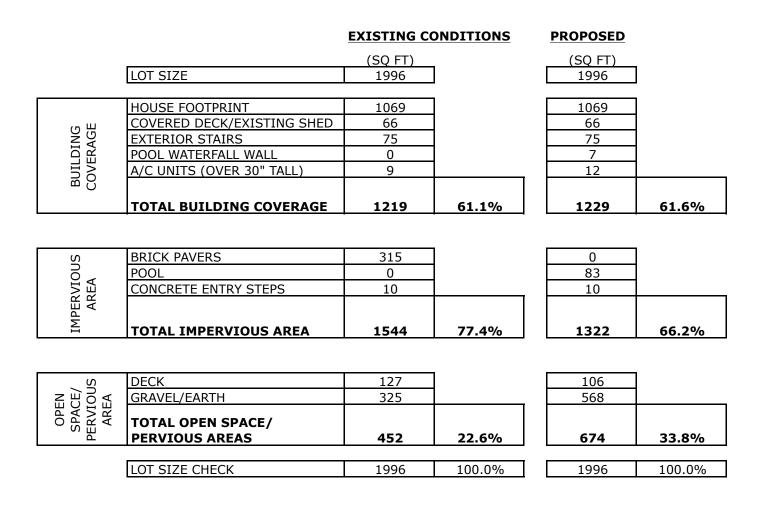
SITE DATA



ZONING: FLOOD ZONE	HMDR AE, BFE = 6 FT		
	ALLOWED	EXISTING	PROPOSED
MAX HEIGHT	30 FT	22 FT 5 IN	NO CHANGE
BUILDING COVERAGE	40% MAX	61.1%	61.6%
IMPERVIOUS RATIO	60% MAX	77.4%	66.2%
OPEN SPACE	35% MIN	22.6%	33.8%
MINIMUM LOT SIZE	4,000 SQ FT	1,996 SQ FT	NO CHANGE
MINIMUM LOT WIDTH	40 FT	25 FT 10 IN	NO CHANGE
MINIMUM LOT DEPTH	90 FT	80 FT	NO CHANGE

MINIMUM SETBACKS	ALLOWED	EXISTING	PROPOSED	
FRONT	10 FT	1 FT 5 IN	NO CHANGE	
EAST SIDE	5 FT	1 FT 11 in	NO CHANGE	
WEST SIDE	5 FT	2 FT 2 IN	NO CHANGE	
REAR*	15 FT	25 FT	NO CHANGE	
*POOL AND POOL WALL MEET MINIMUM 5FT SETBACK FROM EACH PROPERTY LINE				



LOCATION MAP

JACOBSON RESIDENCE

VARIANCE PACKAGE





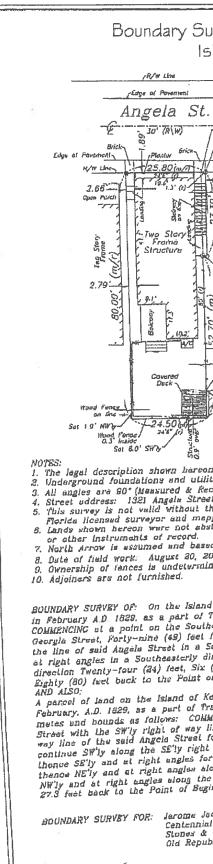


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Δ_401

the hot water heater, washer, and dryer.

All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the city, county, and the state of Florida. In the city of Key West, applicable Codes forming the basis of this design and compliance requirements for the contractor include:

BUILDING: Florida Building Code, Residential, 2017 ELECTRICAL: Florida Building Code, Residential, 2017 PLUMBING: Florida Building Code, Plumbing, 2017 MECHANICAL: Florida Building Code, Mechanical, 2017 EXISTING BUILDING: Florida Building Code, Existing Building, 2017



August 23, 3010

I VNN-0'FLYNN

SHEET INDEX

COVER SHEET SITE PLAN FLOOR PLANS NORTH & SOUTH ELEVATIONS EAST ELEVATION WEST ELEVATION A-401 SECTIONS

SCOPE OF WORK

Up until 2003, the house contained two units, one downstairs and one upstairs. During a 2003 remodel, the downstairs kitchen was removed leaving the only kitchen upstairs. The owners obtained Build-back rights for the downstairs kitchen from the City of Key West in a letter dated October 23, 2018.

The project consists of expanding a rear laundry room by 88 square feet to provide a kitchen on the first floor. The existing shed roof on the laundry room will be extended over the new addition. Interior renovations include adding a half bath and relocating

Rotting telephone poles that serve as the structure to an existing roof deck will be replaced with concrete footers and wood columns.

GENERAL NOTES

Boundary Survey Map of part of Tract 7, Island of Key West SU' TR(W) rPoint of Beginning LE'GE'ND © Found 2" Iron Pipe (Fence Past) Sel 3/4" Wan Pipe w/cop (6203, -1.30' (m/r) Found 1/2" Iron Rod (5234) ▲ Found Nail & Disc (PTS) △ Set Noll & Disc (6298) (W) Measurad (R) Record (M/R) Muasured & Record C.B.S. Cancrete Block Structure R\W Right of Woy CLF Chain Link Fonce & Contentine Ø Wood Utility Pole Concrate Utility Pole -p- Overhead Utility Lines NOTES:
I. The legal description shown bareon was furnished by the client or their agent.
2. Underground foundations and utilities were not located.
3. All angles are 80° (Massured & Record) unless otherwise noted.
4. Street address: 1321 Angela Street, Key West, FL.
5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
8. Lands shown hereon were not abstracted for rights-of-way, ensements, ownership, or other instruments of record. 8. Lands shown hereon with hot escate the legal description.
7. North Arrow is assumed and based on the legal description.
8. Date of field work: August 20, 2010.
9. Ownership of tences is undeterminable, unless otherwise noted.
10. Adjoiners are not furnished. BOUNDARY SURVEY OF: On the Island of Key West and known on William A. Whitehead's Map delineated in February AD 1829. as a part of Tract Seven (7), but now more particularly described as follows: COMMENCING at a point on the Southeesterly side of Angela Street (continued) between Florida and Georgia Street, Forty-nine (49) feet from the corner of Florida and Angela Street sund running along the line of suid Angela Street in a Southwesterly direction Twenty-four (24) feet Six (8) inches; thence at right angles in a Southeesterly direction Eighty (80) feet; thence at right angles in a Northeesterly direction Twenty-four (24) feet, Six (6) inches; thence at right angles in a Northwesterly direction Eighty (80) feet back to the Foint of Beginning. AND ALSO: A parcel of land on the Island of Key West and known on William A. Whitehead's map delincated in A parcel of land on the Island of Key West and known on William A. Whitehead's map delincated in AND ALSO: AND ALSO: A parcel of land on the Island of Key West and known on William A. Whitehead's map delineated in February. A.D. 1829, as a part of Tract Seven (7), said parcel being more particularly described by February. A.D. 1829, as a part of Tract Seven (7), said parcel being more particularly described by metes and bounds as follows: COMMENCING at the intersection of the SE'ly right of way line of Angela Street with the SW'ly right of way line of Florida Street and run thence SW'ly along the SE'ly right of street with the SW'ly right of way line of Florida Street and run thence SW'ly along the SE'ly right of room time SW'ly along the SE'ly right of way line of the said Angela Street for a distance of 13 feet; continue SW'ly along the SE'ly right of way line of 27.5 feet to the SE'ly lace of an existing stairway; thence SE'ly and at right angles for a distance of 27.5 feet to the SE'ly lace of an existing stairway; thence NE'ly and at right angles along said SE'ly face of stairway for a distance of 1.5 feet; NW'ly and at right angles the NE'ly face of said stairway and extension thereof for a distance of NW'ly and at right angles along the NE'ly face of said stairway and extension thereof for a distance of 27.5 feet back to the Point of Beginning. BOUNDARY SURVEY FOR: Jerome Jucobson & Mary M. Gilbert-Jacobsou: Centennial Bank: Stones & Cardenus; Gid Republic National Title Insurance Company: LYNN O'FLYNN, Inc. Professional Surveyor & Happer 3430 Duck Ave., Key Wost. FL 33040 (305) 205-7422 FAX (305) 205-2244 SURVEY



Korth Collaborative Design

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Heather Korth, AIA FL License No: AR98012 475 W. 12th Ave. Unit 15G Denver, CO 80204 Heather@KorthCollaborativeDesign.com 720.840.9578

JACOBSON RESIDENCE **1321 ANGELA STREET**

KEY WEST, FL 33040

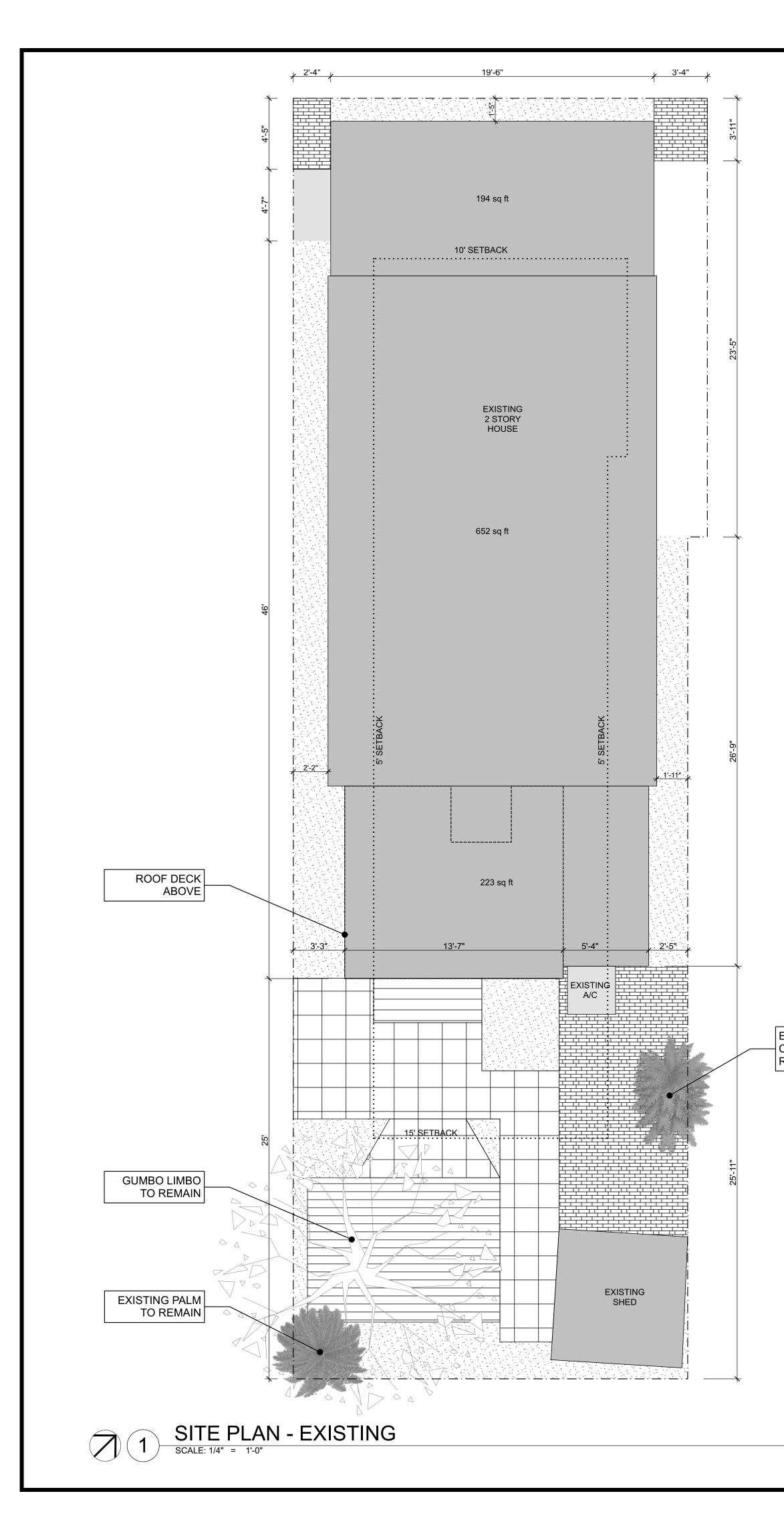
OWNER JEROME JACOBSON & MARY GILBERT-JACOBSON 1321 ANGELA STREET KEY WEST, FL 33040

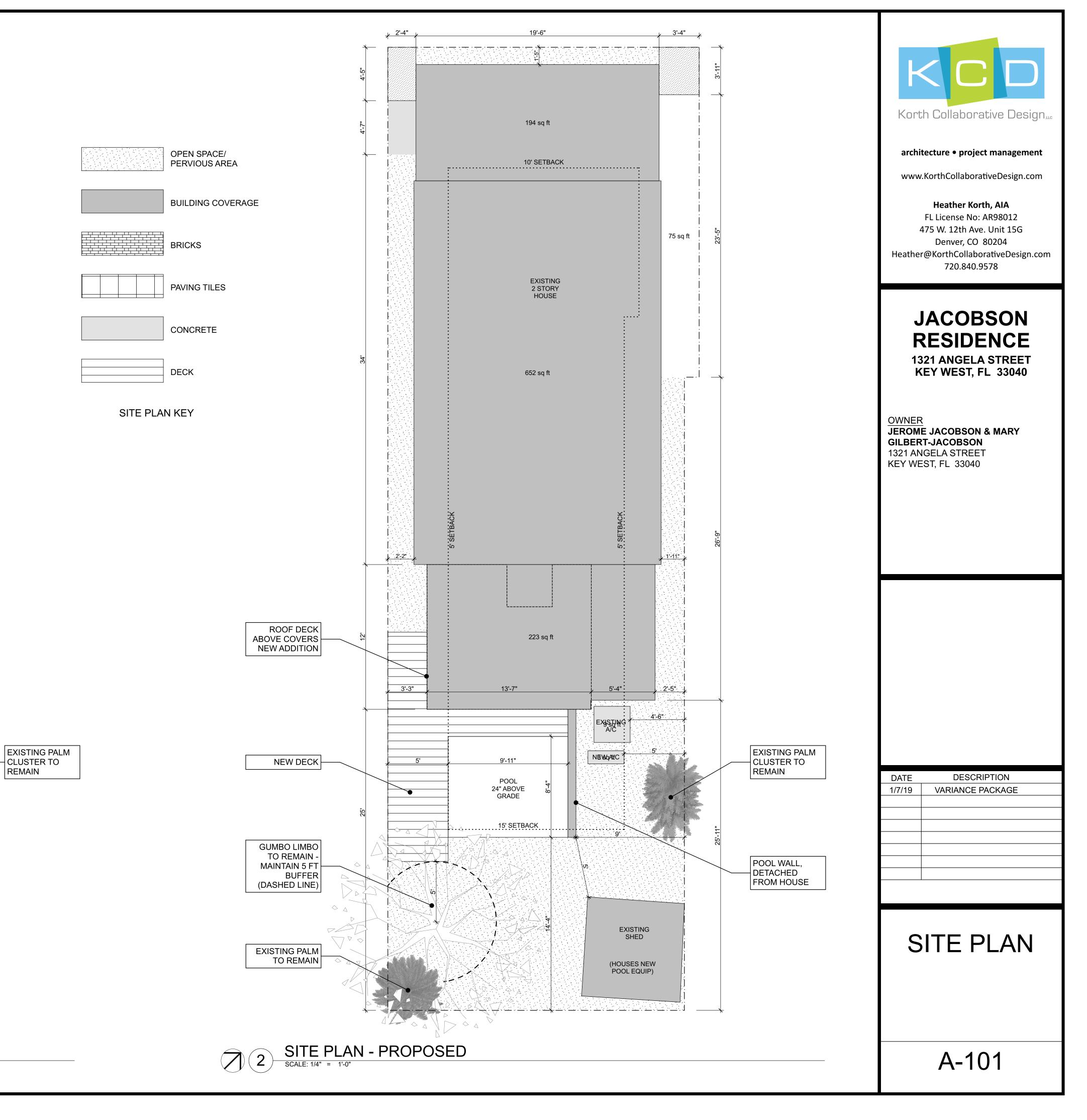
DATE 1/7/19

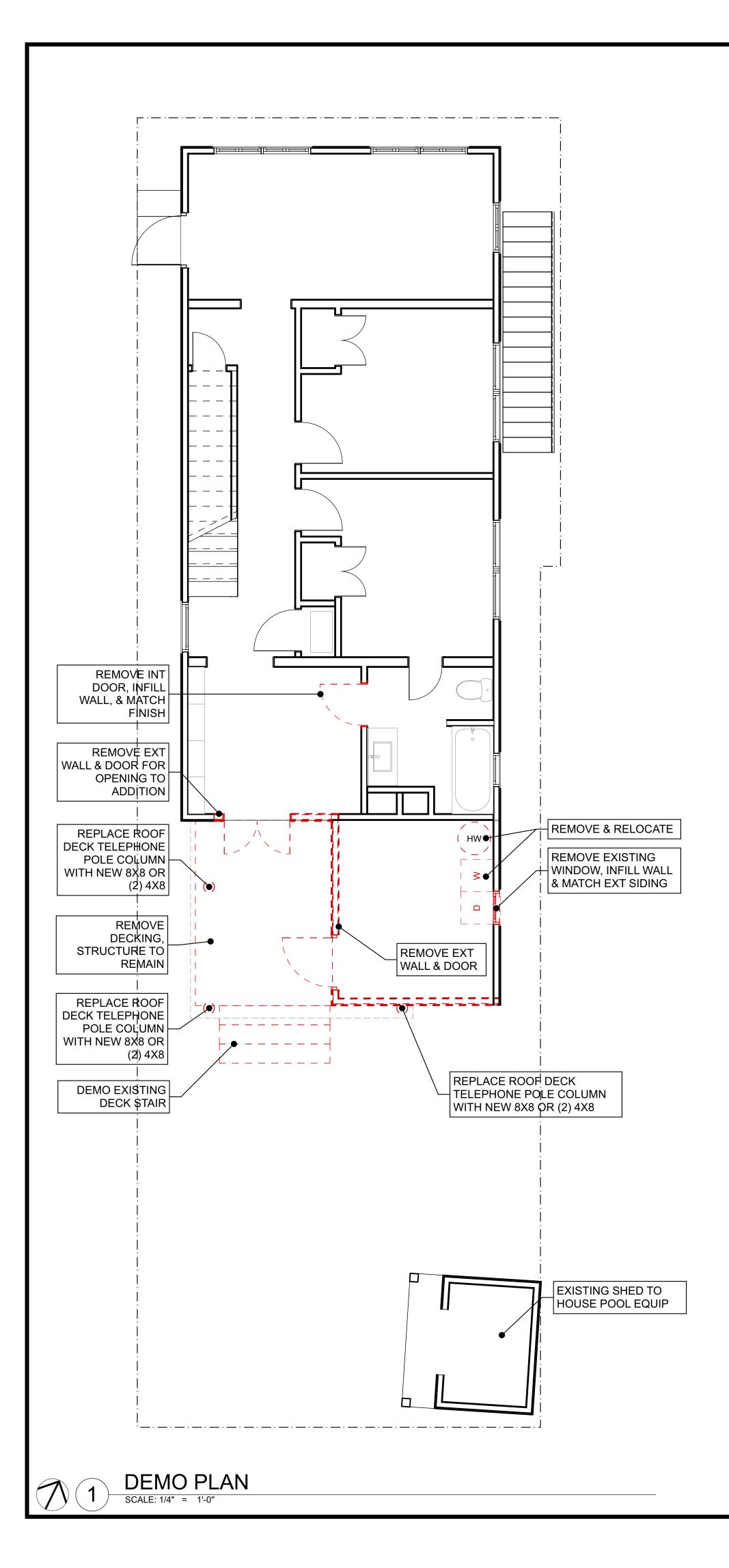
DESCRIPTION VARIANCE PACKAGE

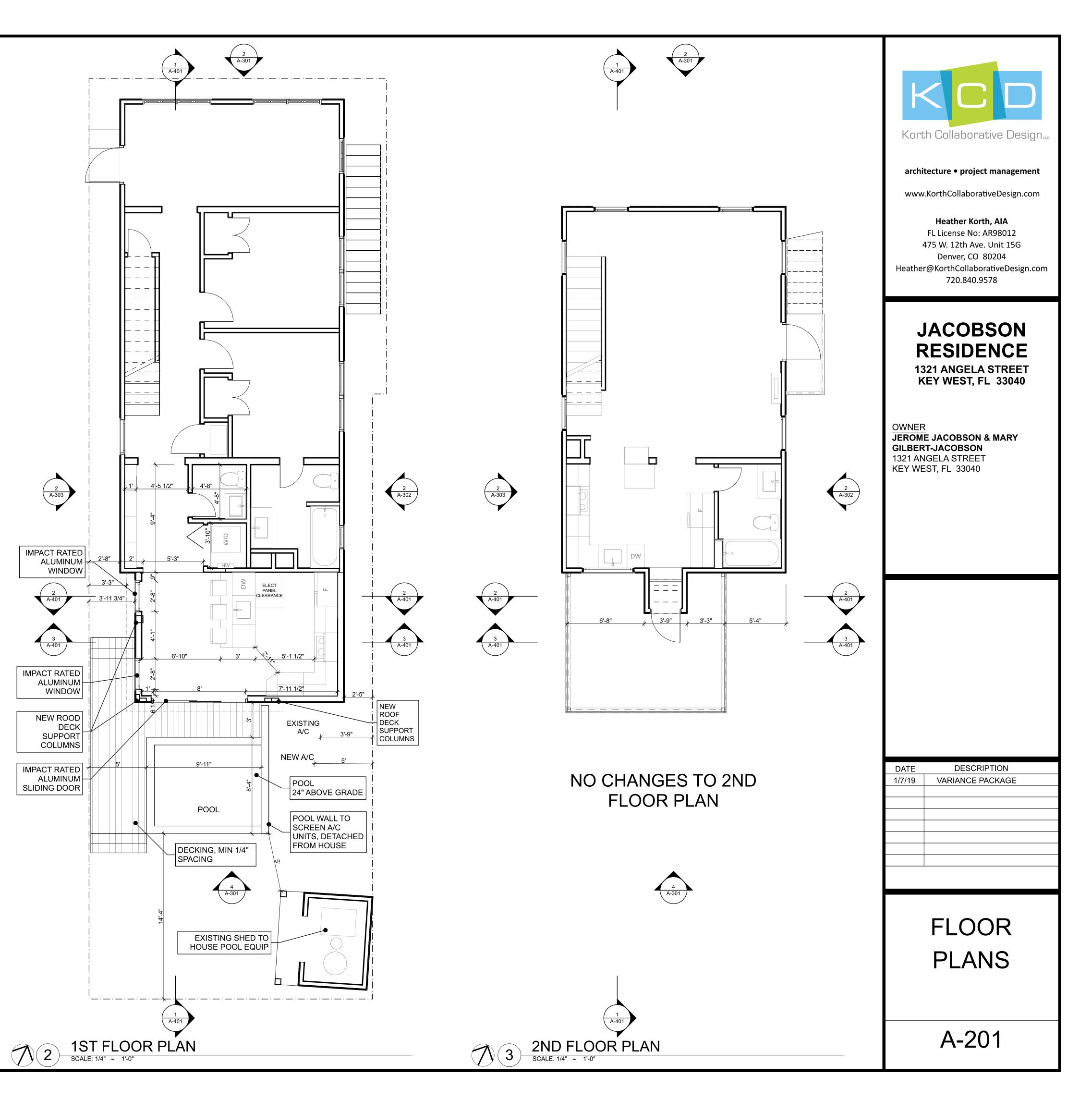
COVER SHEET

A-001









ELEVATION NOTES:

- 1. POOL, 24" ABOVE GRADE
- 2. POOL WALL TO SCREEN A/C CONDENSERS
- 3. NEW A/C CONDENSER, ELEVATED OFF OF GROUND 4. EXISTING A/C UNIT TO REMAIN
- 5. POOL EQUIPMENT TO BE LOCATED IN EXISTING SHED
- 6. REPLACE ROOF DECK TELEPHONE COLUMNS WITH NEW 8X8 OR (2) 4X8 COLUMNS
- 7. STANDING SEAM METAL ROOF
- 8. NOVELTY SIDING TO MATCH EXISTING
- 9. NEW IMPACT RATED ALUMINUM WINDOWS 10. NEW IMPACT RATED ALUMINUM SLIDING DOOR
- 11. NEW IMPACT RATED SKYLIGHT



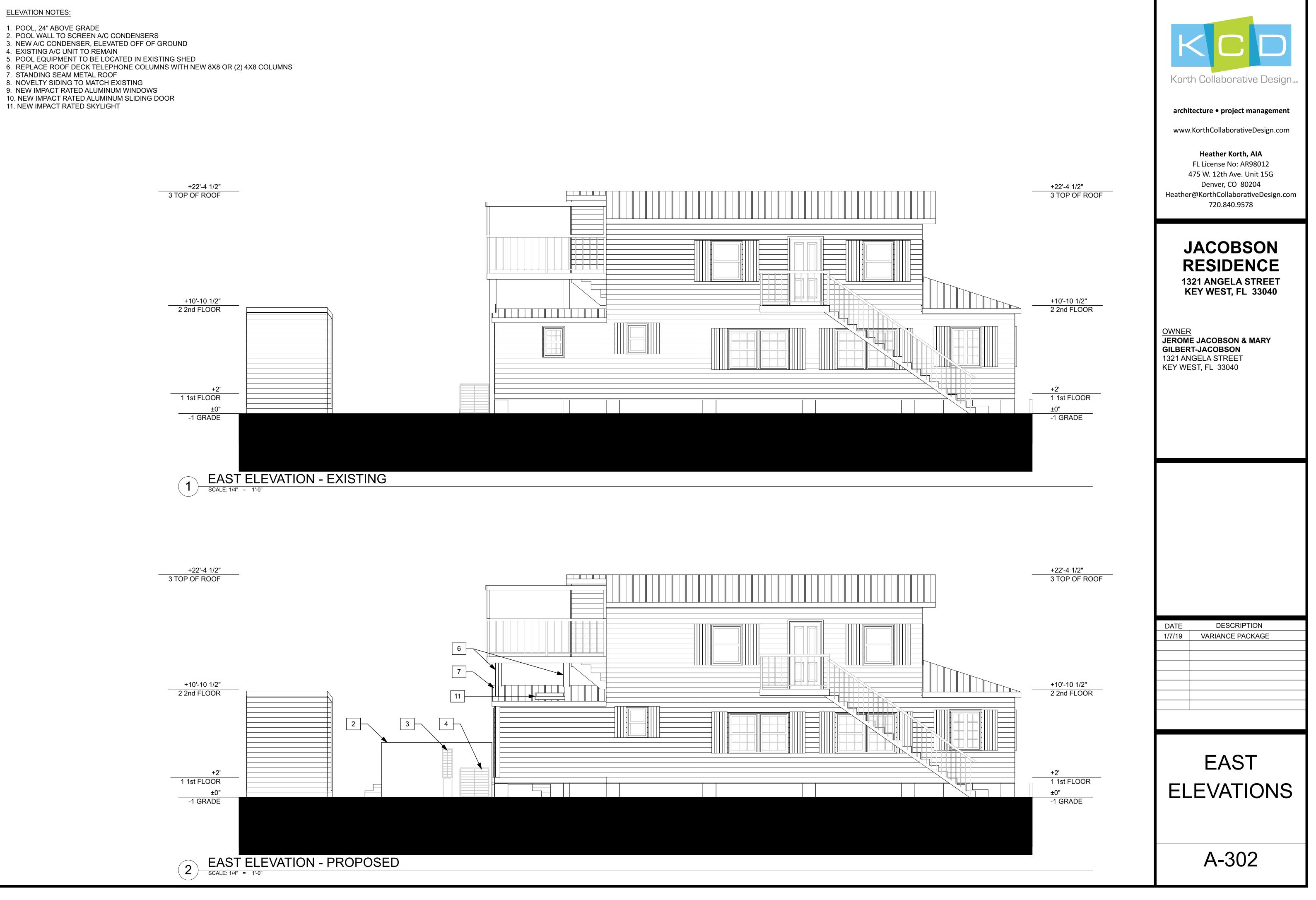


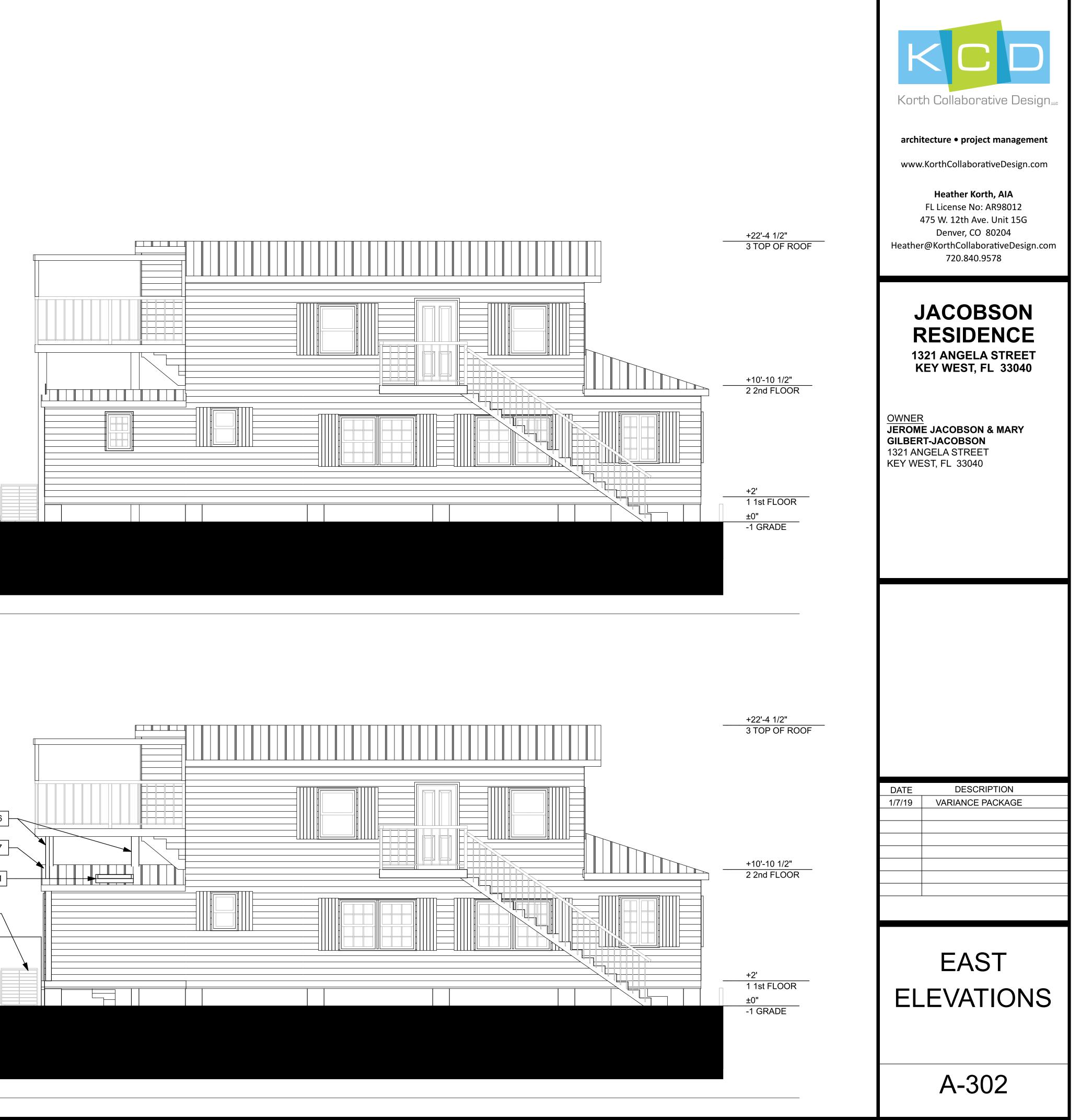
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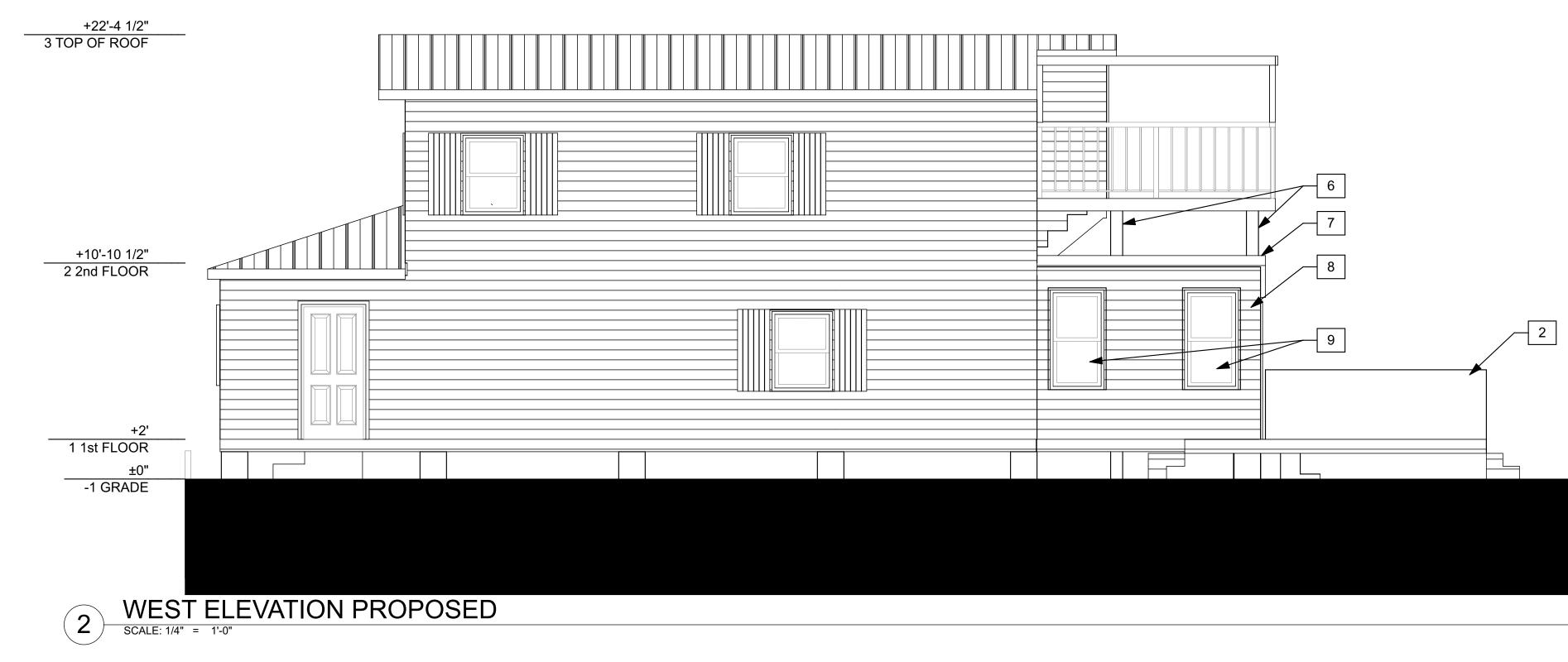


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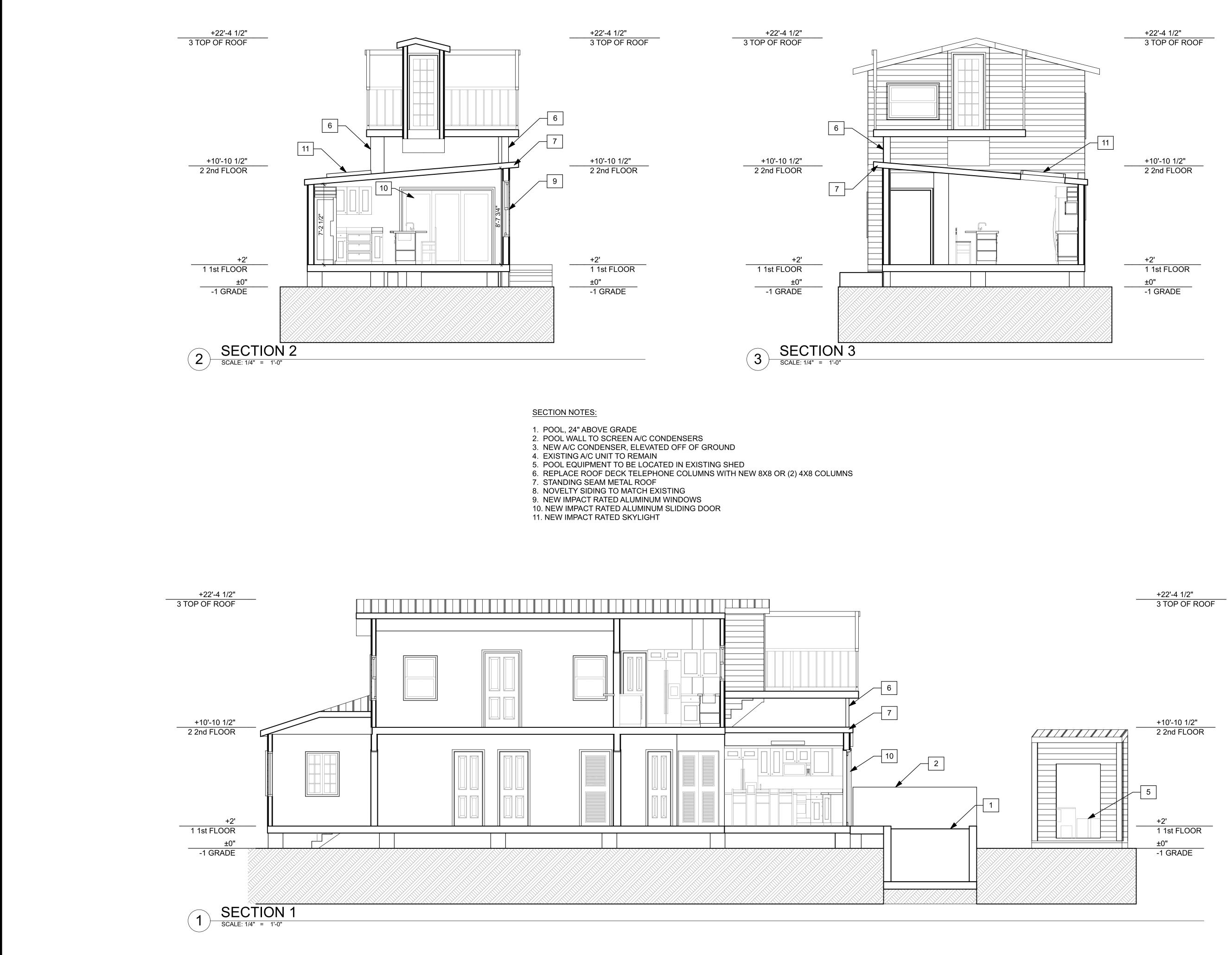
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KEY WEST, FL 33040

OWNER JEROME JACOBSON & MARY GILBERT-JACOBSON 1321 ANGELA STREET KEY WEST, FL 33040

DATE 1/7/19

DESCRIPTION VARIANCE PACKAGE

SECTIONS

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