



Historic Architectural Review Commission Staff Report for Item 10

To: Chairman Bryan Green and Historic Architectural Review
Commission Members

From: Enid Torregrosa-Silva, MSHP
Historic Preservation Planner

Meeting Date: April 28, 2021

Applicant: Gary Burchfield, Contractor

Application Number: H2021-0016

Address: 1108 Petronia Street

Description of Work:

New stairs, guardrails, and fixed frame roof for egress to second floor.

Site Facts:

The building under review is a contributing structure to the historic district. The two-story frame house was built circa 1926 and unfortunately the front porch on both stories was partially enclosed at some time. Wooden exterior staircase was added on the northeast side of the house around 1983. The property used to have a carport where the exterior stairs are located. In January 21, 2021 the Planning Board approved a resolution for maximum building coverage and side yard setback variances for this proposed project.

SOIS and Guidelines Cited on Review:

- US Secretary of the Interior's Standards for Rehabilitation (Pages 16-23) Specifically guidelines 3, 9 and 10.
- Decorative Elements and Details (page 24), specifically guideline 1.
- Entrances, Porches and Doors (pages 32-33), specifically guideline 16
- Additions and Alterations (pages 37a- 37k), specifically guidelines 3, 11, 16 and 19.

Staff Analysis:

The Certificate of Appropriateness under review proposes the reconstruction of existing wood exterior stairs to meet current code. A new shed roof that will cover the entire entry deck is also proposed as currently an aluminum clamshell awning covers half of the entry deck. The entry deck is setback approximately two feet from the front elevation.

Turned spindle railings and gingerbread are proposed for the new staircase. Metal V-crimp is proposed as the roof finish material.

Consistency with Cited Guidelines:

It is staff's opinion that, although visible from Petronia Street, the new shed roof is an appropriate design solution than the existing aluminum awning. Nevertheless, staff finds the proposed turned railings and gingerbread to be contrary to cited regulations. The stairs are not historic nor an original part of the contributing building and the use of details that mimic historic traditional elements can give a false sense of history. Simpler railings and removal of gingerbread cutouts is recommended.

APPLICATION

HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS

\$420 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE Rev 12/14/2020 ET



City of Key West

1300 White Street
Key West, Florida 33040

HARC COA # 2021-0016	REVISION #	INITIAL & DATE
FLOOD ZONE	ZONING DISTRICT	BLDG PERMIT #

A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL

ADDRESS OF PROPOSED PROJECT:	1108 Petronia St	
NAME ON DEED:	Patricia Gray	PHONE NUMBER 772-539-1630
OWNER'S MAILING ADDRESS:	1108 Petronia St	EMAIL mrsgray2@aol.com
	Key West, FL 33040	
APPLICANT NAME:	Gary The Carpenter	PHONE NUMBER 305-292-0261
APPLICANT'S ADDRESS:	800 Simonton St,	EMAIL garythecarpenter@hotmail.com
	Key West, FL 33040	
APPLICANT'S SIGNATURE:		DATE 3/29/2021

ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND-DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS ☐ RELOCATION OF A STRUCTURE ☐ ELEVATION OF A STRUCTURE ☐
 PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES ☐ NO ☐ INVOLVES A HISTORIC STRUCTURE: YES ☒ NO ☐
 PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES ☐ NO ☒

DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.
GENERAL: Removal of existing wood frame porch and stairs and replacement with new framing new guardrails, fixed roof over the porch
MAIN BUILDING: All work on the right side of the main building. Access to the second floor condo.
DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX):

RECEIVED
MAR 29 2021
 BY:

APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE
PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS CITY_HARC@CITYOFKEYWEST-FL.GOV

ACCESSORY STRUCTURE(S): Not applicable	
PAVERS: Not applicable	FENCES: Not applicable
DECKS: Not applicable	PAINTING: All framing shall be primed and painted
	white color
SITE (INCLUDING GRADING, FILL, TREES, ETC):	POOLS (INCLUDING EQUIPMENT):
NotApplicable	Not applicable
ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC):	OTHER:
Not applicable	

OFFICIAL USE ONLY:	HARC COMMISSION REVIEW	EXPIRES ON:
MEETING DATE:	___APPROVED ___NOT APPROVED ___DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	___APPROVED ___NOT APPROVED ___DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	___APPROVED ___NOT APPROVED ___DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
REASONS OR CONDITIONS:		
STAFF REVIEW COMMENTS:		
FIRST READING FOR DEMO:	SECOND READING FOR DEMO:	
HARC STAFF SIGNATURE AND DATE:	HARC CHAIRPERSON SIGNATURE AND DATE:	

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.

HARC CERTIFICATE OF APPROPRIATENESS: DEMOLITION APPENDIX



City of Key West

1300 White Street
Key West, Florida 33040

HARC COA #	INITIAL & DATE
ZONING DISTRICT	BLDG PERMIT #

ADDRESS OF PROPOSED PROJECT:	1108 Petronia St, Key West, FL 33040
PROPERTY OWNER'S NAME:	Patricia Gray
APPLICANT NAME:	Gary Burchfield (Gary The Carpenter)

I hereby certify I am the owner of record and that the work shall conform to all applicable laws of this jurisdiction. By receiving a Certificate of Appropriateness, I realize that this project will require a Building Permit approval **PRIOR to proceeding with the work outlined above** and that a final inspection is required under this application. I also understand that **any changes to an approved Certificate of Appropriateness must be submitted for review.**

PROPERTY OWNER'S SIGNATURE

Patricia Gray

3/29/2021

DATE AND PRINT NAME

DETAILED PROJECT DESCRIPTION OF DEMOLITION

Demolish existing left side wood frame porch, stairs, railing and awnings.

CRITERIA FOR DEMOLITION OF CONTRIBUTING OR HISTORIC STRUCTURES:

Before any Certificate of Appropriateness may be issued for a demolition request, the Historic Architectural Review Commission must find that the following requirements are met (please review and comment on each criterion that applies):

(1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration or it does not meet any of the following criteria:

(a) The existing condition of the building or structure is irrevocably compromised by extreme deterioration.

Existing wood frame porch is in poor condition and is not historic.

(2) Or explain how the building or structure meets the criteria below:

(a) Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction.

Not applicable

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

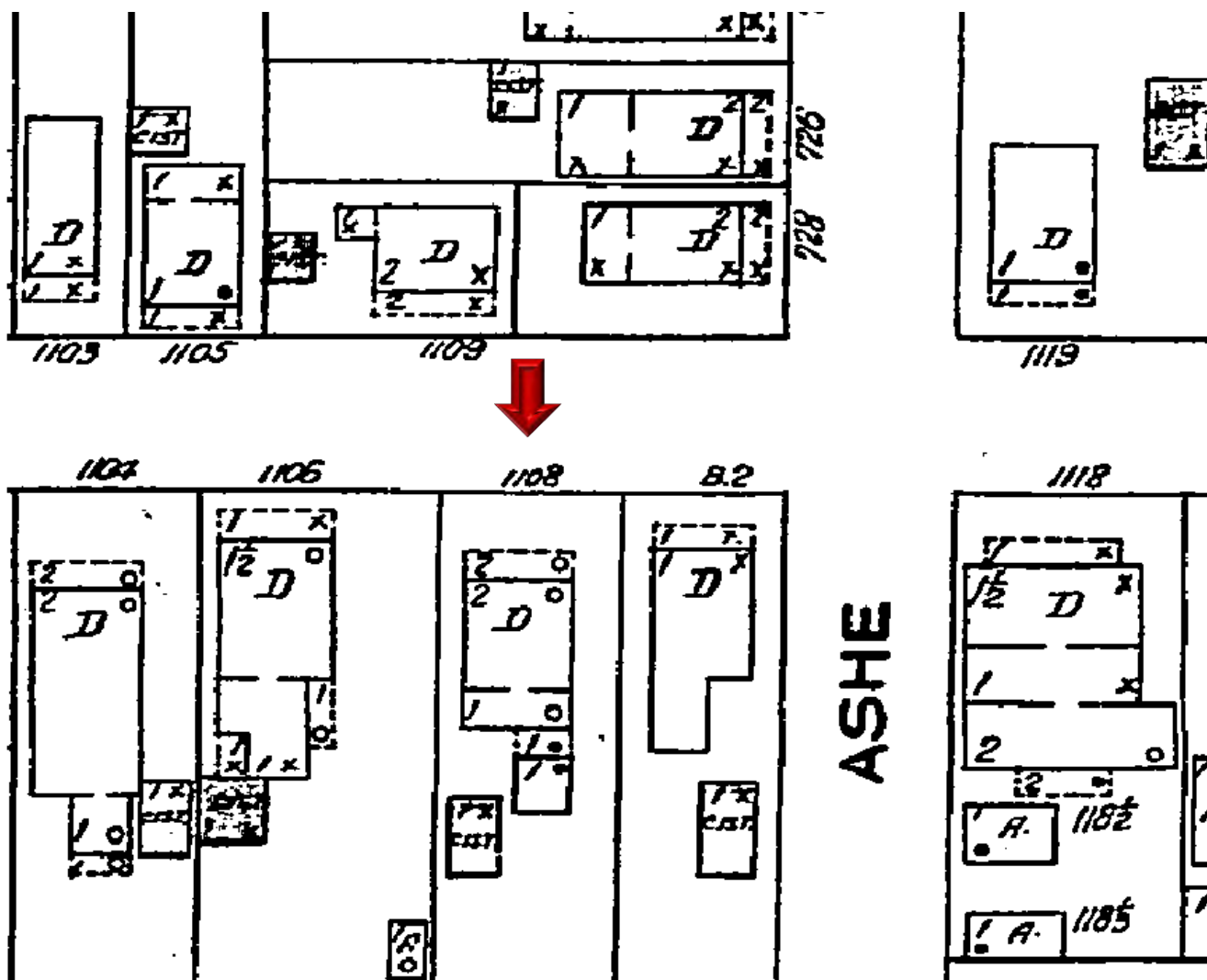
(b) Is not specifically associated with events that have made a significant contribution to local, state, or national history.
Not associated with any events that have made a significant contribution to local, state or national history
(c) Has no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state or nation, and is not associated with the life of a person significant in the past.
No significant character, interest or value are attached to the proposed demolished elements.
(d) Is not the site of a historic event with significant effect upon society.
Not a site of a historic events.
(e) Does not exemplify the cultural, political, economic, social, or historic heritage of the city.
No cultural, political, economic, social, or historic heritage of the city is affected by the proposed demolition.
(f) Does not portray the environment in an era of history characterized by a distinctive architectural style.
Does not portray the environment in an era of history.
(g) If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif.
Not applicable
(h) Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city and does not exemplify the best remaining architectural type in a neighborhood.
Not an unique location or special physical characteristic.

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

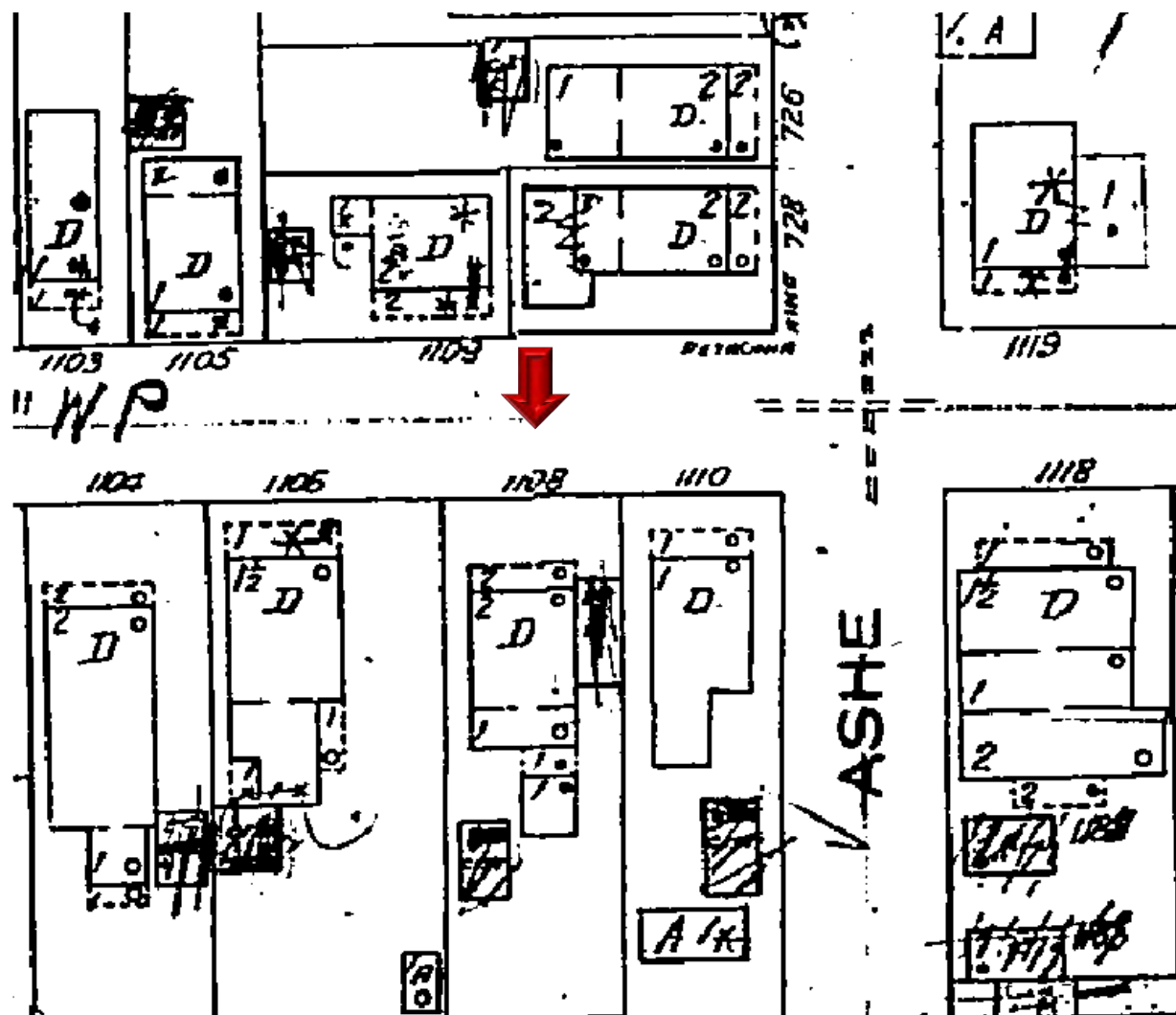
(i) Has not yielded, and is not likely to yield, information important in history,
No information related to history is associated with the elements proposed for demolition.

CRITERIA FOR DEMOLITION OF NON-CONTRIBUTING OR NON-HISTORIC STRUCTURES:
The following criteria will also be reviewed by the Historic Architectural Review Commission for proposed demolitions. The Commission shall not issue a Certificate of Appropriateness that would result in the following conditions (please review and comment on each criterion that applies):
(1) Removing buildings or structure that are important in defining the overall historic character of a district or neighborhood so that the character is diminished.
Replacement with new and improved porch is proposed.
(2) Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space.
Not applicable
(3) Removing an historic building or structure in a complex; or removing a building façade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood.
Not applicable
(4) Removing buildings or structures that would otherwise qualify as contributing.
Not applicable

SANBORN MAPS



1926 Sanborn Map



1962 Sanborn Map

PROJECT PHOTOS



1108 Petronia Street circa 1965. Monroe County Library.







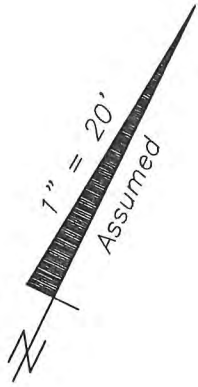






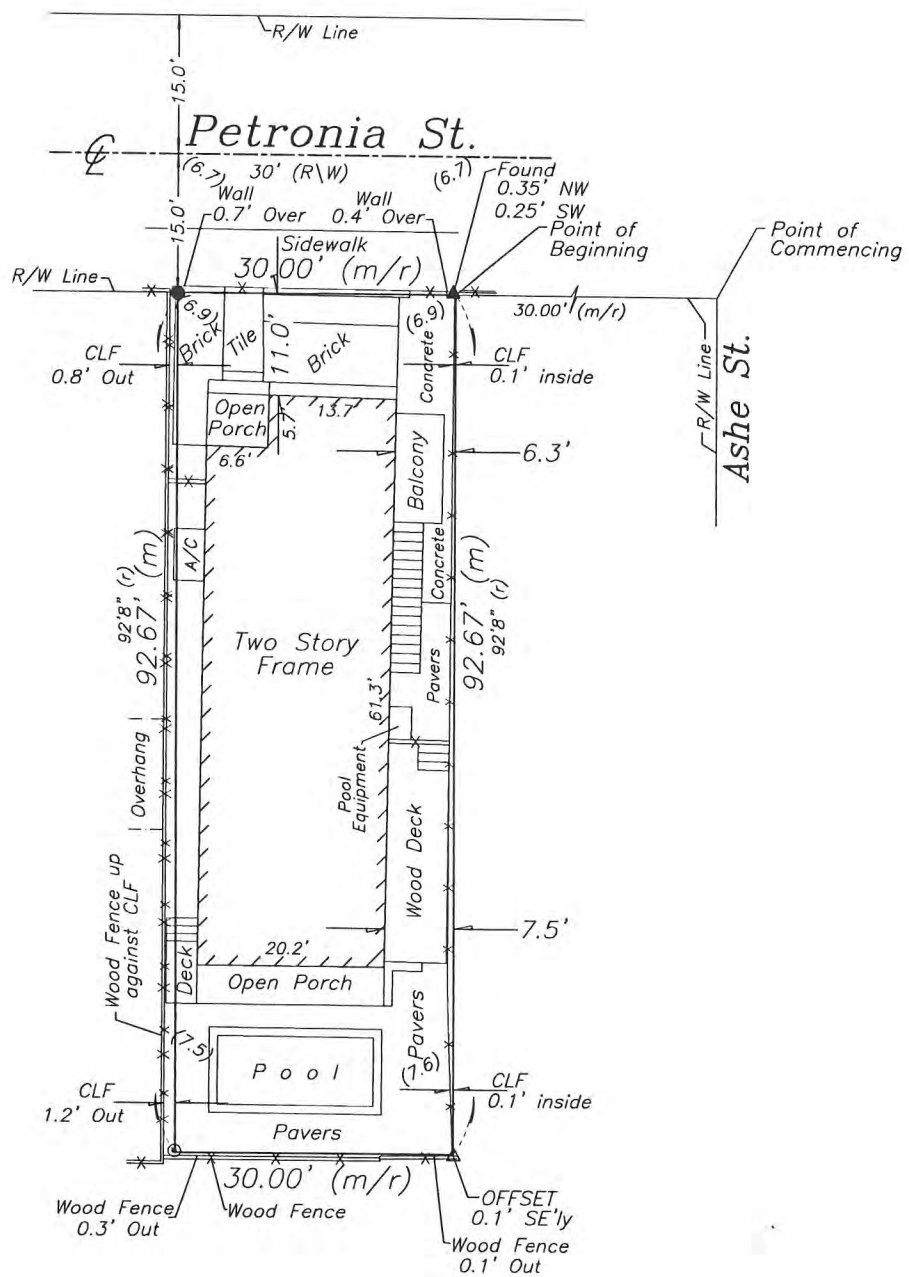
SURVEY

Boundary Survey Map of part of Lot 7, Square 4, Tract 6, Island of Key West



LEGEND

- ⊙ Found 2" Iron Pipe (Fence Post)
- Set 3/4" Iron Pipe w/cap (6298)
- Found Concrete Nail (No ID)
- ▲ Found Nail & Disc (PTS)
- △ Set Nail & Disc (6298)
- (M) Measured
- (R) Record
- (M/R) Measured & Record
- C.B.S. Concrete Block Structure
- R/W Right of Way
- CLF Chain Link Fence
- ⊕ Centerline
- ⊗ Wood Utility Pole
- ⊠ Concrete Utility Pole
- P- Overhead Utility Lines
- (6.5) Spot Elevation (Typical)



NOTES:

1. The legal description shown hereon was furnished by the client or their agent.
2. Underground foundations and utilities were not located.
3. All angles are 90° (Measured & Record) unless otherwise noted.
4. Street address: 1108 Petronia Street, Key West, FL.
5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
7. North Arrow is assumed and based on the legal description.
8. Date of field work: April 15, 2011 and October 12, 2020
9. Ownership of fences is undeterminable, unless otherwise noted.
10. Adjoiners are not furnished.
11. Elevations are shown in parenthesis and refer to Mean Sea Level, N.G.V.D. 1929 Datum.
12. Benchmark utilized: BASIC

BOUNDARY SURVEY OF: On the Island of Key West, known as Part of Lot Seven (7) in Square Number Four (4), or Tract Number Six (6), according to a subdivision of said Tract made by Thomas J. Ashe - commencing at a point Thirty (30) feet from the corner of Petronia and Ashe Streets, and running thence along Petronia Street in a southwesterly direction Thirty (30) feet; thence at right angles in a southeasterly direction and parallel with Ashe Street Ninety-two (92) feet and Eight (8) inches; thence at right angles northeasterly and parallel with Petronia Street Thirty (30) feet; thence at right angles and parallel with Ashe Street northwesterly Ninety-two (92) feet and Eight (8) inches back to the place of beginning.

BOUNDARY SURVEY FOR: Robert M. Gray and Patricia L. Gray;

I HEREBY CERTIFY that this survey was made under my responsible charge and meets the Standard of Practice as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

J. LYNN O'FLYNN, INC.

J. Lynn O'Flynn, PSM
Florida Reg. #6298

April 15, 2011

Updated 10/13/20 & add elevations

THIS SURVEY
IS NOT
ASSIGNABLE

J. LYNN O'FLYNN, Inc.



Professional Surveyor & Mapper
PSM #6298

3430 Duck Ave., Key West, FL 33040
(305) 296-7422 FAX (305) 296-2244

PROPOSED DESIGN

CONSTRUCTION PLANS FOR 1108 PETRONIA ST

SITE LOCATION



LOCATION MAP:

PROJECT LOCATION:
1108 PERTRONIA ST,
KEY WEST, FL 33040

CLIENT:
GARY THE CARPENTER
CONSTRUCTION, INC



Digitally signed by
Serge Mashtakov P.E.
71480 State of
Florida
Date: 2020.06.04
16:55:03 -04'00'

THIS DRAWING IS NOT VALID WITHOUT THE SIGNATURE AND LICENSE HERE			
SERGE MASHTAKOV PROFESSIONAL ENGINEER STATE OF FLORIDA LICENSE NO. 71480			
DATE	2020.06.04		
SCALE	AS SHOWN		
REVISION	FINAL		
ARTIBUS DESIGN ENGINEERING AND PLANNING 3710N. ROOSEVELT BLVD KEY WEST, FL 33040 (305) 304 3512 WWW.ARTIBUSDESIGN.COM CA # 30835			
CLIENT: GARY THE CARPENTER CONSTRUCTION, INC PROJECT: 1108 PETRONIA ST SITE: 1108 PETRONIA ST KEY WEST, FL 33040 TITLE: COVER			
DATE	DATE	DATE	DATE
2005-11	2006-02	2006-02	2006-02
2005-11	2006-02	2006-02	2006-02
2005-11	2006-02	2006-02	2006-02

GENERAL REQUIREMENTS:

1. PRIOR TO STARTING ANY WORK THE CONTRACTOR SHALL REVIEW THESE PLANS AND SITE CONDITIONS AND NOTIFY THE ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED.
2. THE ENGINEER IS NOT RESPONSIBLE FOR THE SUPERVISION OF THE CONTRACTOR NOR HIS EMPLOYEES DURING THE CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE MEANS AND ESTABLISH METHODS OF THE CONSTRUCTION TO MEET REQUIREMENTS OF ALL APPLICABLE CODES, INDUSTRY STANDARDS AND REQUIREMENTS OF THESE PLANS.
3. QUALITY OF THE WORK SHALL MEET OR EXCEED INDUSTRY STANDARD PRACTICES.
4. ANY DEVIATIONS FROM THESE PLANS SHALL BE REVIEWED AND APPROVED BY THE ENGINEER.

DESIGN DATA:

1. APPLICABLE BUILDING CODE: FBC 6TH EDITION (2017)
2. APPLICABLE DESIGN LOADS: PER ASCE/SEI 7-10
FLOOR LIVE LOAD: 40 PSF
ROOF LIVE LOAD: 20 PSF (300 LB CONC.)
BASIC WIND SPEED: 150 MPH
EXPOSURE: D
STRUCTURAL CATEGORY: II

ALL PRESSURES SHOWN ARE BASED ON ASD DESIGN, WITH A LOAD FACTOR OF 0.6

3. ASCE 24-14 FLOOD RESISTANT DESIGN AND CONSTRUCTION

FLOOD ZONE: X

SOILS AND FOUNDATIONS:

PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS ARE USED IN LIEU OF A COMPLETE GEOTECHNICAL EXPLORATION. FOUNDATIONS SHALL BE PLACED ON A "SEGMENTARY AND FOLIATED ROCK" WITH AN ALLOWABLE LOAD BEARING PRESSURE OF 3,000 PSF. NOTIFY THE ENGINEER IF SOIL CONDITIONS ARE DIFFERENT.

1. ALL FOUNDATIONS, SLABS AND FOOTERS SHALL BE PLACED ON STABILIZED UNDISTURBED SUBGRADE SOIL.
2. MINIMUM FOUNDATION DEPTH SHALL BE 24" UNLESS OTHERWISE IS SPECIFIED ON THE PLANS. IF OVER-EXCAVATED - FILL SHALL NOT BE PLACED BACK INTO THE TRENCH UNLESS APPROVED BY THE ENGINEER.
3. FILL UNDER THE FOUNDATIONS SHALL BE USED ONLY IF APPROVED BY THE ENGINEER. CLEAN FILL MATERIAL SHALL BE PLACED IN 6"-8" LAYERS AND COMPACTED TO 98% DENSITY USING THE MODIFIED PROCTOR TEST.
4. FILL MATERIAL SHALL BE CLEAN GRANULAR SAND OR LIMEROCK MIX WITHOUT ANY ORGANIC MATERIALS, CLAY, MUCK AND ROCKS LARGER THAN 4". BACKFILL SHALL NOT CONTAIN ANY WOOD OR CELLULOSE DEBRIS.

AUGERCAST PILES

1. AUGERCAST PILES SHALL BE 16" DIAMETER WITH MINIMUM EMBEDMENT OF 3FT INTO THE CAP ROCK UNLESS OTHERWISE SHOWN ON THE PLANS.
2. CONCRETE FOR PILES SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 5000 PSI. WATER/CEMENT RATIO SHALL NOT EXCEED W/C=0.40.
3. REINFORCEMENT SHALL BE FOUR (4) #5 REBAR VERTICALLY WITH #3 STIRRUPS AT 12" O.C. CONTRACTOR SHALL USE PLASTIC CHAIRS OR CENTRALIZERS TO PROVIDE A 3" COVER ON ALL SIDES OF THE REINFORCEMENT.

CONCRETE:

1. APPLICABLE CODE ACI 318 LATEST EDITION AND ACI 301.
2. ALL CONCRETE ELEMENTS SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 4000 PSI UNLESS OTHERWISE IS SHOWN ON THE PLANS. WATER/CEMENT RATIO SHALL NOT EXCEED W/C=0.40.
3. ALL CAST-IN-PLACE CONCRETE SHALL BE CURED AND PROTECTED FROM DRYING PER ACI 308R-10 "HOT WEATHER CONCRETING".
4. ALL EXPOSED EDGES SHALL HAVE 1/2" CHAMFERS.
5. NO COLD JOINTS ARE ALLOWED UNLESS OTHERWISE APPROVED BY THE ENGINEER.
6. TESTING: ALL FIELD AND LABORATORY TESTING SHALL BE PERFORMED BY AN INDEPENDENT SPECIALIZED COMPANY.

THE CONTRACTOR IS RESPONSIBLE FOR ALL SCHEDULING, COORDINATION AND COST OF THE TESTING COMPANY.

THREE (3) SAMPLES SHALL BE TAKEN AND TESTED EACH TIME.

MINIMUM SAMPLING FREQUENCY:

- A) EACH DAY OF CONCRETING FOR EVERY CONCRETE MIX;
- B) EVERY 50 CUBIC YARDS;
- C) EVERY 2000 SQ. FT. OF SLAB AREA.

ALL TESTING SHALL BE PER LATEST ACI AND ASTM REQUIREMENTS.

LABORATORY SHALL SUPPLY THREE (3) ORIGINAL SIGNED & SEALED REPORT RESULTS TO THE ENGINEER.

7. CAST-IN-PLACE AND PRECAST MEMBER ERECTION TOLERANCES SHALL BE AS SPECIFIED IN THE TABLE B.2.2 OR IN SECTION B.3 OF "PCI DESIGN HANDBOOK/SIXTH EDITION".

REINFORCEMENT:

1. ALL REBAR SHALL BE DEFORMED CARBON-STEEL ASTM A615/A615M-13 GRADE 60 UNLESS OTHERWISE SPECIFIED ON THE PLANS.
1. ADD ALTERNATE REINFORCEMENT OPTION: ASTM A1035 GRADE 100 (MMFX2) AS CORROSION RESISTANT ALTERNATIVE FOR ALL REINFORCEMENT.
2. ALL REQUIREMENTS FOR PLACEMENT, COVER, TOLERANCES, ETC. SHALL BE PER ACI 318-11.
3. ALL HOOKS AND BENDS SHALL BE FACTORY MADE UNLESS FIELD BENDS ARE APPROVED BY THE ENGINEER.
4. ONLY PLASTIC CHAIRS AND CENTRALIZERS SHALL BE USED FOR REBAR SUPPORT.

ALUMINUM COMPONENTS:

1. TYPE 6061-T6 ALUMINUM.
2. MIG WELD ALL JOINTS W/ CONTINUOUS 1/8" WELD. USE 5356 FILLER WIRE ALLOY.
3. ALL ALUMINUM IN CONTACT WITH CONCRETE, PT WOOD, DISSIMILAR METALS AND OTHER CORROSIVE MATERIALS SHALL COATED WITH COAL-TAR EPOXY OR PROTECTED BY OTHER ENGINEER APPROVED METHOD.

HARDWARE:

1. HARDWARE SHALL BE 304 STAINLESS STEEL OR BETTER OR ZMAX GALVANIZED FOR NON EXPOSED SHIMPOUS PRODUCTS, UNLESS OTHERWISE SPECIFIED.

STRUCTURAL LUMBER:

1. ALL WOOD MEMBERS SHALL MEET OR EXCEED REQUIREMENTS SPECIFIED IN "ANSI/APFA NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION" AND ALL REFERENCED STANDARDS.
2. ALL WOOD MEMBERS SHALL BE PRESSURE TREATED SOUTHERN PINE NO2 OR GREATER KILN DRIED AS SPECIFIED IN THE STANDARDS, UNLESS OTHERWISE SPECIFIED.
3. ALL WOOD MEMBERS EXPOSED TO EXTERIOR, IN DIRECT CONTACT WITH CONCRETE OR STEEL SHALL BE PRESSURE-TREATED (PT) UC3B GRADE PER AWPA STANDARDS.
4. ALL FIELD CUTS IN PT LUMBER SHALL BE TREATED ON SITE.
5. NAILING SHALL BE IN ACCORDANCE WITH FBC 6TH EDITION (2017). NAILS AND OTHER FASTENERS FOR PT WOOD SHALL BE STAINLESS STEEL OR ACP APPROVED TREATED.
6. SHEATHING SHALL BE 5/8" CDX PLYWOOD SHEATHING GRADE, UNLESS OTHERWISE IS SPECIFIED ON THE PLANS. USE 8D RING-SHANK NAILS WITH SPACING OF 4" O.C. ON ALL EDGES AND 6" O.C. IN THE FIELD.

STRUCTURAL STEEL:

1. STRUCTURAL STEEL COMPONENTS SHALL BE AS DESCRIBED IN "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS" AISC 2005 OR LATER EDITION.
2. HSS SHAPES (STRUCTURAL TUBING) SHALL BE ASTM A500 (FY=46 KSI).
3. STEEL PLATES, FLANGES AND MISCELLANEOUS ELEMENTS SHALL BE ASTM A36 (FY=36 KSI) UNLESS NOTED OTHERWISE ON THE PLANS.
4. W-SHAPES, C-SHAPES AND OTHER FORMED STEEL SHALL BE ASTM A992 (FY=50 KSI).
5. ALL WELDING SHALL BE IN CONFORMANCE WITH THE LATEST SPECIFICATIONS AWS D1.1 (D1.1M:2010), STRUCTURAL WELDING CODE - STEEL.

STRUCTURAL STEEL COATING:

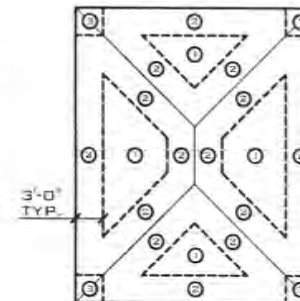
1. ALL SURFACES SHALL BE ABRASIVE BLAST CLEANED TO NEAR-WHITE METAL (PER SSPC-SP10) EXPOSED STEEL.
2. ALL SURFACES SHALL BE PRIMED WITH POLYAMIDE EPOXY - ONE COAT (8.0 MILS DFT).
3. APPLY SEALANT AT ALL LOCATIONS WHERE STEEL IS WELDED, LAPPED, ETC. SEALANT MATERIAL SHALL BE COMPATIBLE WITH THE PAINTING SYSTEM.
4. TOP LAYER SHALL BE TWO (2) COAT POLYURETHANE (3.0 MILS DFT EACH).
5. TOP PAINT SHALL BE UV RESISTANT OR HAVE A UV RESISTANT COATING.
6. COLORS SHALL MATCH EXISTING OR TO BE SELECTED BY THE OWNER.
7. 2 COATS OF "SUMMER COATINGS" UNIVERSAL PRIMER (6.0 MILS DFT) OR APPROVED EQUAL.

REINFORCED MASONRY (CMU):

1. ALL MASONRY SHALL BE REINFORCED CONCRETE MASONRY UNIT IN ACCORDANCE WITH THE LATEST EDITION OF ACI 530/ASCE 5/TMS 402.
2. INSTALL ALL BLOCKS IN RUNNING BOND.
3. MINIMUM MASONRY BLOCK (ASTM C90) STRENGTH SHALL (F'M) BE 2000 PSI.
4. TYPE "S" MORTAR (ASTM C270) SHALL BE USED USING 3/8" FULL BEDDING REINFORCED W/ 9 GAGE GALVANIZED LADDER WIRE EVERY 2ND ROW.
5. FILLED CELLS SHALL BE REINFORCED WITH #5 REBAR @ 24" O.C. UNLESS OTHERWISE IS SPECIFIED ON THE PLANS.
6. GROUT SHALL BE PEA ROCK PUMP MIX (ASTM C476) WITH A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI (28 DAY) (ASTM C1019). TARGETED SLUMP SHALL BE 8"-11".
7. EACH GROUTED CELL SHALL HAVE CLEANOUT OPENINGS AT THE BOTTOM. THERE SHALL BE NO LOOSE MORTAR OR OTHER DEBRIS IN THE BOTTOM OF THE CELL. USE BLAST PRESSURE WASHING FOR SURFACE PREPARATION.

WINDOWS & DOORS:

1. ALL EXTERIOR WINDOWS SHALL BE LARGE AND SMALL MISSILE IMPACT RATED.
2. ALL EXTERIOR WINDOWS SHALL HAVE FLORIDA PRODUCT APPROVAL AND NOA. PRODUCT APPROVAL LABELS SHALL BE PERMANENTLY ATTACHED TO THE FRAME.
3. WIND PRESSURE ON COMPONENTS AND CLADDING (CH 30 PART 1).



ROOF WIND PRESSURES DIAGRAM
SCALE NTS



Digitally signed by
Serge Mashtakov
P.E. 71480 State of
Florida
Date: 2020.06.04
16:55:18 -04'00'

SEAL: SERGE MASHTAKOV
2020.06.04 16:55:18
STATE OF FLORIDA
LICENSE # 71480

STATUS: FINAL

ARTIBUS DESIGN
ENGINEERING AND PLANNING

ARTIBUS DESIGN
3710N. ROOMVELL BLVD
KEY WEST, FL 33040
(305) 304-3532
WWW.ARTIBUSDESIGN.COM
CA # 30835

GARY THE CARPENTER
CONSTRUCTION, INC

1108 PETRONIA ST

1108 PETRONIA ST
KEY WEST, FL 33040

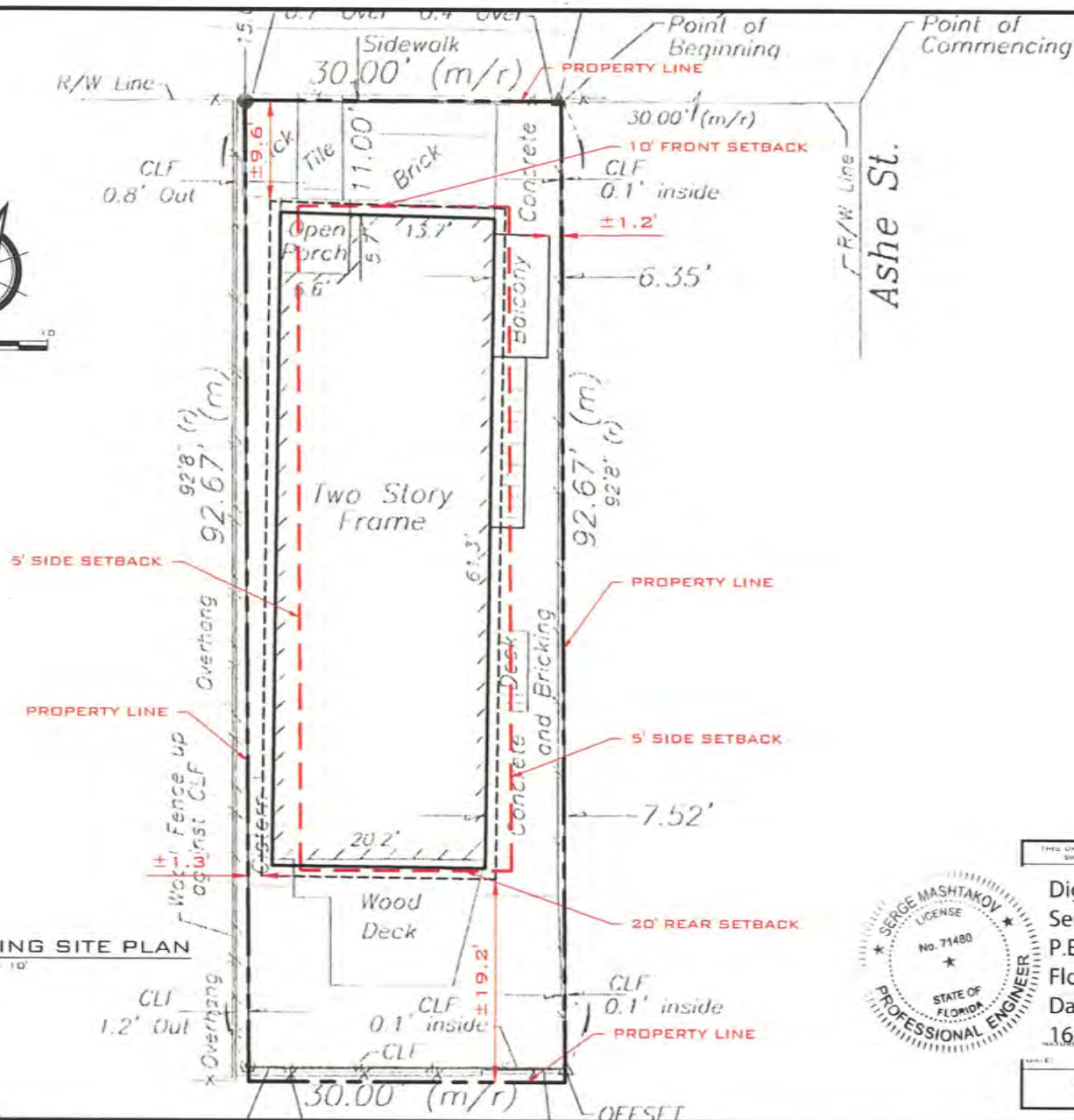
NOTES

DATE	BY	REVISION	DATE	BY	REVISION
2005-11	G-10	1			

PARTIALLY ENCLOSED - BOUNDING PORCH						
WIND PRESSURE ON COMPONENTS AND CLADDING (CH 30 PART 1)						
DESCRIPTION	WIND-UP	WIND-DOWN	WIND-UP	WIND-DOWN	WIND-UP	WIND-DOWN
Roof	1	1	1	1	1	1
Wall	1	1	1	1	1	1
Door	1	1	1	1	1	1
Window	1	1	1	1	1	1
Other	1	1	1	1	1	1



EXISTING SITE PLAN
SCALE: 1" = 10'



Digitally signed by
Serge Mashtakov
P.E. 71480 State of
Florida
Date: 2020.06.04
16:55:31 -04'00'

THIS DRAWING IS NOT VALID WITHOUT THE
SIGNATURE AND ORIGINAL SEAL.

NAME: SERGE MASHTAKOV
LICENSE NO. 71480
STATE OF FLORIDA
PROFESSIONAL ENGINEER

DATE	10/10/2019	BY	FINAL
PROJECT	ARTIBUS DESIGN ENGINEERING AND PLANNING		
CLIENT	ARTIBUS DESIGN 3710 N. ROOSEVELT BLVD KEY WEST, FL 33040 (305) 304-3512 WWW.ARTIBUSDESIGN.COM CA # 30835		
OWNER	GARY THE CARPENTER CONSTRUCTION, INC.		
ADDRESS	1108 PETRONIA ST		
SITE	1108 PETRONIA ST KEY WEST, FL 33040		
PROJECT	EXISTING SITE PLAN		
DATE AT 10% AS SHOWN	05-27-20	DATE AT 25% AS SHOWN	06-04-20
DATE AT 50% AS SHOWN	06-04-20	DATE AT 75% AS SHOWN	06-04-20
DATE AT 100% AS SHOWN	06-04-20	DATE AT 100% AS SHOWN	06-04-20



EXISTING FRONT ELEVATION
SCALE: 3/8" = 1'-0"



THIS DOCUMENT IS NOT VALID WITHOUT THE SIGNATURE AND EXPIRATION DATE

Digitally signed by
Serge Mashtakov P.E.
71480 State of Florida
Date: 2020.06.04
16:56:03 -04'00'

SIGNATURE: SERGE MASHTAKOV
DATE: PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO. 71480

REV. NO. 1 OF 1
DATE: 06/04/20
STATUS: FINAL

ARTIBUS DESIGN
ENGINEERING AND PLANNING

ARTIBUS DESIGN
3710N. ROOSEVELT BLVD
KEY WEST, FL 33040
13051 304-3512
WWW.ARTIBUSDESIGN.COM
CA # 30835

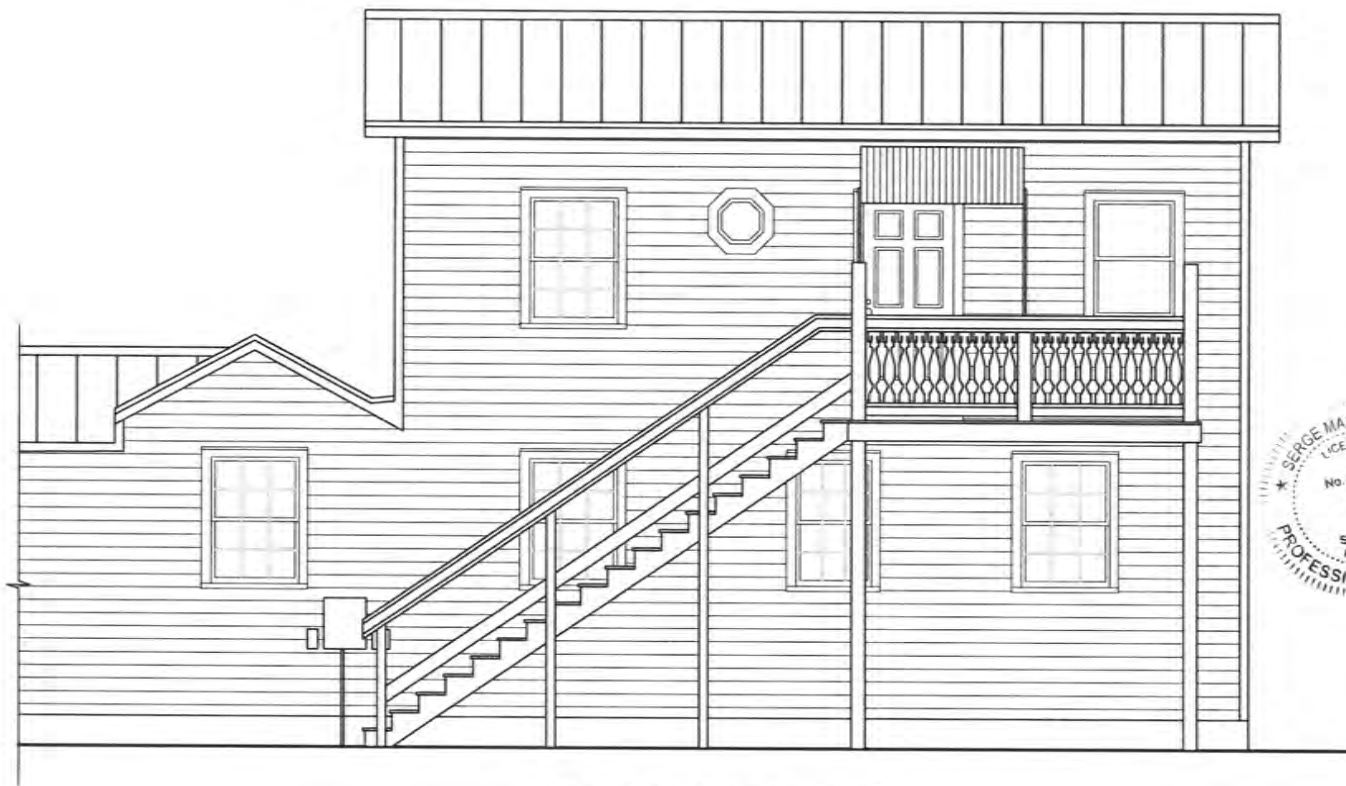
OWNER: GARY THE CARPENTER
CONSTRUCTION, INC

ADDRESS: 1108 PETRONIA ST

PROJECT: 1108 PETRONIA ST
KEY WEST, FL 33040

DATE: EXISTING FRONT ELEVATION

DATE	BY	CHKD	DATE	CHKD
2005-11	AS SHOWN	06-04-20	06-04-20	06-04-20



EXISTING LEFT ELEVATION
SCALE: 1/4" = 1'-0"



THIS DRAWING IS NOT VALID WITHOUT THE
REGISTERED ARCHITECT'S SEAL

Digitally signed by
Serge Mashtakov
P.E. 71480 State of
Florida
Date: 2020.06.04
16:56:34 -04'00'

DATE: 2020.06.04
DESIGNED BY: SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO. 71480

REVISION: FINAL

ARTIBUS DESIGN
ENGINEERING AND PLANNING

ARTIBUS DESIGN
3710N. RUSSELL BLVD
KEY WEST, FL 33040
305.304.3512
WWW.ARTIBUSDESIGN.COM
CA # 30835

CLIENT: GARY THE CARPENTER
CONSTRUCTION, INC

PROJECT: 1108 PETRONIA ST

DATE: 1108 PETRONIA ST
KEY WEST, FL 33040

DESCRIPTION: EXISTING LEFT ELEVATION

DATE	BY	CHK	APP	REV
2005-11	1108 PETRONIA ST	KEY WEST, FL 33040	EXISTING LEFT ELEVATION	1



PROPOSED LEFT ELEVATION
SCALE: 1/4" = 1'-0"



THIS DOCUMENT IS NOT VALID WITHOUT THE SIGNATURE OF THE ENGINEER.

Digitally signed
by Serge
Mashtakov P.E.
71480 State of
Florida
Date: 2020.06.04
16:56:51 -04'00'

DATE: SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO. 71480

NO. OF SHEETS: 1
SHEET: FINAL

ARTIBUS DESIGN
ENGINEERING AND PLANNING

ARTIBUS DESIGN
3710N. ROOSEVELT BLVD
KEY WEST, FL 33040
13051 304-3512
WWW.ARTIBUSDESIGN.COM
CA # 30835

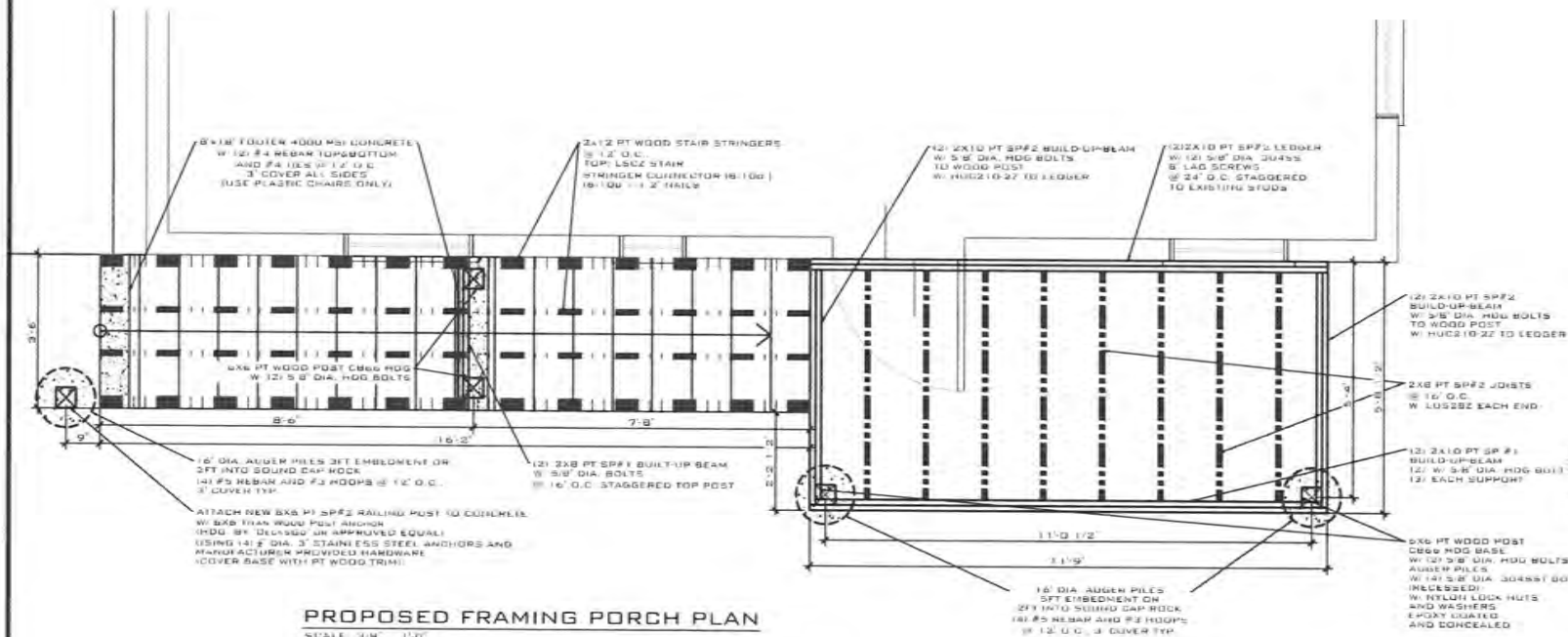
CLIENT: GARY THE CARPENTER
CONSTRUCTION, INC.

PROJECT: 1108 PETRONIA ST.

NO. 1108 PETRONIA ST.
KEY WEST, FL 33040

SHEET: PROPOSED LEFT ELEVATION

DATE: 2005-11	NO. 1108 PETRONIA ST.	KEY WEST, FL 33040
---------------	-----------------------	--------------------



PROPOSED FRAMING PORCH PLAN
SCALE: 3/8" = 1'-0"

Digitally signed
by Serge
Mashtakov P.E.
71480 State of
Florida
Date:
2020.06.04
16:57:04 -04'00'

STATE OF FLORIDA
PROFESSIONAL ENGINEER
NO. 71480
SERGE MASHTAKOV

FINAL

ARTIBUS DESIGN
ENGINEERING AND PLANNING

ARTIBUS DESIGN
3710N. ROGERSVILLE BLVD
KEY WEST, FL 33040
(305) 304-3512
www.ARTIBUSDESIGN.COM
CA # 30835

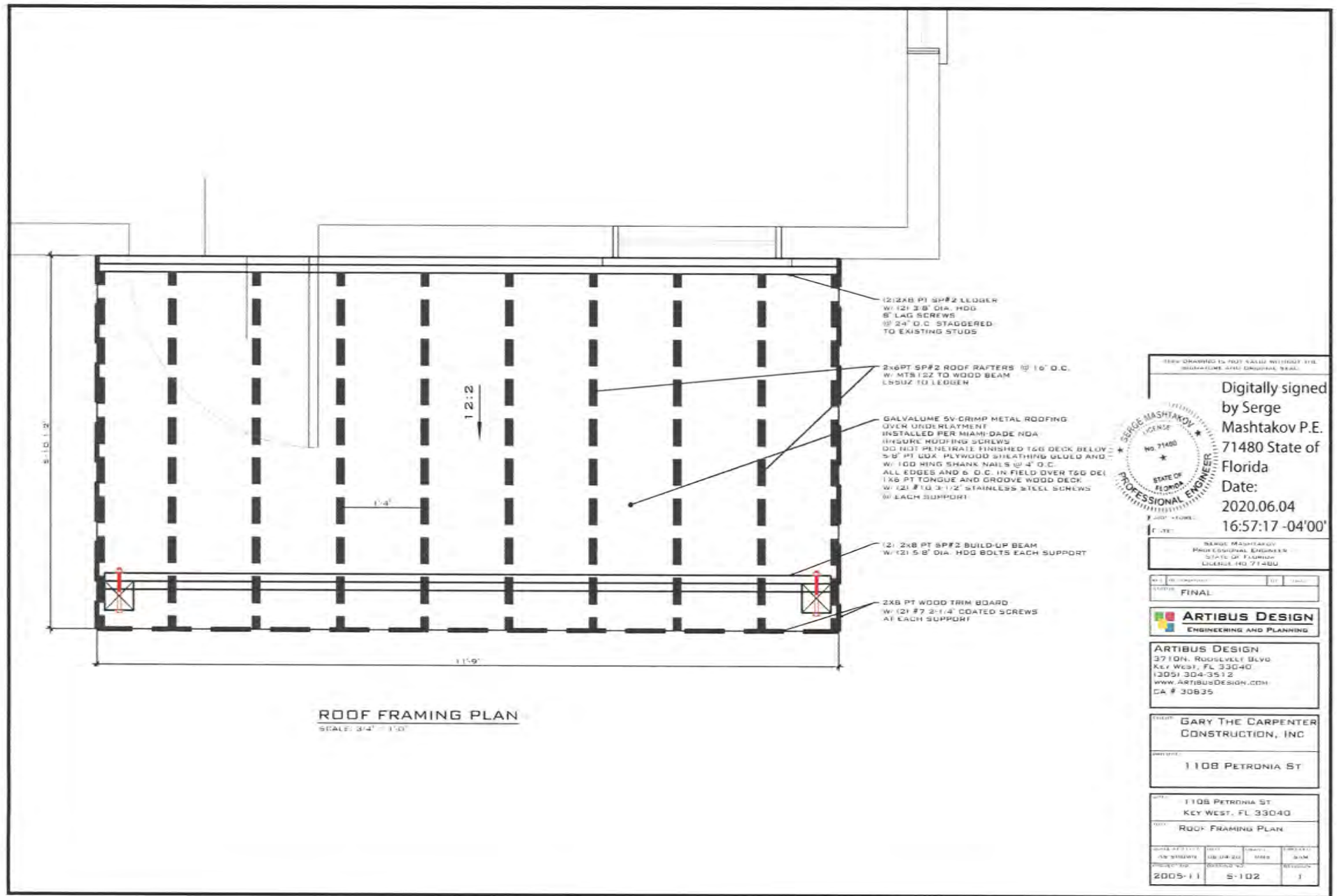
OWNER: GARY THE CARPENTER
CONSTRUCTION, INC

1108 PETRONIA ST

1108 PETRONIA ST
KEY WEST, FL 33040

PROPOSED
PORCH FRAMING PLAN

DATE: 2020.06.04	BY: GARY THE CARPENTER	CHK: GARY THE CARPENTER	APP: GARY THE CARPENTER
PROJECT: 1108 PETRONIA ST	SHEET: 5-101	TOTAL: 1	



100% COMPLIANT TO FLORIDA BUILDING CODE
MILWAUKEE, WISCONSIN, USA

Digitally signed
by Serge
Mashtakov P.E.
71480 State of
Florida
Date:
2020.06.04
16:57:17 -04'00'

STATE OF FLORIDA
PROFESSIONAL ENGINEER
LICENSE NO. 71480
SERGE MASHTAKOV

STATE OF FLORIDA
PROFESSIONAL ENGINEER
LICENSE NO. 71480
SERGE MASHTAKOV

FINAL

ARTIBUS DESIGN
ENGINEERING AND PLANNING

ARTIBUS DESIGN
3710N. ROOSEVELT BLVD
KEY WEST, FL 33040
305/304-3512
WWW.ARTIBUSDESIGN.COM
CA # 30835

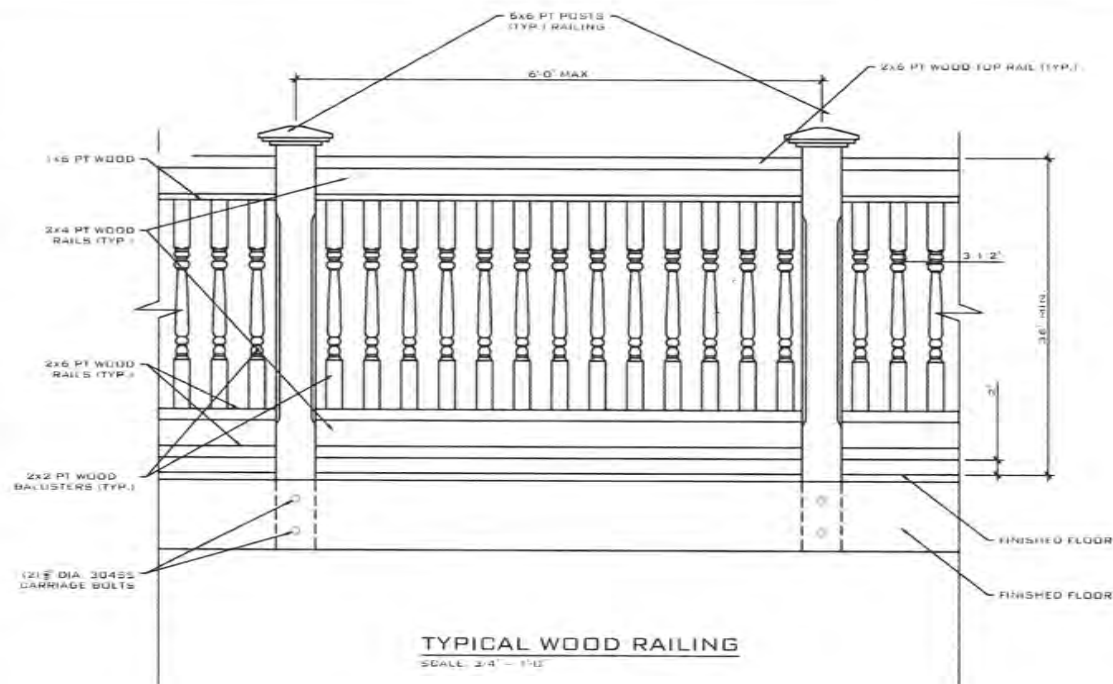
CLIENT: GARY THE CARPENTER
CONSTRUCTION, INC

PROJECT: 1108 PETRONIA ST

DATE: 1108 PETRONIA ST
KEY WEST, FL 33040

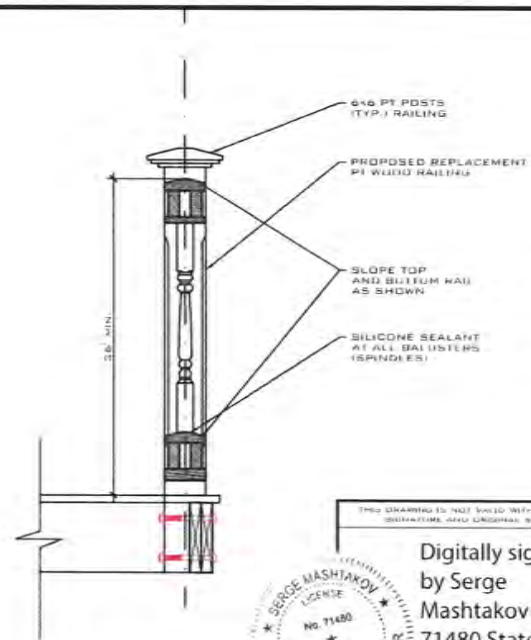
TITLE: ROOF FRAMING PLAN

DATE	BY	CHKD	APPD	REVISION
2005-11	5-102			



TYPICAL WOOD RAILING

SCALE: 3/4" = 1'-0"



TYPICAL WOOD RAIL SECTION

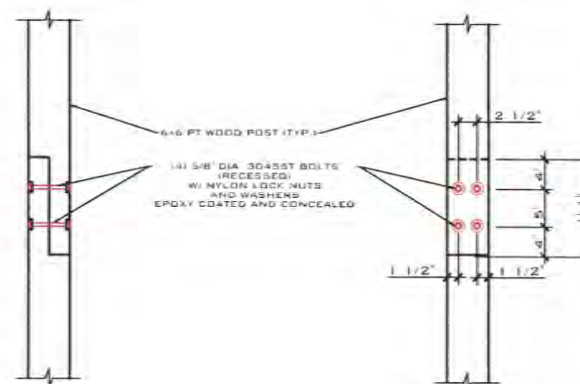
SCALE: 3/4" = 1'-0"

MINIMUM FASTENERS REQUIREMENTS:

1. TOP RAIL TO POSTS - (4) #10x3" SST DECK SCREWS EACH POST;
2. HORIZONTAL RAILS - (4) #10x3" SST DECK SCREWS EACH END, (2) EACH FACE;
3. VERTICAL BALUSTERS - (2) #10x3" SST DECK SCREWS EACH END, EACH FACE;

NOTE:

1. PREDRILL HOLES ON END CONNECTIONS TO AVOID SPLITTING.
2. AFTER INSTALLATION USE A SILICON SEALANT AROUND ALL SPINDLES.
3. ALL LUMBER SHALL BE PRESSURE-TREATED (PT) UC4A GRADE PER AWWA STANDARDS.



TYPICAL POST SPLICE

SCALE: 3/4" = 1'-0"

FRONT VIEW

SCALE: 3/4" = 1'-0"



Digitally signed
by Serge
Mashtakov P.E.
71480 State of
Florida
Date: 2020.06.04
16:57:30 -04'00'

SIGNATURE: SERGE MASHTAKOV
DATE: 2020.06.04
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO. 71480

REVISION: 1
DATE: 2020.06.04
BY: GARY THE CARPENTER
CONSTRUCTION, INC.

ARTIBUS DESIGN
ENGINEERING AND PLANNING

ARTIBUS DESIGN
3710N. ROOSEVELT BLVD.
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CA # 30835

GARY THE CARPENTER
CONSTRUCTION, INC.

1108 PETRONIA ST

1108 PETRONIA ST
KEY WEST, FL 33040

TYPICAL POST SPLICE
TYPICAL RAILING SECTION

PROJECT NO.	DATE	REVISION	BY
2005-11	06-04-20	1	SM

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at **5:00 p.m., April 28, 2021 at City Hall, 1300 White Street**, Key West, Florida. In order to view the live feed of the meeting, you can tune in to Comcast channel 77, AT&T Uverse channel 99, or type this link into your browser: <http://keywestcity.granicus.com/MediaPlayer>. If you wish to participate virtually, please contact HARC staff at 305-809-3973. The purpose of the hearing will be to consider a request for:

NEW STAIRS, GUARDRAILS, AND FIXED FRAME ROOF FOR EGRESS TO SECOND FLOOR. DEMOLITION OF NON-HISTORIC STAIRS AND CLAMSHELL AWNING.

#1108 PETRONIA STREET

Applicant – Gary Burchfield Application #H2021-0016

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3973 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

PROPERTY APPRAISER INFORMATION



Monroe County, FL

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00022380-000000
 Account# 1023167
 Property ID 1023167
 Millage Group 10KW
 Location 1108 PETRONIA St, KEY WEST
 Address
 Legal SQR 4 PT LT 7 KEY WEST TR 6 OR255-68/69 OR1251-293/94 OR2463-922/23
 Description OR2516-1737/39
 (Note: Not to be used on legal documents.)
 Neighborhood 6103
 Property Class MULTI FAMILY LESS THAN 10 UNITS (0800)
 Subdivision
 Sec/Twp/Rng 05/68/25
 Affordable No
 Housing



Owner

GRAY ROBERT M
 1108 Petronia St
 Key West FL 33040

GRAY PATRICIA L
 1108 Petronia St
 Key West FL 33040

Valuation

	2020	2019	2018	2017
+ Market Improvement Value	\$330,299	\$330,299	\$265,676	\$272,856
+ Market Misc Value	\$17,953	\$18,393	\$18,835	\$19,275
+ Market Land Value	\$430,295	\$417,660	\$470,307	\$470,307
= Just Market Value	\$778,547	\$766,352	\$754,818	\$762,438
= Total Assessed Value	\$404,544	\$396,140	\$387,567	\$372,802
- School Exempt Value	(\$25,000)	(\$25,000)	(\$25,000)	(\$25,000)
= School Taxable Value	\$379,544	\$371,140	\$364,112	\$359,118

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
MULTI RES DRY (080D)	2,780.00	Square Foot	30	92.7

Buildings

Building ID 1709
 Style 2 STORY ELEV FOUNDATION
 Building Type M.F. - R2 / R2
 Gross Sq Ft 2000
 Finished Sq Ft 1869
 Stories 2 Floor
 Condition AVERAGE
 Perimeter 270
 Functional Obs 0
 Economic Obs 0
 Depreciation % 8
 Interior Walls WALL BD/WD WAL

Exterior Walls ABOVE AVERAGE WOOD
 Year Built 1938
 EffectiveYearBuilt 2010
 Foundation WD CONC PADS
 Roof Type GABLE/HIP
 Roof Coverage METAL
 Flooring Type SFT/HD WD
 Heating Type FCD/AIR DUCTED with 0% NONE
 Bedrooms 3
 Full Bathrooms 3
 Half Bathrooms 0
 Grade 550
 Number of Fire Pl 0

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	49	0	0
FLA	FLOOR LIV AREA	1,869	1,869	0
OUU	OP PR UNFIN UL	40	0	0
OUF	OP PRCH FIN UL	42	0	0
TOTAL		2,000	1,869	0

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
FENCES	1964	1965	1	120 SF	5
CONC PATIO	1964	1965	1	124 SF	2
RES POOL	2012	2013	1	112 SF	5
FENCES	2012	2013	1	180 SF	2
WOOD DECK	2012	2013	1	280 SF	2

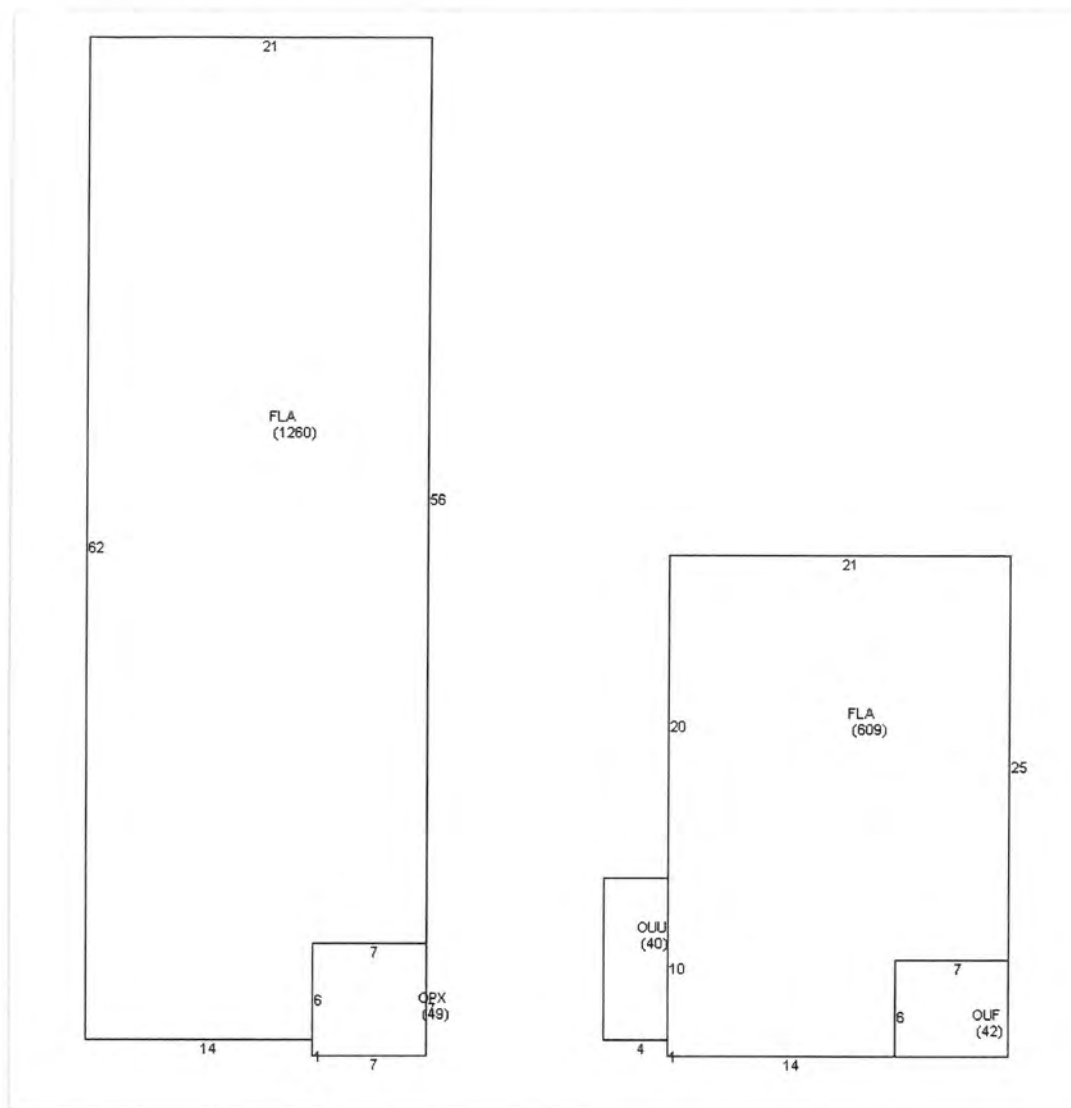
Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
5/2/2011	\$300,000	Warranty Deed		2516	1737	01 - Qualified	Improved
4/21/2010	\$100	Quit Claim Deed		2463	922	11 - Unqualified	Improved
2/1/1993	\$125,000	Warranty Deed		1251	293	Q - Qualified	Improved

Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
18-3110	7/19/2018	3/18/2019	\$15,000		REPLACE ALL KITCHEN CABINETS AND COUNTER TOPS
14-0262	2/12/2014	12/2/2014	\$9,000		TEAR OFF METAL SHINGLES INSTALL PLYWOOD INSTALL VIC METAL SHINGLES
12-2820	8/6/2012	1/30/2013	\$24,000	Residential	INSTALL NEW 49 L.F. RESIDENTIAL SWIMMING POOL. POOL \$23,250, SAFETY NEW 750. ON REAR JUST FOR POOL. POOL NEEDS TO MEET SETBACKS. POOL EQUIPMENT NEEDS TO MEET SETBACKS.
12-1475	4/25/2012	1/30/2013	\$4,000		INSTALL 800sf VCRIMP
12-0477	2/22/2012	1/30/2013	\$50,006		DEMO REAR FLAT ROOF EXTEND EXISTING SAWTOOTH ROOF &. CONSTRUCT NEW GABLE ROOF
11-2187	7/5/2011	11/13/2011	\$2,100		RUN CIRCUIT FOR INDUSTRIAL WATER HEATER. WIRE EXISTING LIVING ROOM, BED ROOM. INSTALL 6 CAN LIGHTS. RUN NEW CIRCUIT FOR EXISTING BATHROOM/BEDROOM TRIM OUT 14 OUTLETS
11-1718	5/26/2011	11/13/2011	\$17,395		COMPLETE LAP SIDING 120sf, PAINT EXTERIOR TO MATCH, INSTALL NEW FRONT DOOR, COMPLETE INTERIOR RENOVATIONS, FRAMING, DRYWALL & TRIM
05-0426	2/15/2005	11/23/2005	\$900		RED TAG PERMIT(DEMO UTILITY SHED BUIL WITHOUT A PERMIT.)
95/3241	10/3/1995	9/27/1997	\$3,250	Residential	DAMAGE REPAIR
95-3228	9/28/1995	9/27/1997	\$5,000		PLUMBING
95-3239	9/28/1995	9/27/1997	\$640		ELECTRICAL

View Tax Info
[View Taxes for this Parcel](#)
Sketches (click to enlarge)



Photos



Map



TRIM Notice

[2020 TRIM Notice\(PDF\)](#)

2020 Notices Only

No data available for the following modules: Commercial Buildings, Mobile Home Buildings, Exemptions.

The Monroe County Property Appraiser's Office maintains accurate property values for the County solely for the purpose of fulfilling its responsibility to ensure just valuation for all valuations purposes of all property within the County. The Monroe County Property Appraiser's Office does not guarantee the accuracy for any other purposes. Likewise, data provided regarding any tax year may not be accurate in prior or subsequent years. By consulting with data, you hereby understand and agree to these terms.

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 **Schneider**
GEOSPATIAL