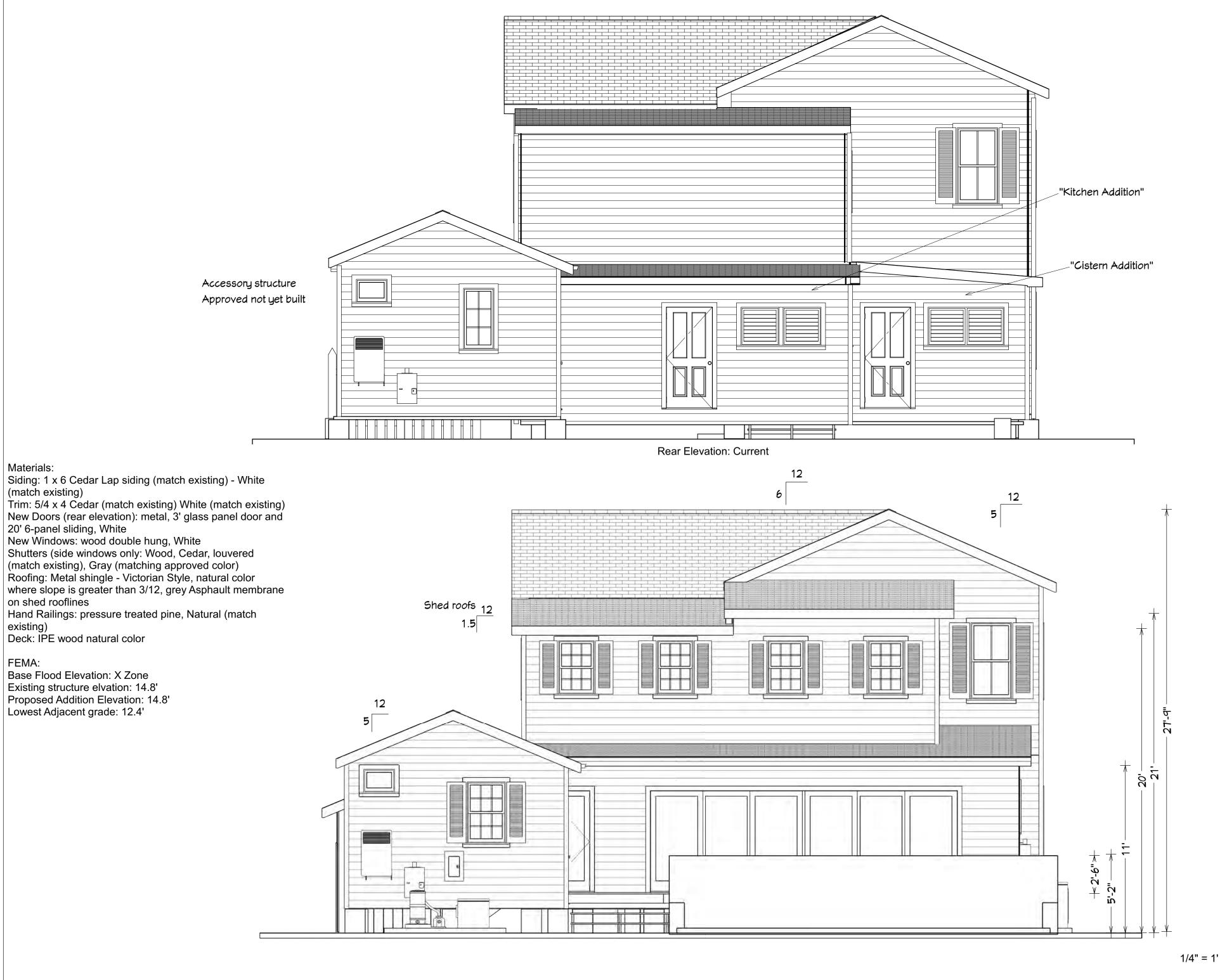
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SHEET:

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Reynolds
Engineering
Services, Inc.

STRUCTURAL DETAILS BY
JAMES C. REYNOLDS, P
FLORIDA P.E.#48885
22330 LAFITTE DRIVE OUDDE REY, PL. 3504

Rear Elevations Existing & Planned

Rehabilitation of Attached
Rear Structures
522 Simonton St.

Owner: Glenn R Anderson Tel: 571-213-1760 522 Simonton St Key West Fl 33040 Contractor: Kevin McChesney Tel: 305-304-6786

DATE:

7/31/2018

SHEET:

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Siding: 1 x 6 Cedar Lap siding (match existing) - White (match existing)

Trim: 5/4 x 4 Cedar (match existing) White (match existing)

New Doors (rear elevation): metal, 3' glass panel door and 20' 6-panel sliding, White

New Windows: wood, double hung, white

Shutters (side windows only: Wood, Cedar, louvered (match existing), Gray (matching approved color) Roofing: Metal shingle - Victorian Style, natural color on 3/12 or great roofs, v-crimp on shed rooflines

Hand Railings: pressure treated pine, Natural (match existing)

Deck: IPE wood natural color

FEMA:

Base Flood Elevation: X Zone Existing structure elvation: 14.8' 2 Story Addition: Proposed Addition Elevation: 14.8' Demo this wall only Lowest Adjacent grade: 12.4' Partial demo of roof Kitchen Addition: Demo this wall Safety railing not shown Cistern Addition Landing & stairs not shown will not be constructed if new deck is approved Demo and rebuild as indicated will not be built if new deck is approved

Left Side, current & approved



1/6" = 1'

Left Side Elevations Existing & Planned

Rehabilitation of Attached
Rear Structures
522 Simonton St.

⊟ S Owner: Glenn R Anderson Tel: 571-213-1760 522 Simonton St Key West F Contractor: Kevin McChesner Tel: 305-304-6786

8/1/2018

DATE:

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Materials:

Siding: 1 x 6 Cedar Lap siding (match existing) - White (match existing) Trim: 5/4 x 4 Cedar (match existing) White (match existing)

New Doors (rear elevation): metal, 3' glass panel door and 20' 6-panel sliding, White

New Windows: wood, double hung, White

Shutters (side windows only: Wood, Cedar, louvered (match existing), Gray (matching approved color) Roofing: Metal shingle - Victorian Style, natural color on 3/12 or greater roof, v-crimp on shed rooflines

Hand Railings: pressure treated pine, Natural (match existing)

Deck: IPE wood natural color

FEMA:

Base Flood Elevation: X Zone Existing structure elvation: 14.8' Proposed Addition Elevation: 14.8' Lowest Adjacent grade: 12.4'

Right side, Current & Approved



Right Side Elevations Existing & Planned

Rehabilitation of Attached
Rear Structures
522 Simonton St.

FI 33040 ey Owner: Glenn R Anderson Tel: 571-213-1760 522 Simonton St Key West F Contractor: Kevin McChesney Tel: 305-304-6786

DATE:

7/31/2018

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Right - proposed

Heron House 516 Simonton (Adjacent Property)

1 car garage



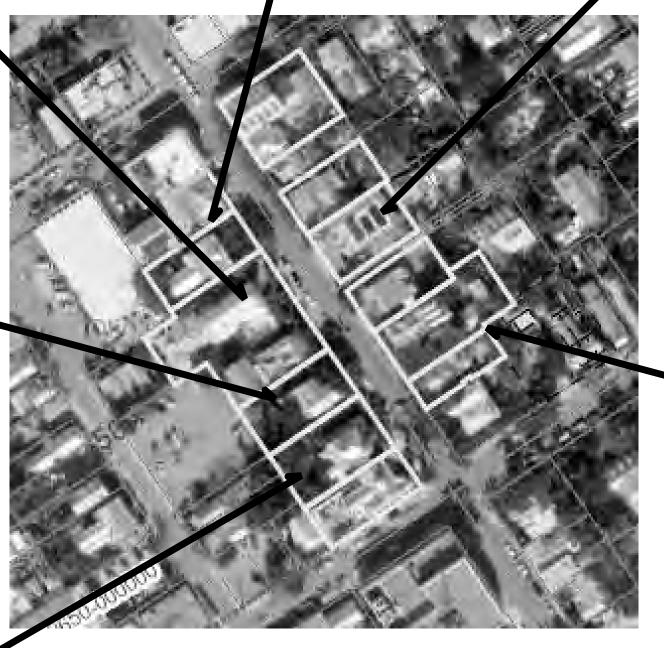
508 & 504 Simonton (Carports)



Marquesa Hotel Simonton (12 car garage)



522 Simonton (proposed carport)



500 Block Simonton



524 Simonton (accessory structure/ former garage?)



526 Simonton (Adjacent Property) 2 car garage

Reynolds
Engineering
Services, Inc.
C.A. #26597

STRUCTURAL DETAILS BY
AMES C. REYNOLDS, PE
FLORIDA PE#46865
22330 LAFITE BING CUDOK KEY, FL 33042

Simonton 500 bloc garages & carport

Rehabilitation of Attache Rear Structures 522 Simonton St.

wner: Glenn R Anderson el: 571-213-1760 22 Simonton St Key West Fl 3304 ontractor: Kevin McChesney

DATE:

8/1/2018

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