



Historic Architectural Review Commission Staff Report for Item 2

To: Chairman Bryan Green and Historic Architectural Review
Commission Members

From: Kathleen McDonald, MHP
Historic Preservation Planner II

Meeting Date: September 9, 2019

Applicant: Bert Bender, Bender & Associates

Application Number: H2019-0029

Address: #801 Caroline Street

Description of Work

Demolition of non-historic roof and structural components.

Site Facts

The site under review has been used for decades as an open-air eatery. The operation was started out of a food wagon on Duval Street over 25 years ago. Over the years the institution, known as BO's Fish Wagon, has undergone several expansions to the roof around the original wagon.

The current roof structure under review is not historic. The roof components are not optimum for weather-proofing, they are non-conforming, and they do not meet current building codes.

Ordinances Cited on Review

- Section 102-217 (2), demolition for non-contributing or non-historic structures of the Land Development Regulations.

Staff Analysis

A Certificate of Appropriateness is under review for the demolition of non-historic roof structure. The structure was built less than 50 years ago and does not contribute to the historic character of the site or the district.

The structure is used as the roof covering for the open-air eatery. The historic architectural review commission shall not issue a certificate of appropriateness that would result in:

- (1) *Removing buildings or structures that are important in defining the overall historic character of a district or neighborhood so that the character is diminished;*

It is staff's opinion that the removal of the non-historic roof structure will have no effect on the historic character of the open-air eatery.

- (2) *Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space;*

The roof structure under review is not historic.

- (3) *Removing an historic building or structure in a complex; or removing a building facade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood.*

The roof structure under review is not a historic resource that contributes to the historic context.

- (4) *Removing buildings or structures that would otherwise qualify as contributing, as set forth in section 102-62(3).*

It is staff's opinion that the non-historic roof structure in question will not qualify as a contributing element to the site or to the historic district in the near future.

It is staff's opinion that the Commission can review the request for demolition. If approved this will be the only required reading for demolition.

APPLICATION

HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS

\$400 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE



City of Key West

1300 WHITE STREET
KEY WEST, FLORIDA 33040

HARC COA # 19-0029	REVISION #	INITIAL & DATE
FLOOD ZONE AE7	ZONING DISTRICT	BLDG PERMIT #

A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL

ADDRESS OF PROPOSED PROJECT:

NAME ON DEED:

OWNER'S MAILING ADDRESS:

APPLICANT NAME:

APPLICANT'S ADDRESS:

APPLICANT'S SIGNATURE:

801 CAROLINE STREET	
CITY OF KEY WEST	PHONE NUMBER 305.797-5590
BUDDY & HOLLY OWEN, KEY WEST, FL.	EMAIL FISHWAGON@COMCAST.NET
BERT BENDER	PHONE NUMBER 305.296-1347
BENDER & ASSOCIATES ARCH: 410 ANGELA ST., KEY WEST, FL. 33040	EMAIL BBENDER@BENDERARCHITECTS.COM
	DATE 7.26.2019

ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS ☐ RELOCATION OF A STRUCTURE ☐ ELEVATION OF A STRUCTURE ☐

PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES ☐ NO ☒ INVOLVES A HISTORIC STRUCTURE: YES ☐ NO ☒

PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES ☐ NO ☒

DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.

GENERAL: REPLACEMENT OF EXISTING COMPONENTS WITH A NEW ROOFING.

MAIN BUILDING:

DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX):

APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE
PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS TO HARC@CITYOFKEYWEST-FL.GOV

ACCESSORY STRUCTURE(S): N/A	
PAVERS: N/A	FENCES: N/A
DECKS: N/A	PAINTING: N/A
SITE (INCLUDING GRADING, FILL, TREES, ETC.): N/A	POOLS (INCLUDING EQUIPMENT): N/A
ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC.): N/A	OTHER:

OFFICIAL USE ONLY:		HARC COMMISSION REVIEW	EXPIRES ON:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:	
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:	
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:	
REASONS OR CONDITIONS:			
STAFF REVIEW COMMENTS:			
FIRST READING FOR DEMO:		SECOND READING FOR DEMO:	
HARC STAFF SIGNATURE AND DATE:		HARC CHAIRPERSON SIGNATURE AND DATE:	

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.

HARC Certificate of Appropriateness: Demolition Appendix



City of Key West

1300 WHITE STREET

KEY WEST, FLORIDA 33040

HARC COA #	INITIAL & DATE
ZONING DISTRICT	BLDG PERMIT #

ADDRESS OF PROPOSED PROJECT:

801 CAROLINE ST.

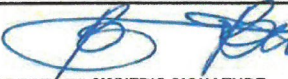
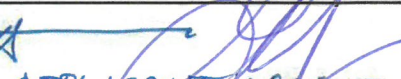
PROPERTY OWNER'S NAME:

BUDDY + HOLLY OWEN / CITY OF KEY WEST

APPLICANT NAME:

BERT BENDER / BENDER & ASSOCIATES

I hereby certify I am the owner of record and that the work shall conform to all applicable laws of this jurisdiction. By receiving a Certificate of Appropriateness, I realize that this project will require a Building Permit approval **PRIOR to proceeding with the work outlined above** and that a final inspection is required under this application. I also understand that **any changes to an approved Certificate of Appropriateness must be submitted for review.**

 PROPERTY OWNER'S SIGNATURE	 APPLICANT NAME	BERT BENDER 13 AUGUST 2019 DATE AND PRINT NAME
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DETAILED PROJECT DESCRIPTION OF DEMOLITION

DEMOLITION OF EXISTING ROOF + RECONSTRUCTION WITH NEW MATERIALS

CRITERIA FOR DEMOLITION OF CONTRIBUTING OR HISTORIC STRUCTURES:

Before any Certificate of Appropriateness may be issued for a demolition request, the Historic Architectural Review Commission must find that the following requirements are met (please review and comment on each criterion that applies);

(1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration or it does not meet any of the following criteria:

(a) The existing condition of the building or structure is irrevocably compromised by extreme deterioration.

N/A

(2) Or explain how the building or structure meets the criteria below:

(a) Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction.

N/A

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

(b) Is not specifically associated with events that have made a significant contribution to local, state, or national history.

N/A

(c) Has no significant character, interest, or value as part to the development, heritage, or cultural characteristics of the city, state or nation, and is not associated with the life of a person significant in the past.

N/A

(d) Is not the site of a historic event with significant effect upon society.

N/A

(e) Does not exemplify the cultural, political, economic, social, or historic heritage of the city.

N/A

(f) Does not portray the environment in an era of history characterized by a distinctive architectural style.

N/A

(g) If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif.

N/A

(h) Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and does not exemplify the best remaining architectural type in a neighborhood.

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

N/A

(i) Has not yielded, and is not likely to yield, information important in history.

N/A

CRITERIA FOR DEMOLITION OF NON-CONTRIBUTING OR NON-HISTORIC STRUCTURES:

The following criteria will also be reviewed by the Historic Architectural Review Commission for proposed demolitions. The Commission shall not issue a Certificate of Appropriateness that would result in the following conditions (please review and comment on each criterion that applies);

(1) Removing buildings or structures that are important in defining the overall historic character of a district or neighborhood so that the character is diminished.

REMOVAL AND REPLACEMENT WILL MAINTAIN THE
EXISTING CHARACTER

(2) Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space.

NO CHANGES TO EXISTING RELATIONSHIPS
ARE EXPECTED

(3) Removing an historic building or structure in a complex; or removing a building facade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood.

NO CHANGES TO EXISTING HISTORIC STRUCTURES
IS PLANNED

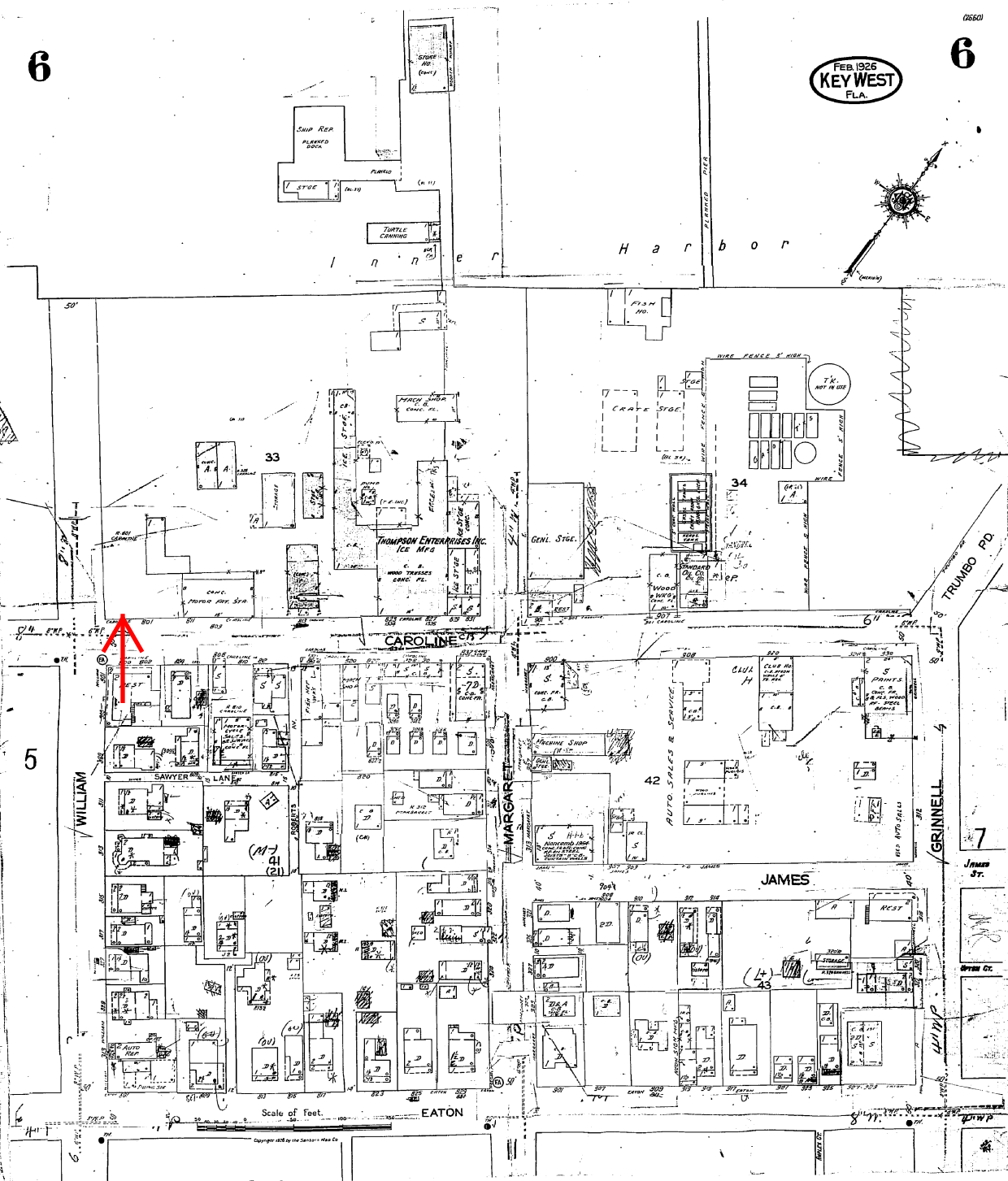
(4) Removing buildings or structures that would otherwise qualify as contributing.

NO HISTORIC BUILDINGS ARE ON THIS SITE.

SANBORN MAPS

6

6

FEB. 1926
KEY WEST
FLA.

The Sanborn Library, LLC

This Sanborn® Map is a certified copy produced by Environmental Data Resources, Inc. under arrangement with The Sanborn Library, LLC. Information on this Sanborn® Map is derived from Sanborn field surveys conducted in:

Copyright © 1962 The Sanborn Library, LLC NFS
Year EDR Research Associate

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PROJECT PHOTOS





ONLY WOOD GRILL
FROM WILLIAM



BO'S FROM CAROLINE



BO'S FROM WILLIAM



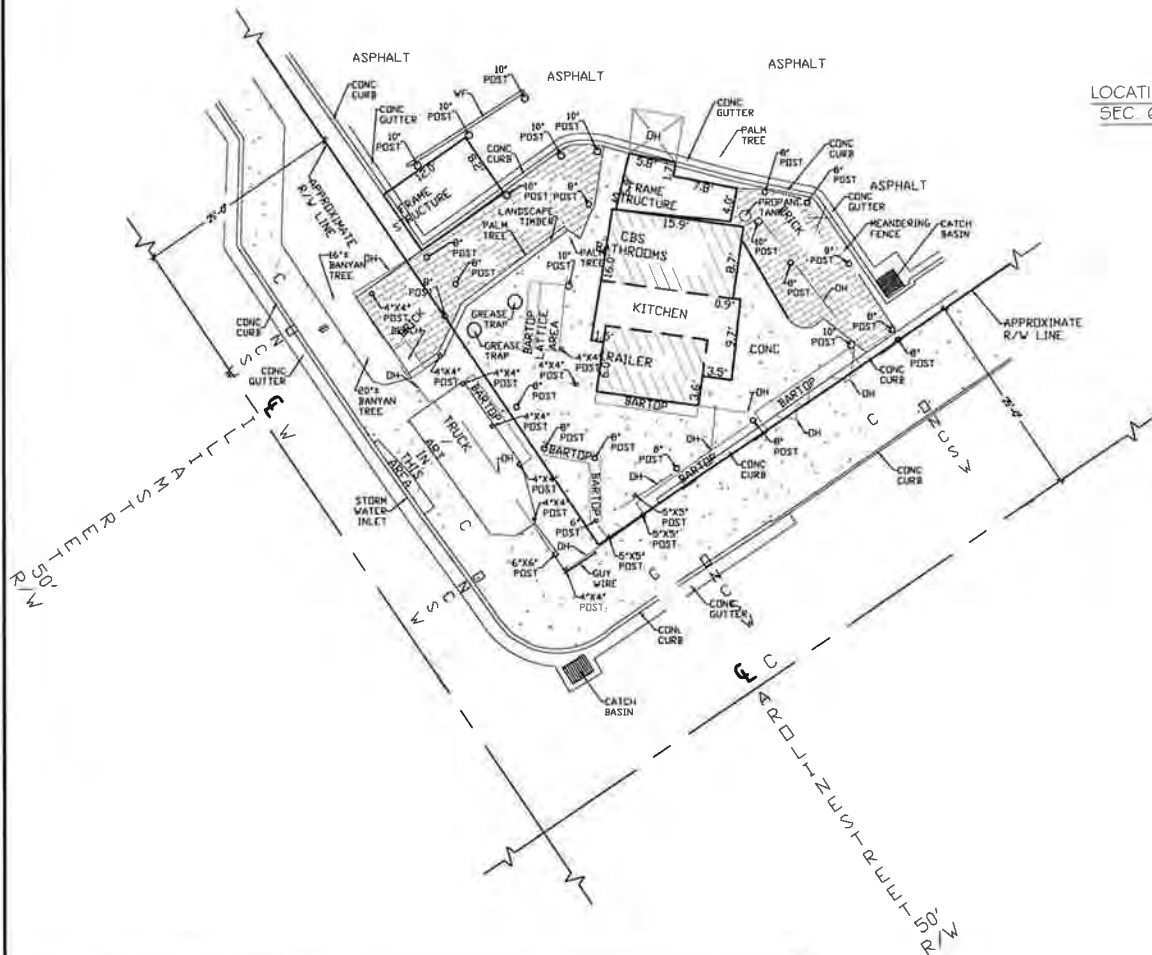
BO's FISHWAGON



BO'S FISHWAGON CA. 1986

SURVEY

PROJECT SITE



BO'S FISH WAGON ROOF
801 CAROLINE STREET
KEY WEST, FL 33040

Bender & Associates
ARCHITECTS
p.a.


Project No: 1533

SURVEY

Date: 07/15/19

A0.1

1"=10'



A horizontal graphic scale bar with alternating black and white segments. It is marked with the numbers 0, 5, 10, and 20, representing feet. The total length of the bar is 20 feet.

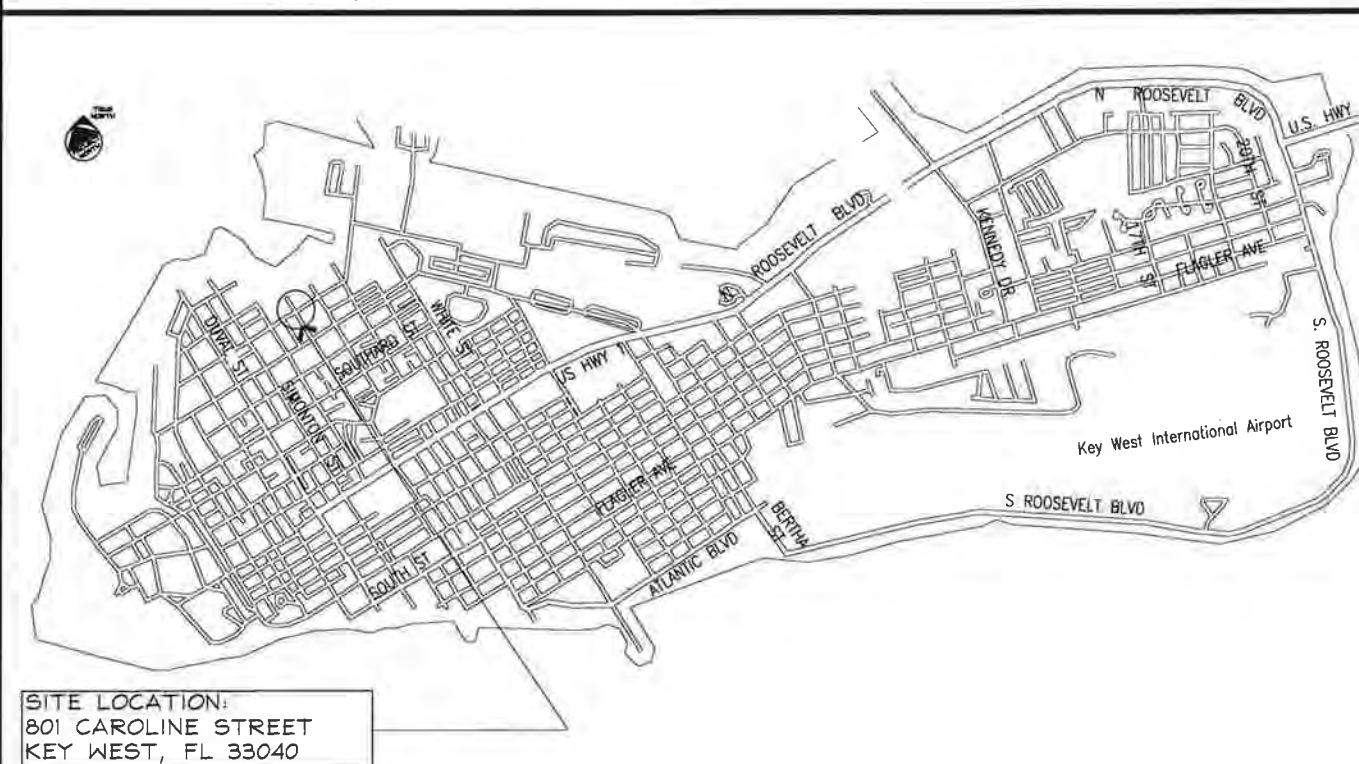
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PROPOSED DESIGN

BO'S FISH WAGON ROOF

801 CAROLINE STREET
Key West Florida, 33040

SITE MAP - KEY WEST



SITE LOCATION:
801 CAROLINE STREET
KEY WEST, FL 33040

PROJECT DIRECTORY

PROJECT: BO'S FISH WAGON ROOF
801 CAROLINE STREET

ARCHITECT'S PROJECT No: 1533

CONTACT: BERT BENDER
Address: 410 ANGELA STREET
Tel: (305) 296-1347
E-MAIL: BBENDER@BENDERARCHITECTS.COM

ARCHITECT: BENDER & ASSOCIATES ARCHITECTS, P.A.
Address: 410 Angela Street, Key West, FL 33040
Tel: (305) 296-1347
E-mail: info@benderarchitects.com
Architect: Bert L. Bender

GENERAL NOTES

- All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the City, County, and the State of Florida in the City of Key West, applicable Codes forming the basis of this design and compliance requirements for the Contractor include:
FLORIDA BUILDING CODE - Building 2017 EDITION
FLORIDA BUILDING CODE - Existing 2017 EDITION
FLORIDA BUILDING CODE - Residential 2017 EDITION
FLORIDA BUILDING CODE - Plumbing 2017 EDITION
FLORIDA BUILDING CODE - Fuel Gas 2017 EDITION
FLORIDA BUILDING CODE - Mechanical 2017 EDITION
FLORIDA BUILDING CODE - Energy Conservation 2017 EDITION
NATIONAL ELECTRICAL CODE 2008 EDITION
NFPA 70 LIFE SAFETY CODE w/ Florida Modifications
2015 EDITION FLORIDA FIRE PREVENTION CODE 2017 EDITION
NFPA 1 2015 EDITION
- This project is designed in accordance with A.S.C.E. 7-10 to resist wind loads of 180 mph (3 second gusts) and in accordance with ASCE 24-14 Flood Resistant Design and Construction.
- Prior to submitting a bid, verify all existing conditions and dimensions on the jobsite, and also after award, but prior to the start of construction.
- Contours and/or existing grades shown are approximate. Verify with field conditions. Final grading shall provide gradual slopes and grades. Slope all grades away from the building. Planting areas shall be graded with soil suitable for planting. Rock and debris will not be allowed.
- Where discrepancies between drawings, specifications, and code requirements occur, adhere to the most stringent requirement.
- Dimensions shall take precedence over scale.
- All new utilities shall be underground.
- Drawings and specifications are complementary. Refer to all sheets of drawings and applicable sections of the specifications for interfaces of work with related trades.
- After completion of construction remove all debris and construction equipment. Restore site to original condition.
- Notify owner of any possible artifacts uncovered during site grading and throughout the course of construction.
- Furnish a receptacle on site to contain construction debris and maintain the site in an orderly manner to ensure public safety and prevent blowing debris.
- Comply with all requirements for selective demolition as specified, shown on the Demolition Plan, or called for in the selective Demolition Notes.

FLORIDA ADMINISTRATIVE CODE

§161-16.003 Use of Seal. The personal seal, signature and date of the architect or interior designer shall appear on all architectural or interior design documents to be filed for public record and shall be construed to obligate his partners or his cooperation. A corporate seal alone is insufficient. Documents shall be signed personally and sealed by the responsible architect or interior designer. Final official record documents (not tracings, etc.) shall be so signed. The signing and sealing of the specification index sheets shall be considered adequate. All drawing sheets and pages shall be so signed and sealed. An architect or interior designer shall not affix, or permit to be affixed, his seal or name to any plan, specification, drawing, or other related document which was not prepared by him or under his responsible supervising control as provided in Rule Chapter 61G1-23, F.A.C. An architect or interior designer shall not use his seal or do any other act as an architect or interior designer unless holding at the time a certificate of registration and all required renewals thereof.
Specific Authority 481.2055, 481.221 F.S. Law Implemented 481.221, 481.225(1)(e), (g), (j), 481.225(1)(g), (h), (i) F.S. History-New 12-29-79, Formerly 21B-16.03, Amended 7-27-89, Formerly 21B-16.003, Amended 11-21-94, 4-18-00

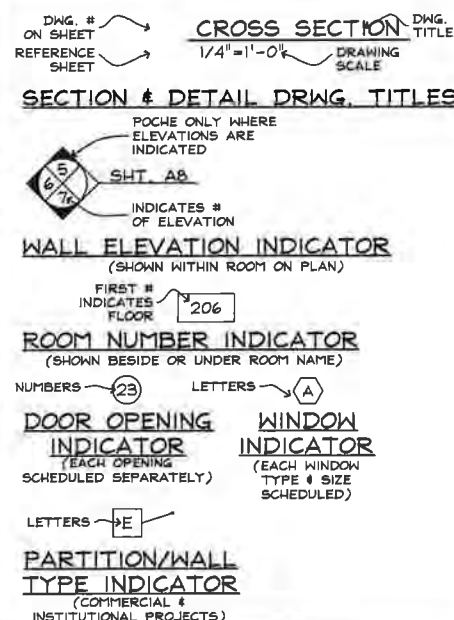
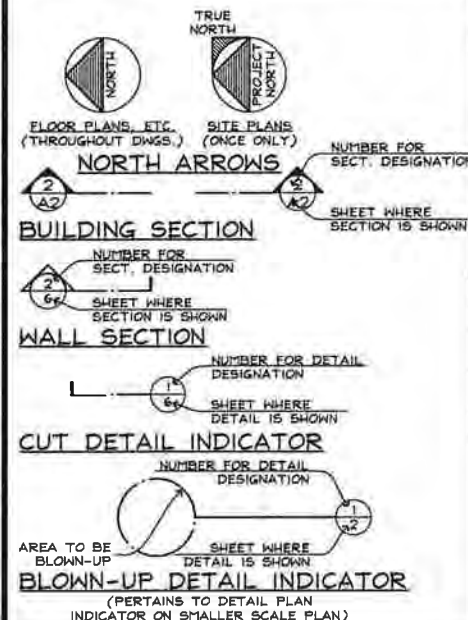
DESCRIPTION OF WORK:

THE WORK OF THIS PROJECT WILL REPLACE THE EXISTING ROOF STRUCTURE WITH A NEW SYSTEM CONSISTING OF STEEL COLUMNS AND WOOD COMPONENTS.

ABBREVIATIONS

AB	ANCHOR BOLT	MIN	MINIMUM
ABC	AGGREGATE BASE COURSE	NTS	NOT TO SCALE
A/C	AIR CONDITIONING	OA	OVERALL
BLKG	BLOCKING	OC	ON CENTER
BUR	BUILT UP ROOF	OD	OUTSIDE DIAMETER
CAB	CABINET	PCF	POUNDS PER CUBIC FOOT
CER	CERAMIC	PL	PROPERTY LINE
CL	CENTER LINE	PLAM	PLASTIC LAMINATE
CLG	CEILING	PLF	POUNDS PER LINEAL FOOT
CMU	CONCRETE MASONRY UNIT	PNL	PANEL
COL	COLUMN	PT	POINT
CONC	CONCRETE	PT	POINT
DBL	DOUBLE	PVC	POLYVINYLCHLORIDE
DIAG	DIAGONAL	R	RADIUS (OR) RISER
DS	DOWNSPOUT	R/A	RETURN AIR
DTL	DETAIL	REBAR	STEEL REINFORCING BAR
DWR	DRAINER	REFR.	REFRIGERATOR
EJ	EXPANSION JOINT	SF	SQUARE FOOT (FEET)
EL	ELEVATION	SS	STAINLESS STEEL
ELEC	ELECTRIC	SPEC	SPECIFICATION
EQ	EQUAL	T	TYPICAL
EXH	EXHAUST	TYP	TYPICAL
FV	FIELD VERIFY	UNO	UNLESS NOTED OTHERWISE
GALV	GALVANIZED	VCT	VINYL COMPOSITION TILE
GI	HORIZONTAL	VERT	VERTICAL
HDW	HARDWARE	WD	WOOD
HVAC	HEATING VENTILATING & AIR CONDITIONING	WNF	WELDED WIRE FABRIC
		NH	WATER HEATER
		W/O	WITHOUT
FOC	FACE OF CONCRETE		
FOS	FACE OF STUD		
FIN	FINISH		
FE	FIRE EXTINGUISHER		
FND	FOUNDATION		
FTG	FOOTING		
ID	INSIDE DIAMETER		
MAX	MAXIMUM		

SYMBOLS - LEGEND



MATERIAL DESIGNATIONS

- CONCRETE MASONRY UNITS IN PLAN
- CONC. STUCCO, PLASTER IN ELEV.;POURED CONC. IN PLAN
- METAL IN ELEVATION
- METAL IN SECTION
- FINISH WOOD IN ELEV. & IN SECTION
- DIMENSION LUMBER IN SECTION (CONTINUOUS)
- WOOD BLOCKING IN SECTION (DISCONTINUOUS)
- GYPSPUM WALL BOARD IN SECTION (LARGE SCALE)
- EARTH, NATURAL SUBSTRATE
- GRAVEL, AGGREGATE BASE COURSE, FILL
- FIBERGLASS BATT INSULATION
- RIGID INSULATION

PARTITIONS & WALLS

- CONCRETE MASONRY UNITS
- POURED CONCRETE
- WOOD FRAME
- METAL STUDS
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED

SHEET INDEX

SHEET INDEX

- | | |
|------|---|
| C | COVER |
| A0.1 | SURVEY |
| EX1 | EXISTING CONDITIONS |
| A1.0 | PROPOSED ROOF PLAN |
| A1.1 | PROPOSED ROOF FRAMING PLAN |
| A2.0 | PROPOSED WILLIAM AND CAROLINE STREET ELEVATIONS |
| A3.0 | PROPOSED CROSS SECTION |
| A4.0 | PHOTO DETAIL |
| SH | GENERAL STRUCTURAL NOTES |

BO'S FISH WAGON ROOF
801 CAROLINE STREET
KEY WEST, FL 33040

410 Angela Street
Key West, Florida 33040
Telephone (305) 296-1347
Facsimile (305) 296-2727
Florida License AAC002022

Bender & Associates
ARCHITECTS
P.A.

Project No. 1533
Date: 07/15/19

C
1 OF 9

NOTES

1. B.O.'S FISH WAGON IS AN ICONIC INSTITUTION WITHIN THE KEY WEST BIGHT AND THE HISTORIC DISTRICT. THE INTENT OF THIS PROJECT IS TO PROVIDE HEATHER PROOFING WHILE RETAINING THE "FUNKINESS" THAT IS THE HEART OF THE KEY WEST BIGHT. REMOVAL OF COMPONENTS CONTAINED WITHIN AND AROUND THE FISH WAGON SHALL BE COORDINATED WITH AND PERFORMED UNDER THE DIRECT SUPERVISION OF THE OWNERS OF THE FISH WAGON.
2. RETAIN ALL ARTIFACTS AND STORE FOR REINSTALLATION AS DIRECTED BY THE OWNER AND AS COORDINATED BY THE ARCHITECT.
3. FOR BID PRICE PURPOSE, ASSUME THAT ONE DAY WILL BE REQUIRED FOR INSTALLATION OF CEILING PANELS AND OTHER ARTIFACTS. ANY COMPONENTS NOT INSTALLED AFTER ONE DAY WILL BE COMPLETED BY THE FISH WAGON OWNERS.
4. COORDINATE ALL DEMOLITION WITH THE FISH WAGON OWNERS TO MINIMIZE DISRUPTION OF THE RESTAURANTS.

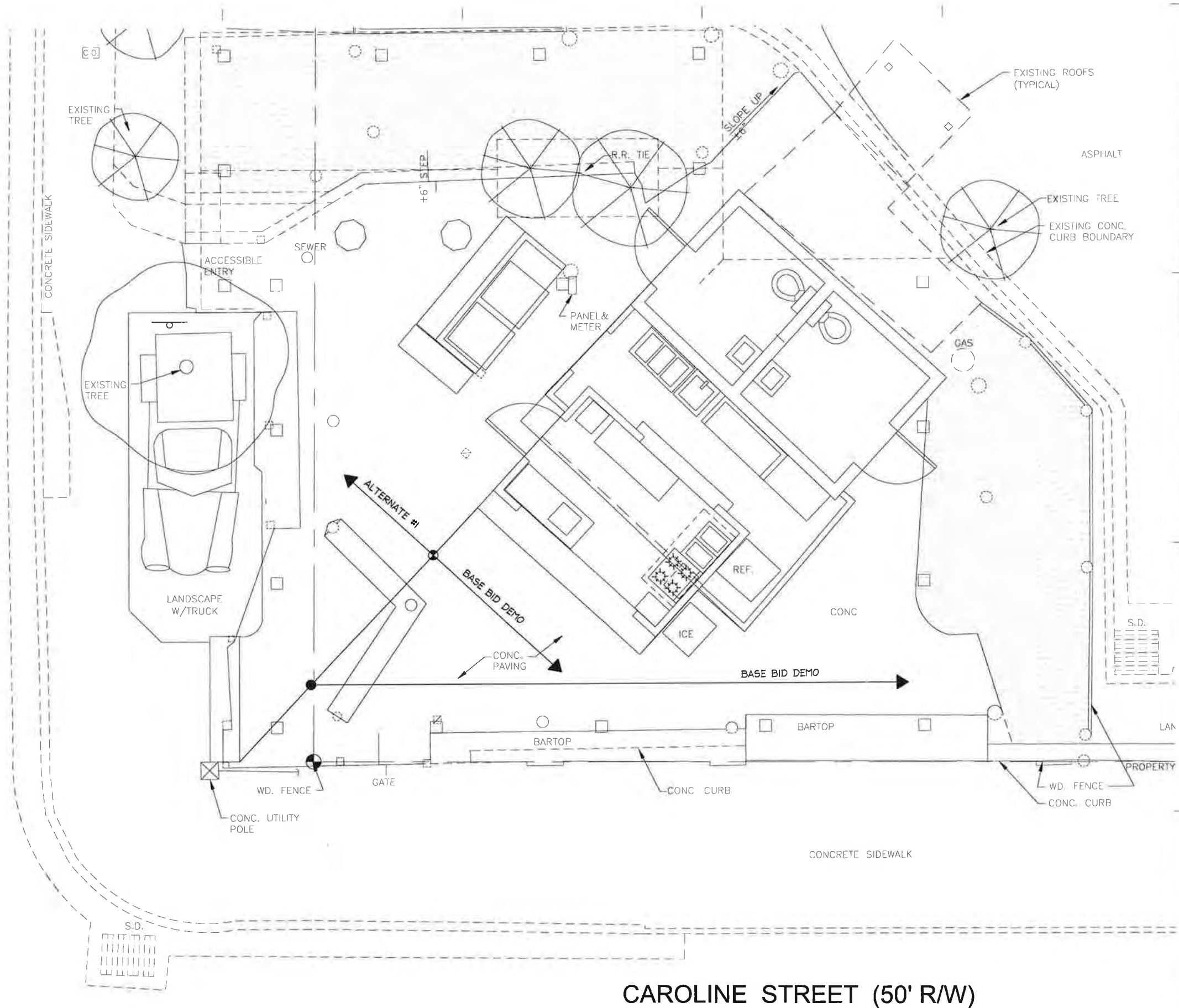
GENERAL DEMOLITION NOTES:

1. DO NOT REMOVE HISTORIC MATERIALS UNLESS SPECIFICALLY NOTED TO BE REMOVED.
2. PRIOR TO SUBMITTING A BID, VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS ON THE JOBSITE, AND ALSO AFTER AWARD, BUT PRIOR TO THE START OF CONSTRUCTION.
3. ALL DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR, UNLESS SPECIFICALLY NOTED OTHERWISE, AND SHALL BE PROPERLY REMOVED FROM THE SITE. COMPLY WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE PROJECT.
4. ALL COSTS OF DEMOLITION INCLUDING PERMIT FEES, DISPOSAL FEES, ETC. ARE THE RESPONSIBILITY OF THE CONTRACTOR.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE AWARE OF AND TO CONFIRM WITH ALL APPLICABLE DEMOLITION AND DISPOSAL CODES, SAFETY REQUIREMENTS, AND ENVIRONMENTAL PROTECTION REGULATIONS OF ANY GOVERNMENTAL BODY HAVING JURISDICTION OVER THE WORK.
6. PROVIDE SAFETY BARRICADES AS REQUIRED TO PROTECT THE SAFETY OF THE GENERAL PUBLIC AND WORKERS CONNECTED WITH THE PROJECT.
7. PROVIDE BRACING AND SHORING AS REQUIRED TO PROTECT THE SAFETY OF THE GENERAL PUBLIC AND WORKERS CONNECTED WITH THE PROJECT.
8. DEMOLISHED MATERIAL CLASSIFIED AS CLEAN FILL MAY BE DISTRIBUTED ON SITE WHEN SPECIFICALLY APPROVED BY THE ARCHITECT IN ADVANCE.

GENERAL NOTES:

1. DEMOLITION IS BROKEN IN TO TWO PHASES, THE BASE BID AND THE ALTERNATE BID NUMBER 1.
2. PROVIDE ALL DEMOLITION FOR THE BASE BID IN THE BASE BID PRICING. THE OWNER WILL REMOVE ALL ARTIFACTS SHOWN ON THE EXISTING ROOF AND STORE THEM FOR OWNERS INSTALL AFTER ALL WORK IS COMPLETED.
3. BASE BID DEMO WILL INCLUDE REMOVAL AND DISPOSAL OF ALL ROOF COMPONENTS. THE EXISTING WOOD COLUMNS WILL REMAIN IN PLACE.
4. ALTERNATE BID NUMBER 1 WILL BE BID FOR PRICING WITH THE ALTERNATE BID PRICING.

WILLIAM ST. (50' R/W)



CAROLINE STREET (50' R/W)

BO'S FISH WAGON ROOF
801 CAROLINE STREET
KEY WEST, FL 33040

410 Angela Street
Key West, Florida 33040
Telephone (305) 296-1347
Facsimile (305) 296-2727
Florida License AAC002022

Bender & Associates
ARCHITECTS
p.a.

Project No: 1533
EXISTING SITE PLAN
Date: 07/15/19

EX1

3 OF 9

PROJECT STATISTICS - BO'S FISHWAGON

LOT DESCRIPTION: SEE SURVEY.

FEMA FLOOD ZONE:

FINISH FLOOR ELEVATION:

ZONING DESIGNATION:

LOT AREA:

BUILDING CONDITIONED AREA: 1772 SF.

AE 7 - MAP 12087C-1516K DATE 2/18/05

VARIES

HRCC 2 (HISTORIC RESIDENTIAL COMMERCIAL CORE 2)

SETBACKS:

	REQUIRED/ALLOWED	EXISTING:	PROPOSED:
BUILDING HEIGHT:	35' MAXIMUM	15 FEET	NO CHANGE
FRONT SETBACK	10' MINIMUM	0	0
SIDE YARD SETBACK	5' MINIMUM	0	0
STREET SIDE SETBACK	7.5' MINIMUM	0	0
REAR SETBACK	15' MINIMUM	0	0
IMPERVIOUS SURFACE:	MAX. 60% OF LOT AREA	100%	0
BUILDING COVERAGE:	MAX. 50% OF LOT AREA	80%	0
OPEN SPACE:	MIN. 35% OF LOT AREA	0	0
F.A.R.:	0.5 MAXIMUM	0	0

ACCESSORY STRUCTURE SETBACKS:

	REQUIRED/ALLOWED	EXISTING:	PROPOSED:
REAR SETBACK	5' MINIMUM	N/A	0
SIDE SETBACK	5' MINIMUM	N/A	0

ACCESSORY STRUCTURE/ REAR YARD :

MAXIMUM ALLOWED

EXISTING:

PROPOSED:

N/A

$$\frac{1}{A1.0}$$

SCALE: 3/8"=1'-0"



A1.0

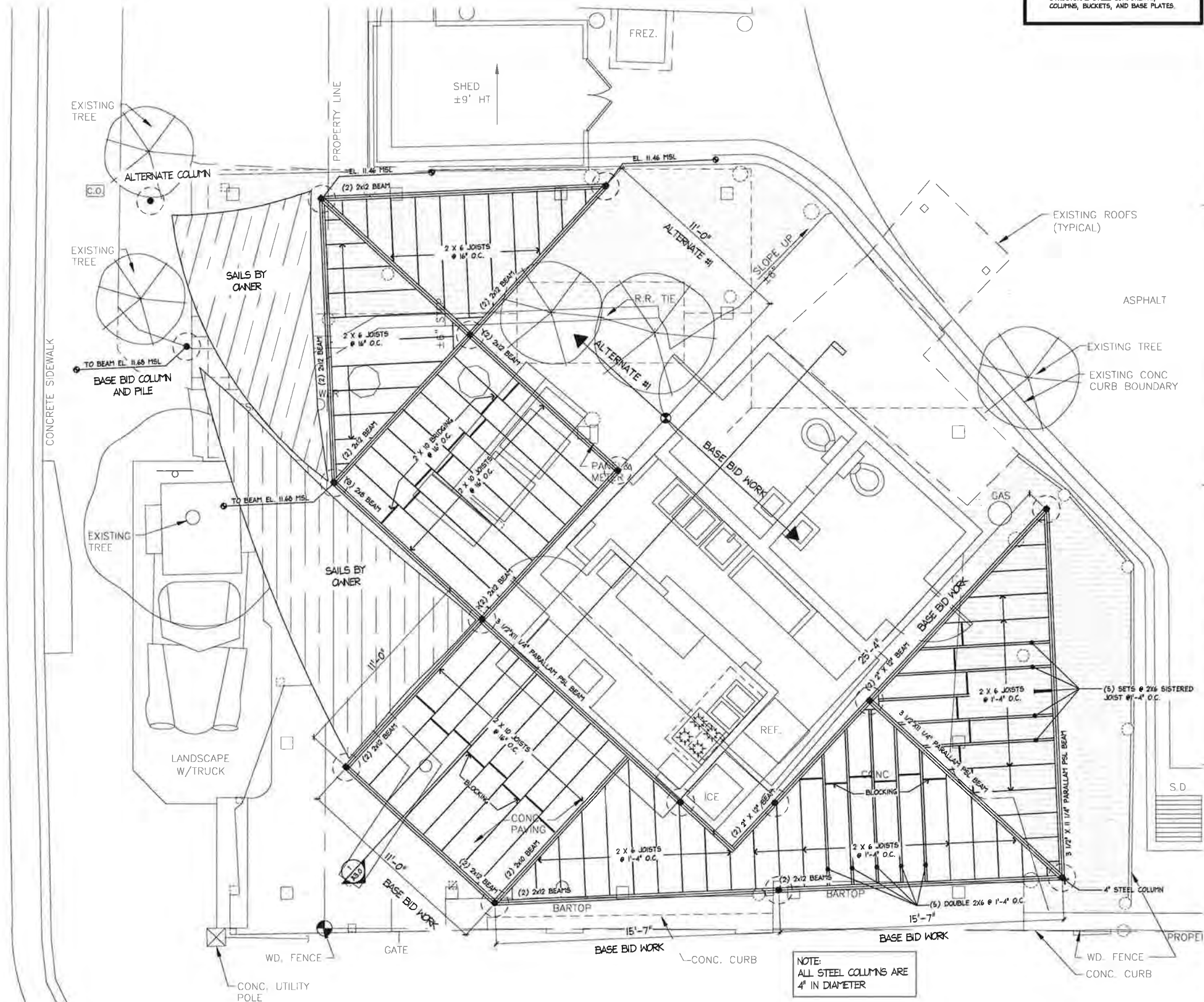
4 OF 9

WILLIAM ST. (50' RW)

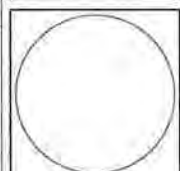
A1.1

PROPOSED ROOF FRAMING PLAN

SCALE: 3/8"=1'-0"



BO'S FISH WAGON ROOF
801 CAROLINE STREET
KEY WEST, FL 33040

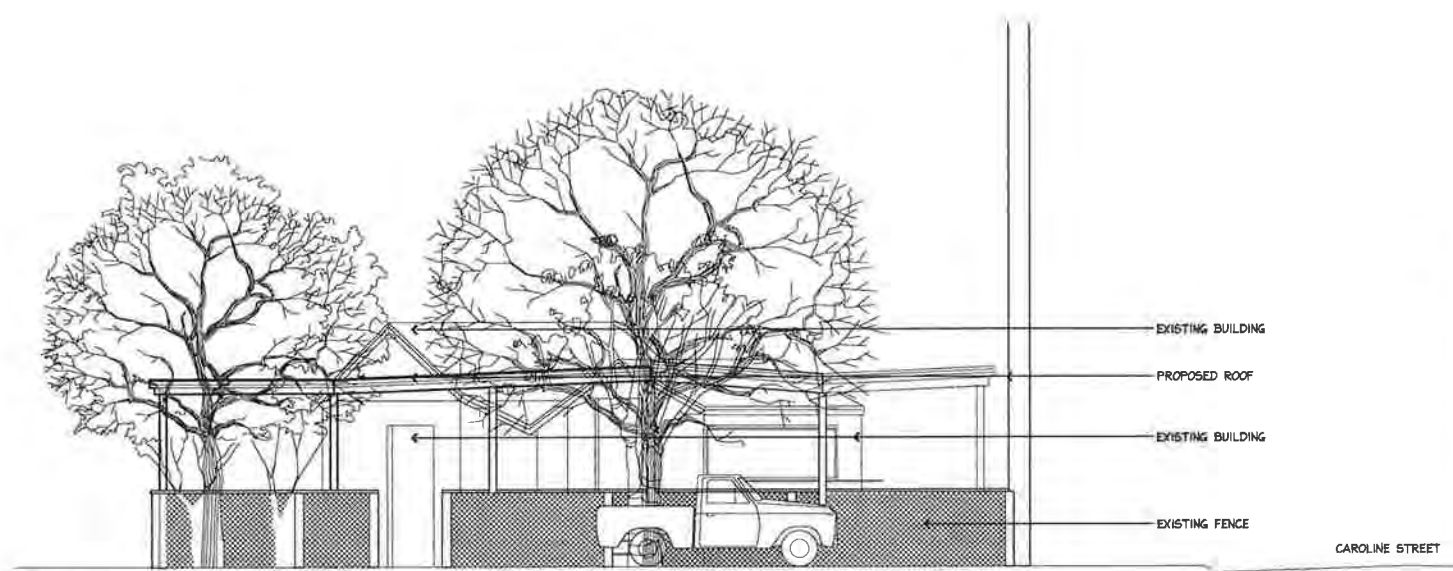


410 Angela Street
Key West, Florida 33040
Telephone (305) 296-1347
Facsimile (305) 296-2727
Florida License AAC002022

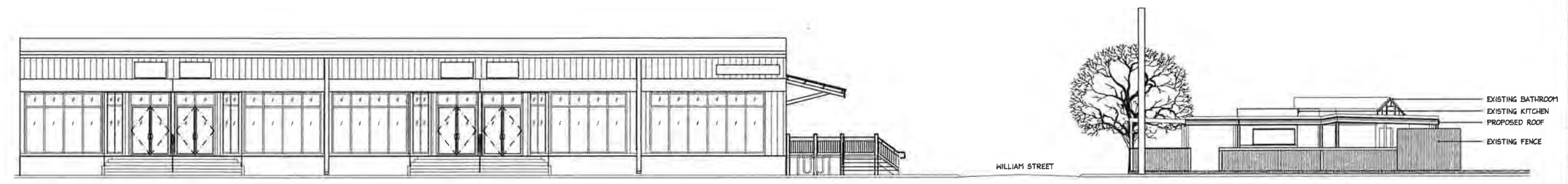
Bender & Associates
ARCHITECTS
p.a.

Project No: 1533
PROPOSED CAROLINE
AND WILLIAM STREET
ELEVATIONS
Date: 07/15/19

A2.0
6 OF 9

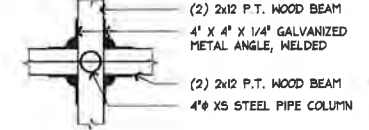


2 PROPOSED WILLIAM STREET ELEVATION
SCALE: 1/4"=1'-0"

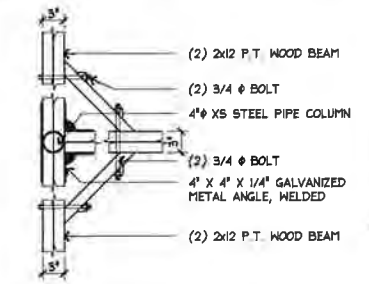


1 PROPOSED CAROLINE STREET ELEVATION
SCALE: 1/8"=1'-0"

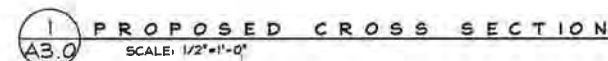
1. ALL BRACKETS SHOULD BE $1/16"$ LARGER THAN THE INTENDED BEAM.



7 STRUCTURE DETAIL 6
A3.0 SCALE: 1"=1'-0"



2 STRUCTURE DETAIL 1
A3.0 SCALE: 1"=1'-0"



7 OF 9



9 PHOTO DETAIL 9
SCALE: N.T.S.



8 PHOTO DETAIL 8
SCALE: N.T.S.



7 PHOTO DETAIL 7
SCALE: N.T.S.



6 PHOTO DETAIL 6
SCALE: N.T.S.



5 PHOTO DETAIL 5
SCALE: N.T.S.



4 PHOTO DETAIL 4
SCALE: N.T.S.



3 PHOTO DETAIL 3
SCALE: N.T.S.



2 PHOTO DETAIL 2
SCALE: N.T.S.



1 PHOTO DETAIL 1
SCALE: N.T.S.

BO'S FISH WAGON ROOF
801 CAROLINE STREET
KEY WEST, FL 33040

110 Angela Street
Key West, Florida 33040
Telephone (305) 296-1347
Facsimile (305) 296-2727
Florida License AAC002022

Bender & Associates
ARCHITECTS p.a.

Project No: 1533
PHOTO DETAILS

Date: 7/15/19

A8.0

8 OF 9

PROJECT NAME: BO'S FISH WAGON ROOF
PROJECT NUMBER: 319-239

GENERAL NOTES

100. DESIGN CRITERIA

100.1 DESIGN BUILDING CODE:

A. FLORIDA BUILDING CODE, SIXTH EDITION (2017)

100.2 GRAVITY LOADS:

A. ROOF LIVE LOADS:

1. ROOF _____ 20 PSF

100.3 LATERAL LOADS:

A. WIND LOADS (IN ACCORDANCE WITH DESIGN BUILDING CODE PER GENERAL NOTE 100.1):

1. ULTIMATE DESIGN WIND SPEED (3 SECOND GUST), V_{ult} = 180 MPH
2. NOMINAL DESIGN WIND SPEED (3 SECOND GUST), V_{nsd} = 140 MPH
3. RISK CATEGORY = II
4. EXPOSURE CATEGORY = D
5. ENCLOSURE CLASSIFICATION = OPEN
6. COMPONENTS AND CLADDING PRESSURES, P_{ult} = +148/-204 PSF

110. GENERAL

110.1 UNLESS OTHERWISE INDICATED, PROVIDE EQUAL SPACING OF STRUCTURAL COMPONENTS BETWEEN OVERALL DIMENSIONS INDICATED ON DRAWINGS.

110.2 STRUCTURAL WORK SHALL BE INSPECTED IN ACCORDANCE WITH ALL LOCAL ORDINANCES. THE CONTRACTOR SHALL ENGAGE AN EXPERIENCED, QUALIFIED INSPECTION AGENCY, SUBJECT TO THE REVIEW OF THE ARCHITECT, TO PERFORM ALL INSPECTION WORK, AS REQUIRED.

110.3 STRUCTURAL WORK SHALL BE TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE GENERAL NOTES. THE CONTRACTOR SHALL ENGAGE AN EXPERIENCED, QUALIFIED TESTING AGENCY, SUBJECT TO THE REVIEW OF THE ARCHITECT, TO PERFORM ALL TESTING WORK, AS REQUIRED.

200. CONCRETE AUGER PIERS

200.1 AUGER PIERS HAVE BEEN DESIGNED TO BEAR ON CAPROCK WITH AN ALLOWABLE END BEARING CAPACITY OF 5000 PSF AND AN ALLOWABLE SIDE FRICTION CAPACITY OF 5000 PSF.

200.2 CAST IN PLACE CONCRETE AUGER PIERS SHALL BE SOCKETED A MINIMUM OF 3 FEET INTO SOUND CAPROCK.

200.3 THE CONTRACTOR SHALL RETAIN THE SERVICES OF A PROFESSIONAL GEOTECHNICAL ENGINEER TO PROVIDE A SIGNED AND SEALED CERTIFICATION THAT THE MATERIAL IN WHICH THE PIERS ARE INSTALLED HAS AT LEAST THE ABOVE NOTED END BEARING AND SIDE FRICTION CAPACITIES.

200.4 THE CONTRACTOR SHALL OBSERVE WATER CONDITIONS AT THE SITE AND TAKE THE NECESSARY PRECAUTIONS TO ENSURE THAT THE FOUNDATION EXCAVATIONS REMAIN DRY DURING CONSTRUCTION. PROVIDE FOR Dewatering AS NECESSARY.

300. REINFORCED CONCRETE

300.1 ALL REINFORCED CONCRETE WORK SHALL BE IN CONFORMANCE WITH THE "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" (ACI 318, LATEST EDITION) AND SPECIFICATIONS FOR STRUCTURAL CONCRETE (ACI 301, LATEST EDITION) OF THE AMERICAN CONCRETE INSTITUTE.

300.2 MINIMUM DESIGN COMPRESSION STRENGTH (f'_c) REQUIRED AT 28 DAYS:

A. AUGER PIERS _____ 4000 PSI

300.3 MAXIMUM WATER TO CEMENTITIOUS MATERIALS RATIO:

A. AUGER PIERS _____ 0.56

300.4 ALL CONCRETE SHALL BE NORMAL WEIGHT CONCRETE (MINIMUM 144 PCF) WITH ALL PORTLAND CEMENT CONFORMING TO ASTM C150, TYPE I, II OR I/II, MAXIMUM NOMINAL COARSE AGGREGATE SIZE SHALL BE 1-1/2" FOR FOUNDATIONS AND 3/4" FOR WALLS AND SLABS, CONFORMING TO ASTM C33.

300.5 THE CONTRACTOR SHALL BE PERMITTED TO FURNISH CONCRETE MIXES UTILIZING PORTLAND CEMENT SUPPLEMENTED WITH FLY ASH, NATURAL POZZOLAN, SLAG CEMENT AND/OR SILICA FUME CONFORMING TO THE SPECIFICATION REQUIREMENTS OF TABLE 26.4.1.1.1 (c) IN ACI 318.

300.6 MIXING WATER SHALL CONFORM TO ASTM C1602.

300.7 ADMIXTURES SHALL CONFORM TO THE REQUIREMENTS OF SECTION 26.4.1.4.1 OF ACI 318.

300.8 ADMIXTURES SHALL NOT CONTAIN CALCIUM CHLORIDE OR CHLORIDE-CONTAINING COMPOUNDS AS A FUNCTIONAL INGREDIENT.

300.9 LIMIT WATER SOLUBLE CHLORIDE ION CONTENT IN CONCRETE FROM ALL SOURCES TO 0.15 PERCENT BY WEIGHT OF CEMENT.

300.10 REINFORCEMENT

A. DEFORMED BARS _____ ASTM A615, GRADE 60

300.11 COVER FOR CAST-IN-PLACE CONCRETE REINF., UNLESS OTHERWISE SHOWN ON DRAWINGS, SHALL BE AS FOLLOWS (REFER TO ACI 117 FOR ALLOWABLE CONSTRUCTION TOLERANCES):

A. AUGER PIERS _____ 3"

300.12 SPLICES IN REINFORCEMENT, WHERE PERMITTED, SHALL BE AS FOLLOWS:

A. ALL OTHERS _____ CLASS "B" TENSION, CASE "1" MINIMUM, UNO

300.13 CLASS "B", CASE "1" TENSION SPLICES IN INCHES, SHALL BE AS FOLLOWS:

	3000 PSI		4000 PSI	
SIZE	TOP BARS	ALL OTHERS	TOP BARS	ALL OTHERS
#3 (#10)	28	22	24	19
#4 (#13)	37	29	32	25
#5 (#16)	47	36	40	31
#6 (#19)	56	43	48	37

300.14 THE CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING LABORATORY, SUBJECT TO THE APPROVAL OF THE OWNER, TO SAMPLE AND TEST CONCRETE AT THE POINT OF PLACEMENT PER ACI 301. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE OWNER AND ENGINEER. TESTING SHALL INCLUDE AT LEAST THE FOLLOWING:

A. RECORD THE TEMPERATURE AND PERFORM ONE SLUMP TEST PER ASTM C 143 FOR EACH 10 CY OF CONCRETE PLACED.

B. CAST AND LABORATORY CURE SIX (6) CONCRETE COMPRESSIVE STRENGTH TEST CYLINDERS IN ACCORDANCE WITH ASTM C 31 FOR EACH 50 CY OF EACH CLASS OF CONCRETE OR FRACTION THEREOF PLACED PER DAY. TEST (IN ACCORDANCE WITH ASTM C 39) TWO (2) CYLINDERS AT 7 DAYS, TWO (2) CYLINDERS AT 28 DAYS AND RETAIN TWO (2) CYLINDERS FOR TESTING AT 56 DAYS IN THE EVENT THE 28 DAY CYLINDERS DO NOT MEET THE SPECIFIED CONCRETE COMPRESSIVE STRENGTH.

510. STRUCTURAL STEEL

510.1 ALL STRUCTURAL STEEL WORK SHALL BE IN ACCORDANCE WITH ANSI/AISC 360 - 10 "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS" LOADS, FORCES AND MOMENTS INDICATED ARE SERVICE LEVEL AND ARE INTENDED FOR USE WITH THE ALLOWABLE STRENGTH DESIGN PROVISIONS OF THE CODE.

510.2 GRADE OF STEEL

A. STEEL PIPE _____ ASTM A53

B. OTHER _____ ASTM A36

510.3 GALVANIZED STRUCTURAL STEEL

A. STRUCTURAL SHAPES AND RODS _____ ASTM A123

B. BOLTS, FASTENERS AND HARDWARE _____ ASTM F2329

510.4 ALL BOLTED CONNECTIONS SHALL CONFORM TO THE REQUIREMENTS OF THE RESEARCH COUNCIL ON STRUCTURAL CONNECTIONS (RCSC) "SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH-STRENGTH BOLTS" (LATEST EDITION).

510.5 ALL BOLTS SHALL BE ASTM A325, TYPE 1, 3/4" DIAMETER MINIMUM, UNLESS OTHERWISE NOTED. WHERE NECESSARY DUE TO CONNECTION REQUIREMENTS THE CONTRACTOR MAY UTILIZE ASTM A490, TYPE 1 BOLTS. THE USE OF BOLTS WITH DIFFERENT ASTM DESIGNATIONS AND THE SAME DIAMETER IS PROHIBITED.

510.6 PROVIDE THE FOLLOWING BOLTED JOINT TYPES UNLESS OTHERWISE INDICATED OR NOTED ON DRAWINGS:

A. SNUG-TIGHTENED JOINTS: ALL SIMPLE SHEAR CONNECTIONS.

510.7 ALL WELDING SHALL BE IN ACCORDANCE WITH THE STRUCTURAL WELDING CODE AWS D1.1, LATEST EDITION, OF THE AMERICAN WELDING SOCIETY. ELECTRODES SHALL BE E70XX FOR MANUAL ARC WELDING AND F7X-EXXX FOR SUBMERGED ARC WELDING.

510.8 BOLT AND WELD TESTING:

A. ALL SHOP AND FIELD BOLTS SHALL BE TESTED PER AISC REQUIREMENTS.

B. ALL WELDS SHOULD BE VISUALLY INSPECTED.

510.9 ALL EXTERIOR STRUCTURAL STEEL SHALL BE HOT-DIP GALVANIZED IN ACCORDANCE WITH THE GENERAL NOTES. CLEAN AREAS WHERE GALVANIZING IS DAMAGED OR MISSING AND REPAIR GALVANIZING TO COMPLY WITH ASTM A780.

510.10 LEVELING GROUT SHALL BE NON-SHRINK, NON-METALLIC TYPE, FACTORY PRE-MIXED GROUT TESTED IN ACCORDANCE WITH CE-CRD-C621 OR ASTM C109, WITH f'_c OF NOT LESS THAN 5000 PSI.

510.11 ALL ANCHOR BOLTS SHALL BE ASTM A36 OR ASTM F1554, GRADE 36 AND A MINIMUM 3/4" DIAMETER WITH A MINIMUM CONCRETE EMBEDMENT OF 16" UNLESS NOTED OTHERWISE.

610. STRUCTURAL LUMBER

610.1 ALL STRUCTURAL LUMBER WORK SHALL BE IN ACCORDANCE WITH THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" (NDS - LATEST EDITION) PUBLISHED BY THE AMERICAN WOOD COUNCIL.

610.2 ALL STRUCTURAL LUMBER SHALL BE AS A MINIMUM NO. 2 GRADE SOUTHERN PINE AND SHALL HAVE AT LEAST THE FOLLOWING MINIMUM ALLOWABLE DESIGN STRESSES (NOT INCORPORATING THE SIZE ADJUSTMENT FACTOR (CF)) AND MODULUS OF ELASTICITY AT A MAXIMUM MOISTURE CONTENT OF 19%:

A. F_b (BENDING) _____ 750 PSI
B. F_v (SHEAR) _____ 175 PSI
C. F_c (COMPRESSION) _____ 1,250 PSI
D. F_t (TENSION) _____ 450 PSI
E. _____ 1,400,000 PSI

610.3 ALL LUMBER SHALL COMPLY WITH PS 20 "AMERICAN SOFTWOOD LUMBER STANDARD" AND WITH THE APPLICABLE RULE OF INSPECTION AGENCIES CERTIFIED BY AMERICAN LUMBER STANDARD. FACTORY-MARK EACH PIECE OF LUMBER WITH GRADE STAMP OF INSPECTION AGENCY EVIDENCING COMPLIANCE WITH GRADING RULE REQUIREMENTS.

610.4 NO CUTS, HOLES, OR COPES REQUIRED FOR OTHER TRADES IN STRUCTURAL WOOD FRAMING WILL BE PERMITTED WITHOUT PRIOR REVIEW AND APPROVAL OF ENGINEER AND ARCHITECT.

610.5 PRESSURE TREAT WITH WATER-BORNE PRESERVATIVES ALL LUMBER THAT MAY BE EXPOSED TO WEATHER OR EARTH. PRESSURE TREATMENT SHALL COMPLY WITH REQUIREMENTS OF AWPA STANDARDS C2 AND LP-22.

610.6 ALL "PARALLAM PSL" LUMBER SHALL BE CONFORM TO THE MOST CURRENT SPECIFICATION OF THE AMERICAN PLYWOOD ASSOCIATION WITH AT LEAST THE FOLLOWING MINIMUM DESIGN STRESSES:

BEAM ORIENTATION:

A. F_b (BENDING) _____ 2,900 PSI
B. F_v (SHEAR) _____ 290 PSI
C. E _____ 2,000,000 PSI
D. F_c (COMPRESSION PARALLEL TO GRAIN) _____ 2,900 PSI
E. F_c (COMPRESSION PERPENDICULAR TO GRAIN) _____ 750 PSI
F. F_t (TENSION) _____ 2,400 PSI

610.7 ALL MEMBERS SHOWN ON PLAN WITH DESIGNATION "PSL" SHALL BE PARALLAM PSL MEMBERS. ALL PARALLAM STRUCTURAL LUMBER SHALL BE APA RATED, EXPOSURE I. ALL ADHESIVES SHALL COMPLY WITH ANSI/AITC A190.1 "WET-USE" TYPE.

610.8 ALL SIDE LOADED PARALLAM BEAMS OR COLUMNS SHALL BE SOLID AND SHALL NOT BE COMPOSED OF MULTIPLE PLIES. TOP LOADED PARALLAM BEAMS MAY BE COMPOSED OF MULTIPLE PLIES OF 1 3/4" THICK MEMBERS AND SHALL BE NAILED BY MINIMUM OF TWO ROWS OF 16d NAILS AT 12" ON CENTER AND GLUED TOGETHER WITH AN EXTERIOR TYPE ADHESIVE.

610.9 ALL PARALLAM BEAM ENDS WHICH FRAME INTO BEAMS SHALL BE HUNG WITH HANGERS AS MANUFACTURED BY KANT-SAG OR WITH APPROVED SUBSTITUTES WITH WORKING LOAD CAPACITIES EQUIVALENT TO THE "TMD" OR "HDO" SERIES HANGERS.

610.10 PROVIDE END-COAT SEALING TO END AND CROSS CUTS AFTER CUTTING TO FINAL LENGTH FOR ALL PARALLAM BEAMS.

610.11 ALL WOOD JOISTS BEARING ENDS SHALL BE ANCHORED TO SUPPORT IN WOOD FRAMING WITH A TYPE A34 FRAMING ANCHOR, AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY, INC.

610.12 ALL WOOD JOIST ENDS WHICH FRAME INTO BEAMS SHALL BE HUNG WITH THE FOLLOWING STAINLESS STEEL JOISTS HANGERS WITH STAINLESS STEEL NAILS, AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY, INC., OR WITH APPROVED SUBSTITUTES WITH THE FOLLOWING MINIMUM ALLOWABLE LOAD CAPACITIES.

JOIST SIZE	SIMPSON HANGER	UPLIFT CAPACITY (160)	DOWNWARD CAPACITY (160)
2X6	LUS26 SS	394 LBS.	528 LBS.
2X10	LUS26 SS	596 LBS.	798 LBS.
2-2X6	LUS26-2 SS	548 LBS.	734 LBS.
2-2X10	HUC0210-2-SDS SS	1848 LBS.	1953 LBS.
2-2X12	LUS210-2 SS	1127 LBS.	

610.13 ALTERNATE CONNECTION DETAILS MAY BE USED IF SUCH DETAILS ARE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL. HOWEVER, THE ENGINEER SHALL BE THE SOLE JUDGE OF ACCEPTANCE AND THE CONTRACTOR'S BID SHALL ANTICIPATE THE USE OF THOSE SPECIFIED DETAILS SHOWN ON THE DRAWINGS THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN OF SUCH ALTERNATE DETAILS WHICH HE PROPOSES.

620. STRUCTURAL WOOD PANELS/WOOD SHEATHING

620.1 FURNISH PANELS THAT ARE EACH FACTORY MARKED WITH A CERTIFICATION STAMP EVIDENCING COMPLIANCE WITH GRADE AND SPAN RATING REQUIREMENTS. THE CENTER-TO-CENTER SPACING IN INCHES SHALL NOT EXCEED THE SPAN RATING STAMPED ON THE PANELS. INSTALLATION OF THE PANELS SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE APA.

620.2 PANELS SHALL COMPLY WITH USDOC PS-1 OR PS-2 AND APA PRP-108 AND SHALL MEET THE FOLLOWING REQUIREMENTS:

A. ROOF SHEATHING:

1. MIN. THICKNESS = 3/4"
2. BOND CLASSIFICATION = EXTERIOR
3. GRADE = APA RATED STRUCTURAL I
4. SPAN RATING = AS REQUIRED TO SUIT JOIST/TRUSS SPACING

620.3 ALL PANELS SHALL HAVE THE END JOINTS LOCATED OVER SUPPORTS AND SHALL HAVE THE ROWS STAGGERED ONE HALF PANEL LENGTH FROM ADJACENT PANELS. PROVIDE 1/8" SPACE AT PANEL ENDS AND EDGES.

620.4 ALL ROOF STRUCTURAL PANELS SHALL BE NAILED WITH 10d SPIRAL OR RING SHANK NAILS AT 6" OC AT ALL ENDS AND INTERMEDIATE SUPPORTS.

620.5 ALL PLYWOOD PANELS SHALL COMPLY WITH THE WIND UPLIFT REQUIREMENTS OF NM519 FOR FULLY-WIND-RESISTIVE ROOF ASSEMBLIES COMPLYING WITH UL CLASS 90 CLASSIFICATION.

BO'S FISH WAGON ROOF
801 CAROLINE STREET
KEY WEST, FL 33040

410 Angela Street
Key West, Florida 33040
Telephone (305) 296-1347
Facsimile (305) 296-2727
Florida License A/C0002022

Bender & Associates
ARCHITECTS
P.A.

Project No: 1533

SURVEY

Date: 07/15/19

S1

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at **5:30 p.m., August 27, 2019** at **City Hall, 1300 White Street**, Key West, Florida. The purpose of the hearing will be to consider a request for:

REPLACEMENT OF EXISTING ROOF AND STRUCTURAL SUPPORTS. DEMOLITION OF NON-HISTORIC ROOF AND STRUCTURAL COMPONENTS.

#801 CAROLINE STREET

Applicant – Bert Bender, Architect Application #H2019-0029

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3975 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

HARC POSTING AFFIDAVIT

STATE OF FLORIDA:
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared BERT BENDER, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address:

801 CAROLINE ST. on the
14TH day of AUGUST, 2019.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on AUGUST 27TH, 2019.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is _____.

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant:

B. BENDER
Date: 14 AUGUST, 2019
Address: 410 ANGELA
City: KEY WEST
State, Zip: FL 33040

The forgoing instrument was acknowledged before me on this 14TH day of AUGUST, 2019.

By (Print name of Affiant) BERT BENDER who is
personally known to me or has produced _____ as
identification and who did take an oath.

NOTARY PUBLIC

Sign Name: Ayn Lewis
Print Name: Ayn Lewis

Notary Public - State of Florida (seal)
My Commission Expires: 5-2-2021





PROPERTY APPRAISER INFORMATION



Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00072082-004201
Account# 9073835
Property ID 9073835
Millage Group 12KW
Location Address 800 BLK CAROLINE ST, KEY WEST
Legal Description KW PT LOT 2 SQR 10 (B O'S FISH WAGON LEASE) G42-467/68 OR427-17/18 OR572-126E OR656-645/46 OR1424-992/99(LG)
(Note: Not to be used on legal documents.)
Neighborhood 32120
Property Class RESTAURANT (2100)
Subdivision
Sec/Twp/Rng 06/68/25
Affordable No
Housing



9073835 800 BLK OF CAROLINE ST 07/31/12

Owner

CITY OF KEY WEST
 PO BOX 1409
 KEY WEST FL 33041

Valuation

	2018	2017	2016	2015
+ Market Improvement Value	\$23,457	\$24,179	\$26,702	\$26,702
+ Market Misc Value	\$0	\$0	\$0	\$0
+ Market Land Value	\$269,696	\$269,696	\$268,709	\$268,709
= Just Market Value	\$293,153	\$293,875	\$295,411	\$295,411
= Total Assessed Value	\$293,153	\$293,875	\$295,411	\$295,411
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$293,153	\$293,875	\$295,411	\$295,411

Land

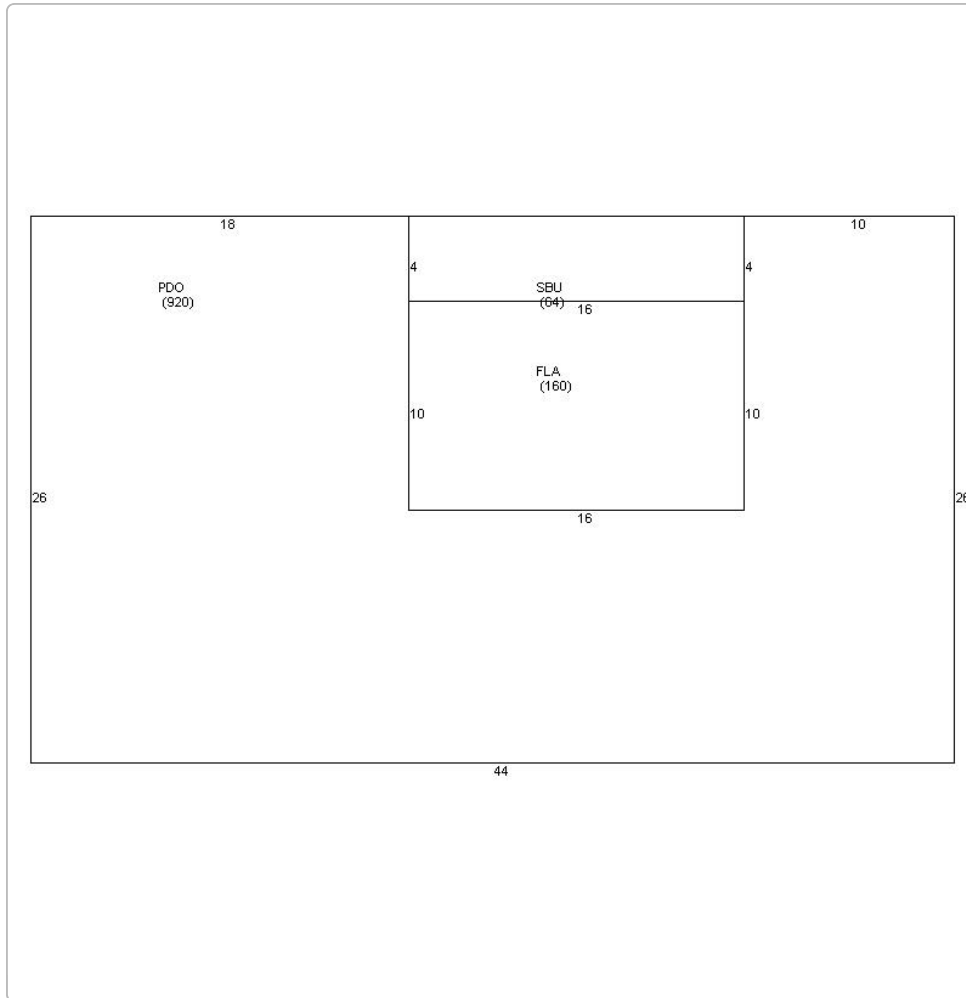
Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL DRY (100D)	1,720.00	Square Foot	0	0

Commercial Buildings

Style RESTRNT/CAFETR-D- / 21D
Gross Sq Ft 1,144
Finished Sq Ft 160
Perimeter 0
Stories 1
Interior Walls
Exterior Walls MIN WOOD SIDING
Quality 200 ()
Roof Type
Roof Material
Exterior Wall1 MIN WOOD SIDING
Exterior Wall2
Foundation
Interior Finish
Ground Floor Area
Floor Cover
Full Bathrooms 2
Half Bathrooms 0
Heating Type
Year Built 1995
Year Remodeled
Effective Year Built 1991
Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	160	160	0
PDO	PATIO DIN OPEN	920	0	0
SBU	UTIL UNFIN BLK	64	0	0

Code	Description	Sketch Area	Finished Area	Perimeter
TOTAL		1,144	160	0

View Tax Info[View Taxes for this Parcel](#)**Sketches (click to enlarge)****Photos**

Map



TRIM Notice

[Trim Notice](#)**2018 Notices Only**

No data available for the following modules: Buildings, Mobile Home Buildings, Yard Items, Exemptions, Sales, Permits.

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

[User Privacy Policy](#)
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Last Data Upload: 8/14/2019 12:42:28 AM

Version 2.2.37

Developed by



2019 / 2020
MONROE COUNTY BUSINESS TAX RECEIPT
EXPIRES SEPTEMBER 30, 2020

Business Name: BO'S FISH WAGON

RECEIPT# 29140-10376

Owner Name: WAYNE M OWEN

Business Location: 801 CAROLINE ST
KEY WEST, FL 33040

Mailing Address:
801 CAROLINE ST
KEY WEST, FL 33040

Business Phone: 305-294-9272
Business Type: CAFE RESTAURANT (RESTAURANT)

Seats 30

STATE LICENSE: SEA5402396

Tax Amount	Transfer Fee	Sub-Total	Penalty	Prior Years	Collection Cost	Total Paid
30.00	0.00	30.00	0.00	0.00	0.00	30.00

Paid 107-18-00005706 07/02/2019 30.00

THIS BECOMES A TAX RECEIPT
WHEN VALIDATED

Danise D. Henriquez, CFC, Tax Collector
PO Box 1129, Key West, FL 33041

THIS IS ONLY A TAX.
YOU MUST MEET ALL
COUNTY AND/OR
MUNICIPALITY PLANNING
AND ZONING REQUIREMENTS.

MONROE COUNTY BUSINESS TAX RECEIPT

P.O. Box 1129, Key West, FL 33041-1129

EXPIRES SEPTEMBER 30, 2020

Business Name: BO'S FISH WAGON

RECEIPT# 29140-10376

Owner Name: WAYNE M OWEN

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KEY WEST, FL 33040

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Seats 30

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Tax Amount	Transfer Fee	Sub-Total	Penalty	Prior Years	Collection Cost	Total Paid
30.00	0.00	30.00	0.00	0.00	0.00	30.00

Paid 107-18-00005706 07/02/2019 30.00



2020 Details — Business Tax Account BO'S FISH WAGON

Print this page

Business Tax Account #10376

Account details

Account history

	2020	2019	2018	2017	...	2003
Get Bills by Email	Paid	Paid	Paid	Paid		Paid
Account number:	10376		Mailing address: WAYNE M OWEN 801 CAROLINE ST KEY WEST, FL 33040			
Business start date:	06/28/2007					
Physical business location:	CITY OF KEY WEST		Owner(s) WAYNE M OWEN 801 CAROLINE ST KEY WEST, FL 33040			
Business address:	BO'S FISH WAGON 801 CAROLINE ST KEY WEST, FL 33040					

Receipts And Occupations

Receipt 29140-10376

Print Business Tax Receipt

RESTAURANT 10/01/2019-09/30/2020 Units: 30
CAFE RESTAURANT

Return to Search

Get Bills by Email

